

BELMONT APARTMENTS

CHARLOTTE, NORTH CAROLINA

PLANS PREPARED FOR:

KOTARIDES DEVELOPMENT

ZONING CODE SUMMARY

PROJECT NAME: BELMONT APARTMENTS
OWNER: KOTARIDES DEVELOPERS
PLANS PREPARED BY: MCKIM & CREED
TAX PARCEL ID: 029-064-92
ZONING: MX-2 (99-29(C))
PROPOSED USE: APARTMENT
BUILDING HEIGHT: 45'
BUILDING COVERAGE: 154,369 SF
LOT SIZE: 20.78 AC
PHONE #: 757-461-1000
PHONE #: 704-841-2588
JURISDICTION: ETJ
STORIES: 3
GROSS FLOOR AREA: 452,982 SF
NUMBER OF UNITS/SUITES: 346

YARD REQUIREMENTS:

HWY 29 SETBACK: 40.0'
CAPRINGTON AVE. SETBACK: 30.0'
CLACKWYCK LN. SETBACK: 30.0'
SIDE YARD SETBACK: 5.0'
REAR YARD: 40.0'
BUILDING SEPERATION: 16.0'

REQUIRED BUFFERS:

FRONT: 20' PERMANENT LANDSCAPE EASEMENT
SIDE (L): N/A
REAR: N/A
SIDE (R): N/A

REQUIRED SCREENING:

FRONT: N/A
SIDE (L): N/A
REAR: N/A
SIDE (R): N/A
PARKING AND SERVICE ONLY: YES

OPEN SPACE SUMMARY:

PARCEL AREA: 905,123 SF
TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS & BUILDING): 400,137 SF
TOTAL INTERIOR PARKING AREA: 192,441 SF
DUNEDED LIMITS: 16.17 AC

OPEN SPACE:

REQUIRED: 90,512 SF (10% OF SITE)
PROVIDED: 97,982

PARKING SUMMARY:

PARKING DATA:
1.5 SP/ UNIT PER CITY OF CHARLOTTE, 1992 ZONING
ORDINANCE, SECTION 12.202

REQUIRED: 519 PROVIDED: 519 HANDICAP: 17
COMPACT: N/A CARPOOL: N/A LOADING SPACES: N/A
TOTAL VEHICULAR PARKING PROVIDED: 519
BIKE PARKING REQUIRED (1 /20 UNITS): 18
BIKE PARKING PROVIDED: 45

SOLID WASTE/RECYCLING SUMMARY:

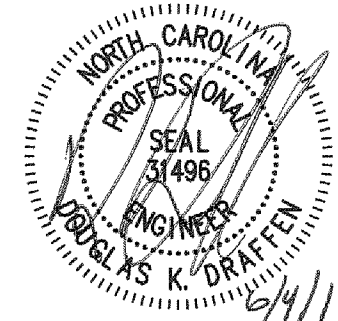
SOLID WASTE REQUIRED: 1-8 CU./YD. COMPACTOR PER 90 UNITS (32 CU./YD. TOTAL)
SOLID WASTE PROVIDED: 40 CU./YD. COMPACTORS
RECYCLING REQUIRED: 1-144 SF RECYCLING AREA PER 80 UNITS (720 SF)
RECYCLING PROVIDED: 731 SF RECYCLING AREA

DENSITY CLARIFICATION:

UNITS PROPOSED:
336 APARTMENTS
10 TOWNHOMES - RENTED
346 TOTAL UNITS

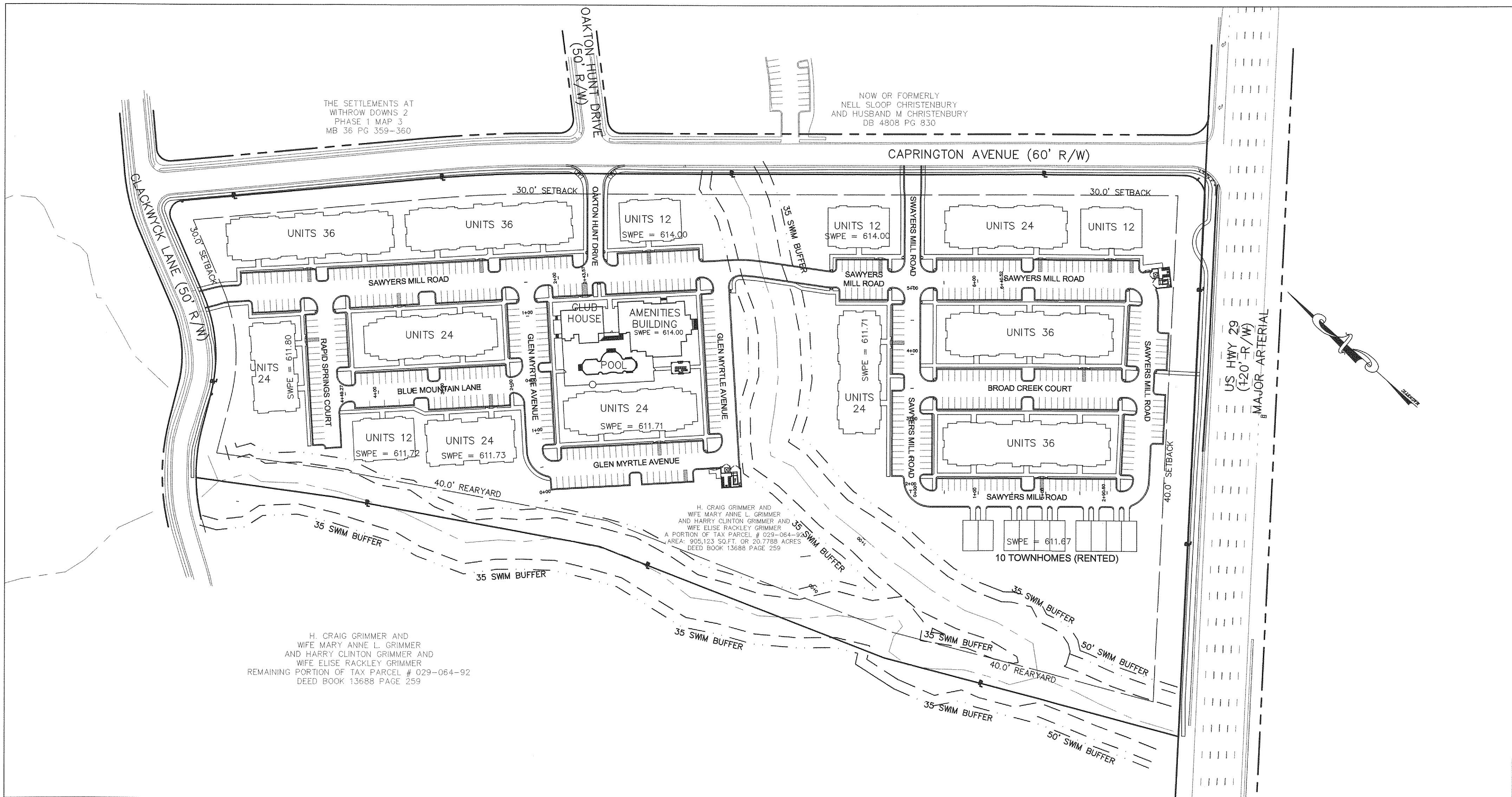
DENSITY ALLOWED*: 15 D.U.A. - 402 UNITS
DENSITY PROVIDED*: 13 D.U.A. - 346 UNITS

*THIS SUBJECT SITE IS 20.8 ACRES BUT IS ALLOWED TO CALCULATE DENSITY BASED ON 26.8 ACRES. THE MAXIMUM DENSITY CALCULATIONS OF 15 DWELLING UNITS PER ACRE IS BASED ON ACREAGE PRESCRIBED ON PARCEL "D" IN REZONING PETITION 99-29 C WHICH IS 26.8 ACRES. PARCELS "A", "B", AND A 6 ACRE PORTION OF "D" HAVE RECEIVED SUBDIVISION APPROVAL FOR PHASES ONE AND TWO OF WITHROW DOWNS 2. IN THOSE APPROVALS, THE 6 ACRES WERE SET ASIDE AS COMMON OPEN SPACE FOR PARCEL "D" AND WAS NOT USED TO CALCULATE THE DENSITY FOR THOSE PHASES OF WITHROW DOWNS 2.



SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0	EXISTING CONDITION & DEMOLITION PLAN
C3.0	OVERALL SITE PLAN
C3.1	SITE PLAN
C3.2	SITE PLAN
C3.3	SIGHT DISTANCE PLAN
C3.4	SIGHT DISTANCE PLAN
C4.0	OVERALL GRADING PLAN
C4.1	GRADING PLAN
C4.2	GRADING PLAN
C5.0	EROSION CONTROL PHASE I
C6.0	EROSION CONTROL PHASE II
C7.0	UTILITIES PLAN
C7.1	SANITARY SEWER PLAN & PROFILE
C7.2	SANITARY SEWER PLAN & PROFILE
C8.0	PLANTING PLAN
C9.0	GENERAL NOTES
C10.0	DRAINAGE AREA
C11.0	DETAILS
C12.0	DETAILS
C13.0	DETAILS
C14.0	DETAILS
C15.0	DETAILS
C16.0	CREEK CROSS-SECTION (SHEET 1 OF 3)
C17.0	CREEK CROSS-SECTION (SHEET 2 OF 3)
C18.0	CREEK CROSS-SECTION (SHEET 3 OF 3)



FINAL
APPROVAL

<http://development.charmeck.org>

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

[\[SDRMFR-2014-00020\]](#)

APPROVED

By Mark Chapman at 11:15 am, Sep 09, 2014

APPROVED

APPROVED

By Stan Armstrong at 11:01 am, Sep 03, 2014

APPROVED

OVERALL SITE

SCALE: 1"=100'

*Revision

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 9/17/14

*Revise Bottomless Culvert to Piped Culvert

REVISION

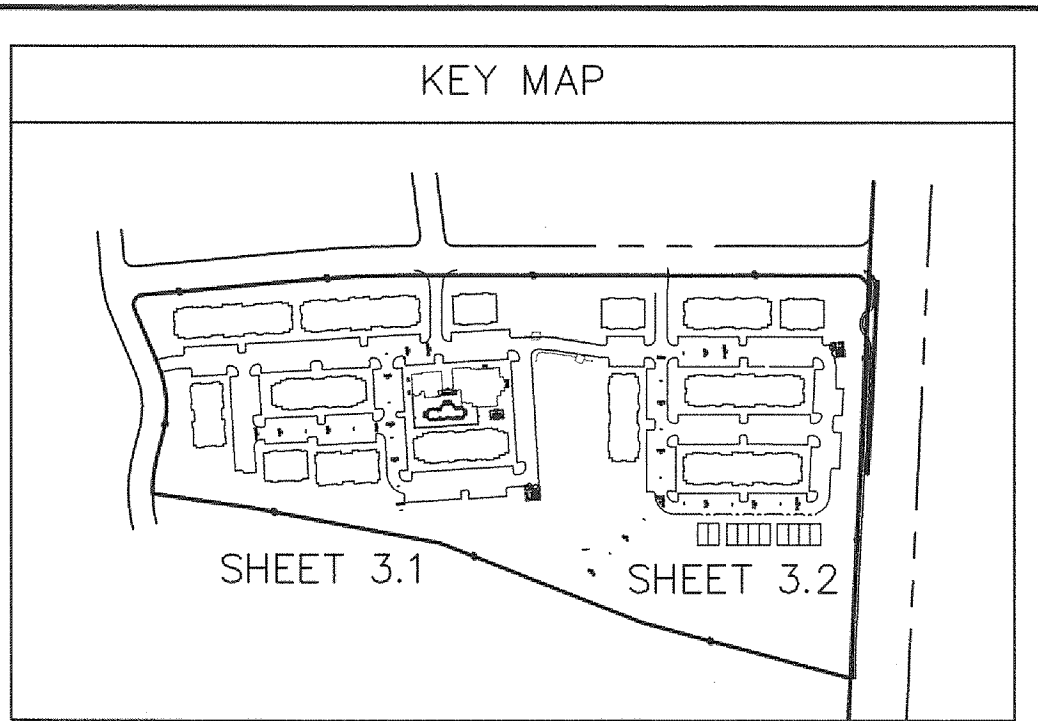
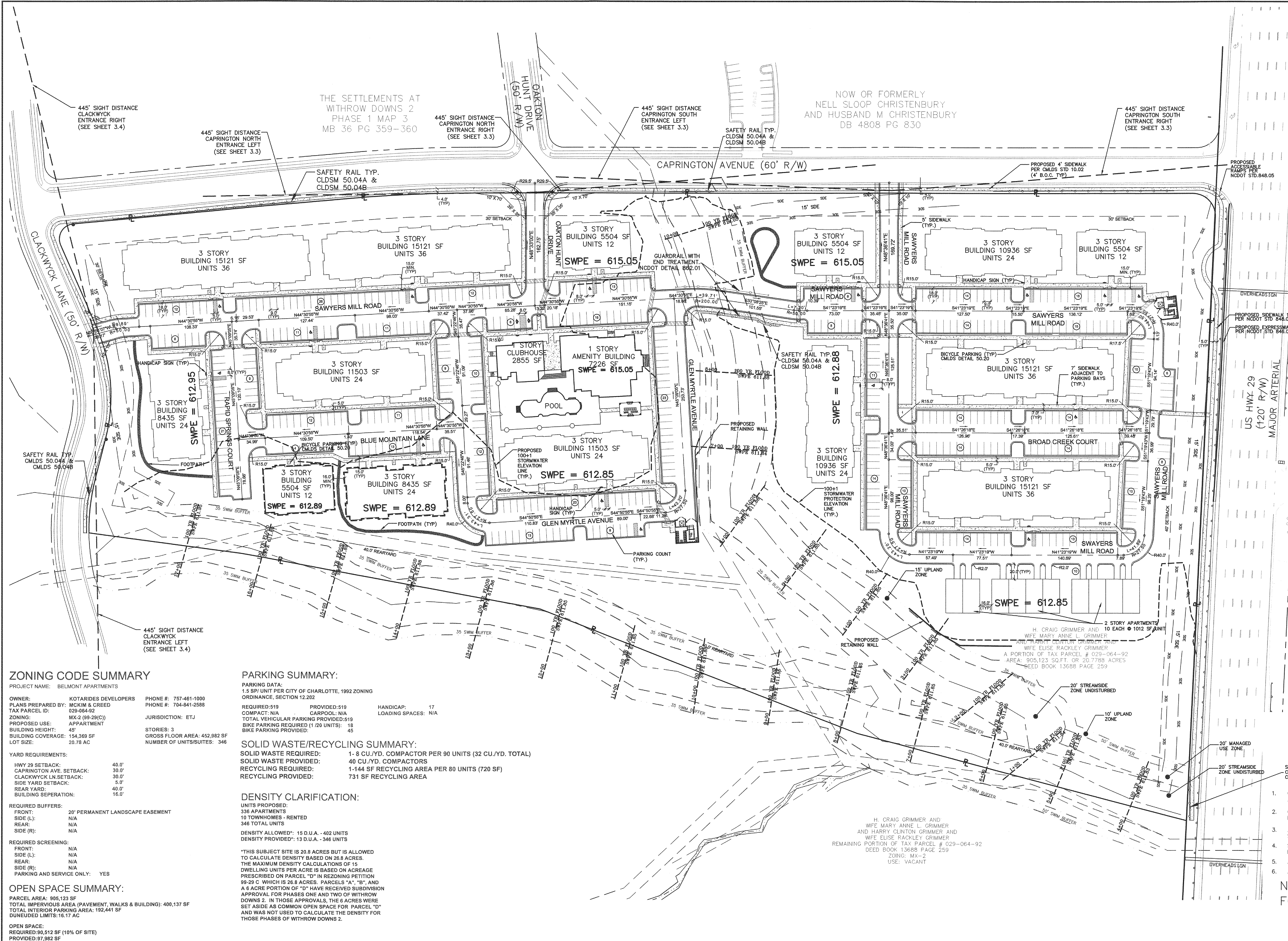
REV. #	DESCRIPTION	REVISIONS
1	DUMPSTER & CREEK CROSSING	12/15/11
2	REVISION PER CITY & NCDWQ COMMENTS	08/11/12
3	ADDITION OF BOTTOMLESS CULVERT	09/30/12
4	SANITARY SEWER REVISIONS	11/29/12
5	REVISE BOTTOMLESS CULVERT TO PIPED CULVERT	05/28/14



8020 Tower Point Drive
Charlotte, North Carolina 28227
Phone: (704)841-2588, Fax: (704)841-2567

AA0002667 EB0006691

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LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK CMLDS #10.22
	PROPOSED HANDICAP RAMP
	PROPOSED HANDICAP SPACE -/-
	PROPOSED HANDICAP VAN SPACE -/-
	PROPOSED HANDICAP SIGN CMLDS #50.10A, B, C
	PROPOSED STOP SIGN -/-
	HEAVY DUTY CONCRETE -/-
	HEAVY DUTY BITUMINOUS CONCRETE -/-
	LIGHT DUTY BITUMINOUS CONCRETE -/-
	PROPOSED 1'-6" CURB & GUTTER CMLDS #10.17A
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	PROPOSED LIGHTING -/-
	PROPERTY LINE -/-

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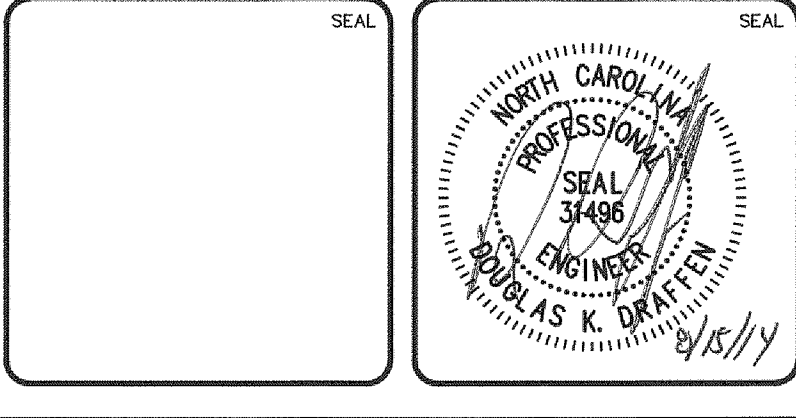
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REV.	DESCRIPTION	DATE
5	REVISIONS PER CITY OF CHARLOTTE COMMENTS	08/15/14
4	REVISE BOTTOMLESS CULVERT TO PIPED CULVERT	05/28/14
3	ADDITION OF BOTTOMLESS CULVERT	08/30/12
2	REVISION PER CITY & NCDOT COMMENTS	06/11/12
1	DUMPSTER & CREEK CROSSING	12/15/11



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KOTARIDES DEVELOPERS

BELMONT APARTMENTS
CHARLOTTE, NORTH CAROLINA
NORTHWEST CORNER OF
CAPRINGTON AVENUE & HWY 29
OVERALL SITE PLAN

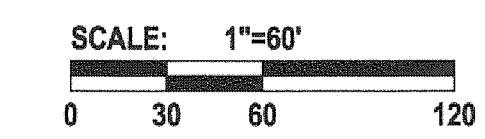
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PROJ. #: 45550004
DRAWN: GWF
DESIGNED: JLD
CHECKED: DKD
PROJ. MGR.: DKD

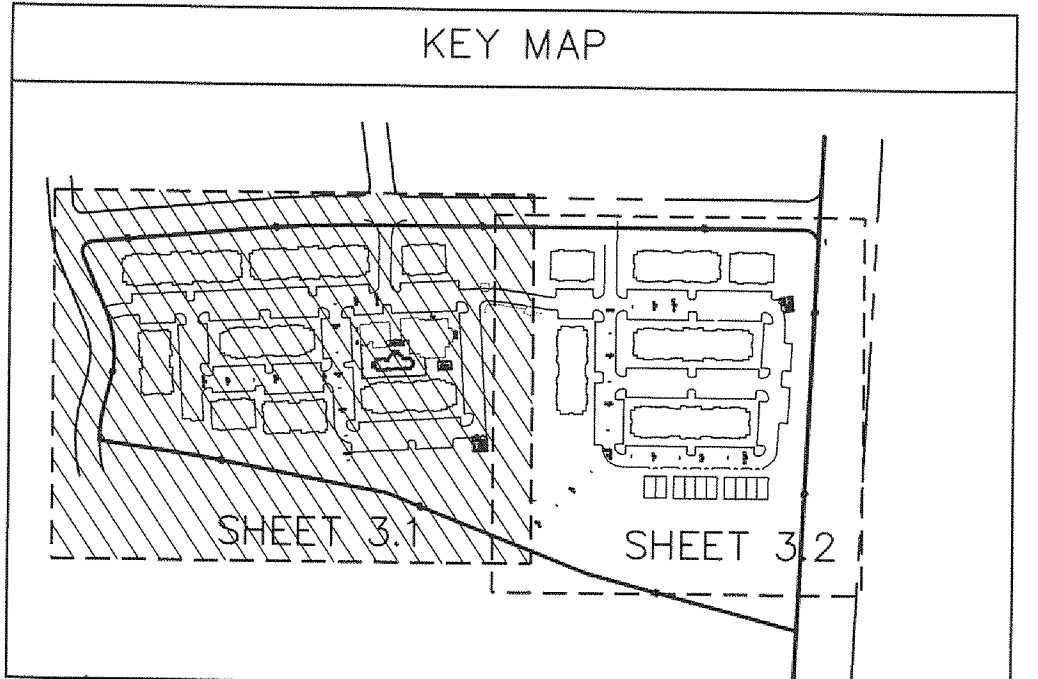
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HORIZONTAL: 1"=60'
VERTICAL: N/A

FILE NUMBER: CS101-45550004
DRAWING NUMBER: **C3.0**

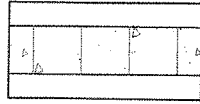
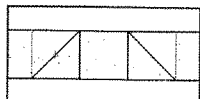




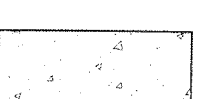
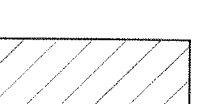
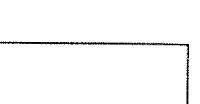
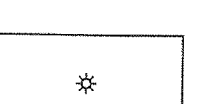
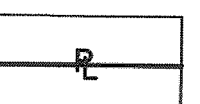
STATUS: Preliminary Design
REVISION: 5

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 - ALL CURB RADI ARE 5' UNLESS NOTED OTHERWISE
- NOTICE TO CONTRACTOR/REVIEWER:
FOR GENERAL NOTES SEE SHEET C9.0





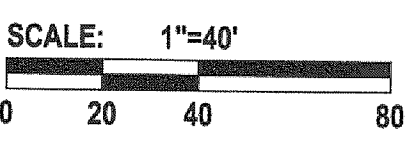
LEGEND

SYMBOL		DETAIL
	PROPOSED SIDEWALK	CMLDS #10.22
	PROPOSED HANDICAP RAMP	
	PROPOSED HANDICAP SPACE	-/-
	PROPOSED HANDICAP VAN SPACE	-/-
	PROPOSED HANDICAP SIGN	CLDSM #50.10A B, C
	PROPOSED STOP SIGN	-/-
	HEAVY DUTY CONCRETE	-/-
	HEAVY DUTY BITUMINOUS CONCRETE	-/-
	LIGHT DUTY BITUMINOUS CONCRETE	-/-
	PROPOSED 1'-6" CURB & GUTTER	CLDSM #10.17A
	PROPOSED 2'-6" CURB & GUTTER	CLDSM #10.17A
	PROPOSED LIGHTING	-/-
	PROPERTY LINE	-/-
		-/-

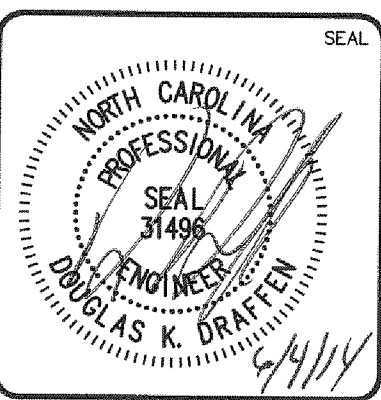
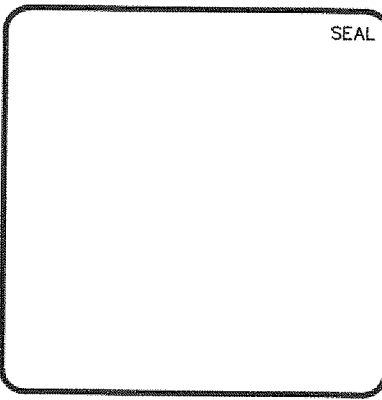


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REVNO.	DESCRIPTION	DATE
5	REVISE BOTTOMLESS CULVERT TO PIPED CULVERT	05/28/14
4	REVISE BOTTOMLESS CULVERT TO PIPED CULVERT	05/28/14
3	ADDITION OF BOTTOMLESS CULVERT	08/30/12
2	REVISION PER CITY & NCDWM COMMENTS	08/11/12
1	DUMPSTER & CREEK CROSSING	12/15/11
1	REVISIONS	



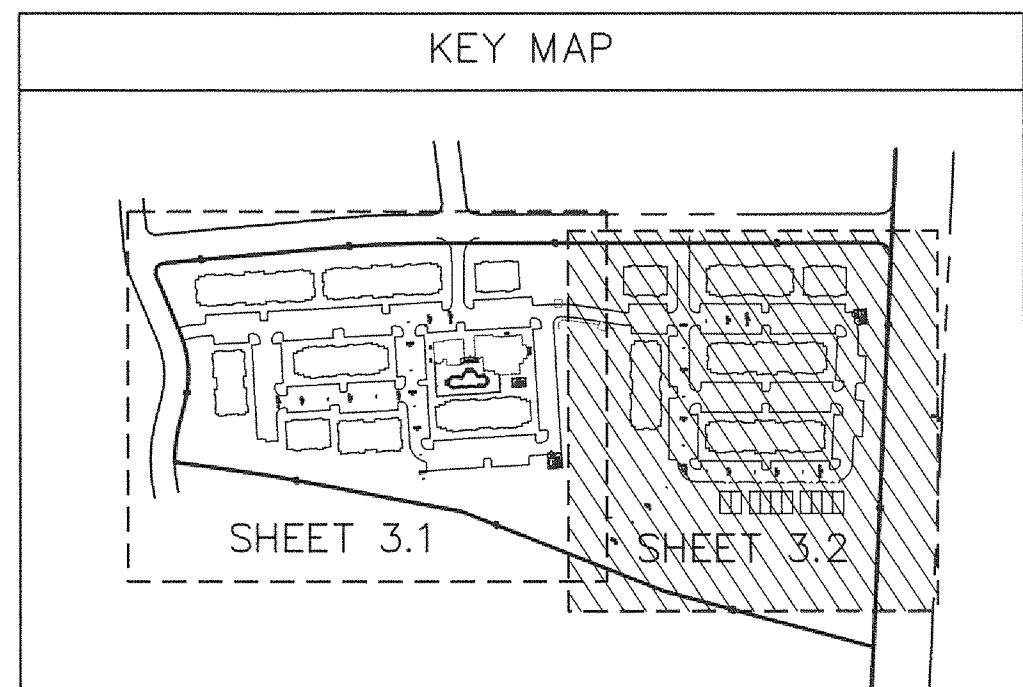
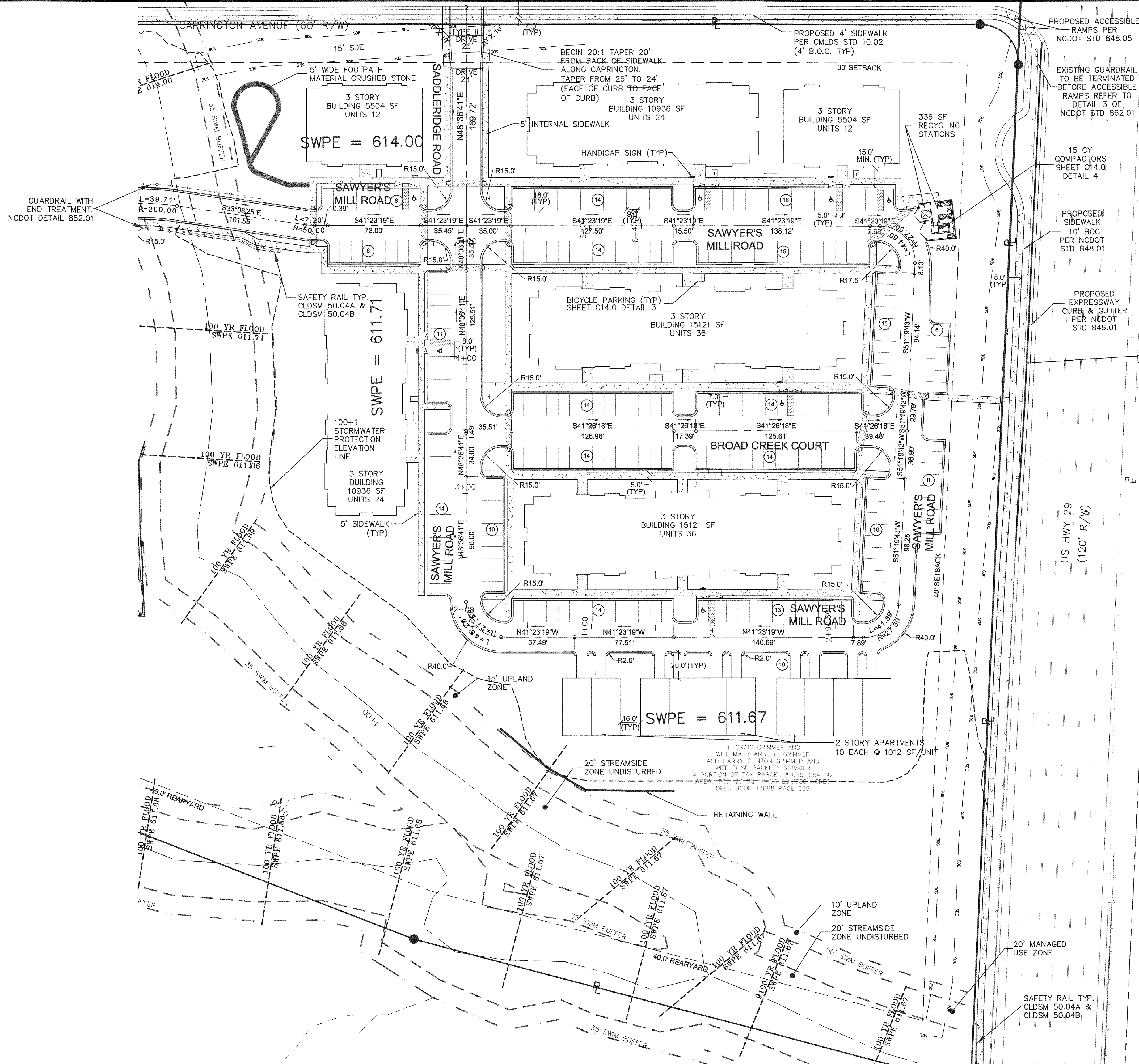
MCKIM & CREED

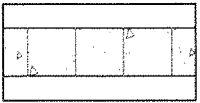
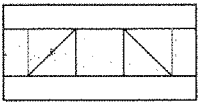



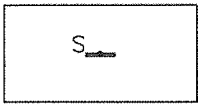
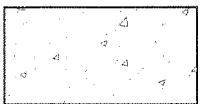
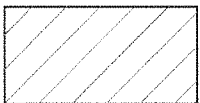

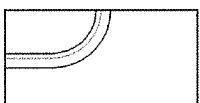
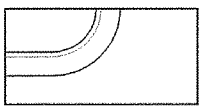
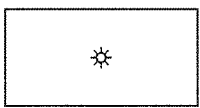
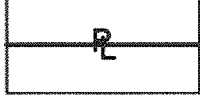
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DATE:	01/15/07	FILE NUMBER:	CS102-45550004
PROJ. #	45550004	DRAWING NUMBER:	C3.1
DRAWN:	GWF		
DESIGNED:	JLD		
CHECKED:	DKD		
PROJ. MGR.	DKD		
STATUS:	Preliminary Design	REVISION	5

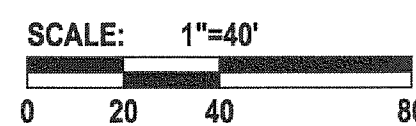


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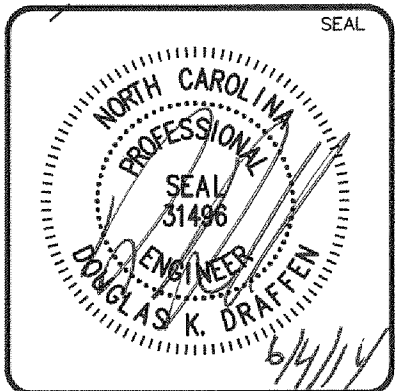
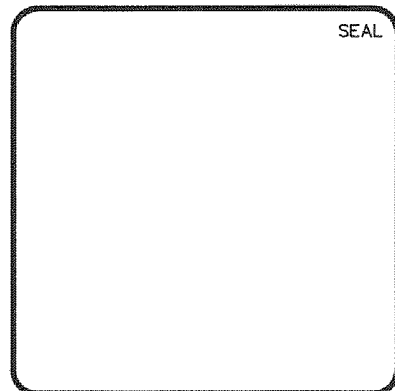


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SITE PLAN

DATE:	01/15/07	SCALE:	1"=40'	FILE NUMBER:	CS103-4550004
PROJ. #	45550004	HORIZONTAL:	1"=40'	DRAWING NUMBER:	C3.2
DRAWN:	GW	VERTICAL:	N/A		
DESIGNED:	JLD				
CHECKED:	DKD				
PROJ. MGR.	DKD				
STATUS: Preliminary Design			REVISION 4		