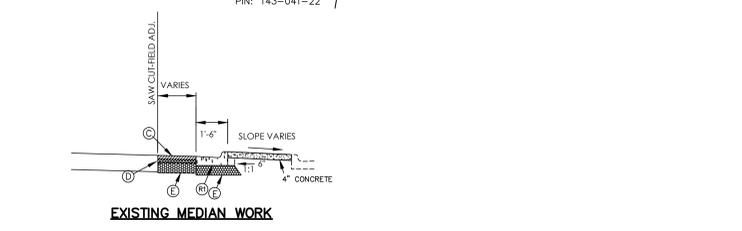
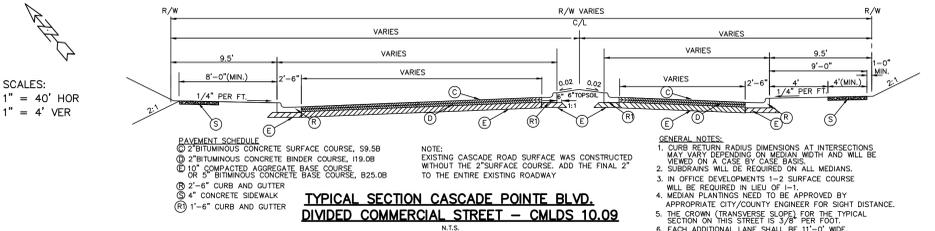


Revision
APPROVED FOR CONSTRUCTION
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 By: Joshua Weaver 6-12-2014



- NOTES:
- TOPOGRAPHIC & BOUNDARY SURVEY PROVIDED BY: RB PHARR
 - OWNER/DEVELOPER: CHILDRESS KLEIN PROPERTIES, 2800 ONE WACHOVA CENTER, CHARLOTTE, NC 28202, 704-342-9000
- ZONING:
 SUBJECT PROPERTY ZONED: I-1(CD) PETITION 2002-74
- ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
- MINIMUM SETBACK: 20'
 - MINIMUM SIDE YARD: 0 OR 5'
 - MINIMUM REAR YARD: 10'
 - MINIMUM BUILDING HEIGHT: 40'
 - ELEVATIONS BASED ON N.G.S. MONUMENT "JAIL", ELEVATION = 637.12 FEET, NAVD 88.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - SITE BOUNDARY INFORMATION TAKEN FROM SURVEY BY GEOSCIENCE GROUP
 - OMIT
 - CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC., WITH APPROPRIATE UTILITY COMPANIES WHO WILL VERIFY LOCATION, MATERIALS AND ADEQUACY OF PROPOSED COVER AND PLACEMENT.
 - CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLITION AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
 - CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH N.C.D.O.T. AND CITY OF CHARLOTTE.
 - ALL CONSTRUCTION TO CONFORM TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL DETAILS AND SPECIFICATIONS.
 - ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
 - OMIT
 - OMIT
 - A RIGHT OF WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MANNED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
 - ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE NCDOT PRIOR TO CONSTRUCTION
 - OMIT
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
 - OMIT
 - IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
 - APPROVAL OF THIS SITE IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.3% SLOPE IN THE CURB.
 - SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DETERMINED NECESSARY BY THE INSPECTOR.
 - CURB AND GUTTER SHOWN ON PLANS CASCADE POINTE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATIONS BASED UPON FIELD CONDITIONS.

PROJECT MANAGER	DRAWING SCALE	REV.	DATE
DESIGN BY			
APPROVED BY		2	CDOT COMMENTS, ADD LANE STRIPING
FILE NAME		1	city comments
REV. DATE			



LAKEPOINTE CORPORATE CENTER
 SUBDIVISION PLANS
 CHILDRESS KLEIN PROPERTIES

CASCADE POINTE BOULEVARD
 PLAN AND PROFILE

C1.1