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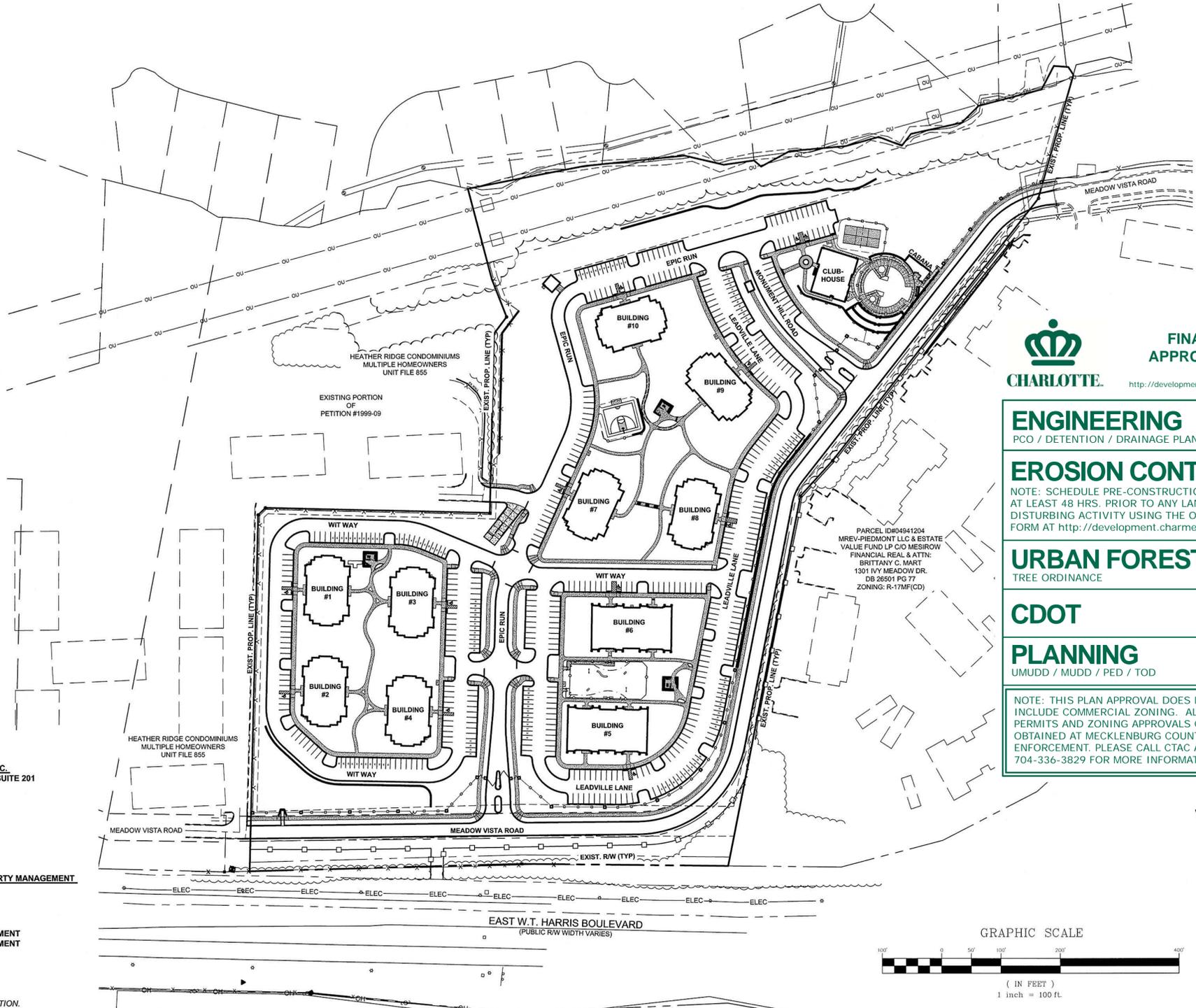
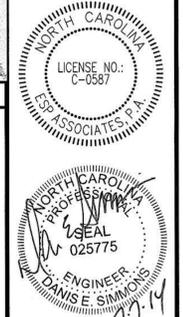
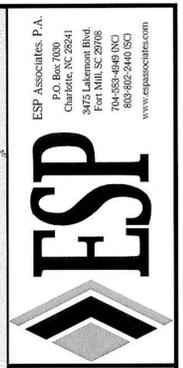
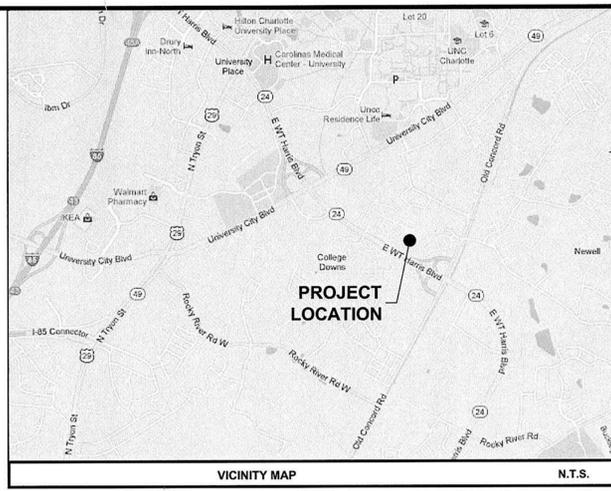
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# Aspen Heights

LOCATED IN  
CHARLOTTE, NORTH CAROLINA

**REVISION\***  
**PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 7/28/14

**REVISION\*** The revision includes the following:  
Addition of a pool cabana building, and associated re-  
grading of detention basin C.  
Addition of 3 fire pit amenity areas, 1 half basketball court,  
a sand volleyball court, and dog park.  
Revision to detention basin B due to increased impervious  
from amenity areas.



**FINAL APPROVAL**  
CHARLOTTE <http://development.charmeck.org>

SDRMFR-2014-00017  
SET 1 OF 2

**ENGINEERING**  
PCO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**  
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

**PLANNING**  
UMUDD / MUDD / PED / TOD

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

**APPROVED**  
By Mark Chapman at 8:29 am, Jun 17, 2014

**APPROVED** as noted on C-2.1  
By Stan Armstrong at 7:43 am, Jun 19, 2014

**APPROVED** on behalf of Candice Leonard  
By Mark Chapman at 10:30 am, Jul 29, 2014

**OWNER INFORMATION:**

**ENGINEERING FIRM:** ESP ASSOCIATES, P.A.  
3475 LAKEMONT BLVD.  
FORT MILL, SC 29708  
(803) 802-2440  
(803) 802-2515  
DANIS SIMMONS, PE

**SURVEYING FIRM:** ESP ASSOCIATES, P.A.  
3475 LAKEMONT BLVD.  
FORT MILL, SC 29708  
(803) 802-2440  
(803) 802-2515  
FEBRUARY 27, 2013

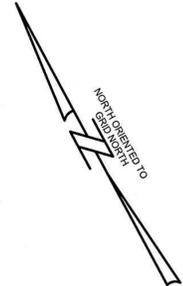
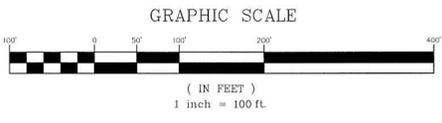
**PROPERTY OWNER:** BRECKENRIDGE GROUP NORTH CAROLINA, LLC.  
1301 S. CAPITAL OF TEXAS HIGHWAY, BLDG. B SUITE 201  
AUSTIN, TX 78746

**DEVELOPER:** BRECKENRIDGE LAND ACQUISITION, LP  
1301 S. CAPITAL OF TEXAS HWY  
SUITE B-201  
AUSTIN, TX 78746  
(512) - 369 - 3030  
RYAN FETGATTER, DEVELOPMENT MANAGER

**REVIEW AGENCY:** CITY OF CHARLOTTE- ENGINEERING & PROPERTY MANAGEMENT  
600 E 4TH STREET  
CHARLOTTE, NC 29201  
(704) 336-2291

**UTILITY PROVIDERS:**  
WATER: CHARLOTTE MECKLENBURG UTILITY DEPARTMENT  
SEWER: CHARLOTTE MECKLENBURG UTILITY DEPARTMENT  
ELECTRICITY: DUKE POWER  
NATURAL GAS: -  
\*PHONE/CABLE: AT&T, TIME WARNER

\*ADDITIONAL PROVIDERS MAY HAVE LINES AND APPURTENANCES ON-SITE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRESENT PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

NO.	DATE	REVISION	REV. PER COUNTY COMMENTS				
3	09/30/2013						
4	10/08/2013						
5	10/17/2013						
6	02/28/2014						
7	06/11/2014						
8	07/07/2014						

COVER SHEET

**ASPEN HEIGHTS CHARLOTTE**  
BRECKENRIDGE LAND ACQUISITION, LP

CHARLOTTE, NC

**PROJECT INFORMATION**

PROJECT MANAGER:	DES
DESIGNED BY:	MTK
DRAWN BY:	MTK
PROJECT NUMBER:	AMS3.400
ORIGINAL DATE:	06/03/2013

**C-0.0**

**NOTES:**

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2003 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.

- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- TRASH WILL BE DISPOSED OF IN PRIVATE RECEPTACLES ON SITE. THE OWNER WILL COLLECT THE TRASH FROM THE RECEPTACLES AND TAKE THEM TO A LEGALLY APPROVED LANDFILL.
- SITE INSPECTOR MAY REQUIRE ADDITIONAL VEGETATION TO SCREEN PARKING UPON SITE VISIT IF IT IS DETERMINED THAT EXISTING VEGETATION AND TOPOGRAPHY DO NOT ADEQUATELY SCREEN PARKING.
- ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT OR NCDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA POISSANT, 704 336-2562, AT CDOT FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA POISSANT, 704 336-2562, FOR FURTHER INFORMATION.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT TO BE RELOCATED AT THE EXPENSE OF THE APPLICANT AND/OR UTILITY PROVIDER.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8" IN DIAMETER (4.5" ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692. NOTE: THIS NOTE WILL BE ALSO REQUIRED ON LANDSCAPE PLAN SUBMITTALS.
- SEE ARCHITECTURAL PLANS BY OTHERS FOR BUILDING SPECIFIC INFORMATION.
- ALL RETAINING WALLS SHALL HAVE FENCE LOCATED ALONG THE TOP OF WALL. - SEE WALL DESIGN DRAWINGS BY OTHERS FOR DETAILED INFORMATION.
- ALL ONSITE UTILITIES SHALL BE LOCATED BELOW GROUND LEVEL.
- ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

SITE PLAN NOTES CONTINUED ON SHEET C-2.2

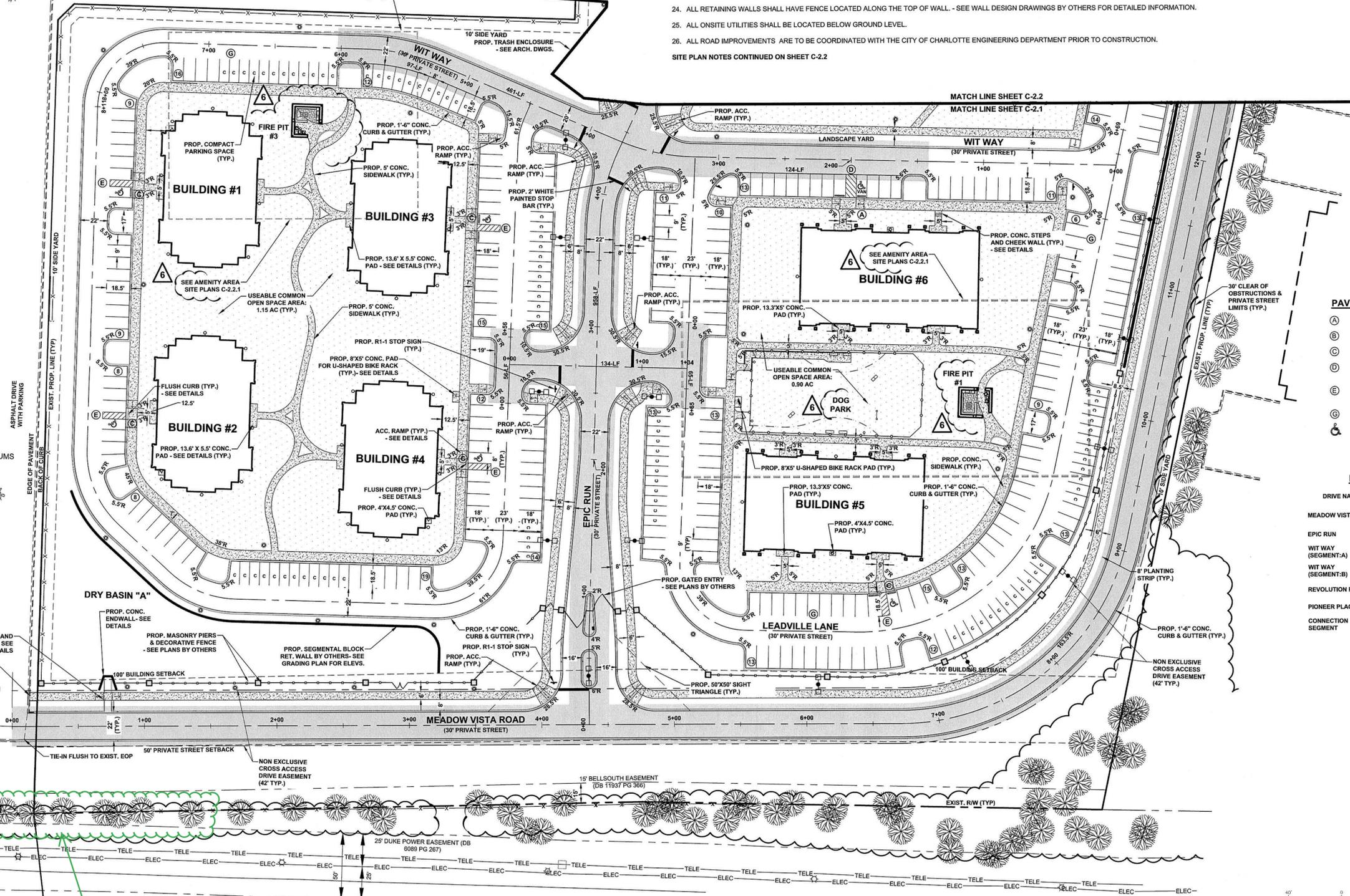


Know what's below.  
Call before you dig.



MATCH LINE SHEET C-2.2  
MATCH LINE SHEET C-2.1

HEATHER RIDGE CONDOMINIUMS  
MULTIPLE OWNERS  
UNIT FILE 855



**PROPOSED SITE LIGHTING LEGEND**

- ☼ PROP. SINGLE LUMINAIRE FIXTURE
- PROP. DOUBLE LUMINAIRE FIXTURE
- ⊙ PROP. BUILDING MOUNTED LIGHT FIXTURE

FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO LIGHTING PLANS BY OTHERS, SHEETS E2.06, E2.0C, E2.0D, & E2.0E FOR MORE INFORMATION.

**PAVEMENT MARKING SCHEDULE**

- (A) VAN ACCESSIBLE HANDICAPPED PARKING SIGN
- (B) NO PARKING SIGN
- (C) ADA HANDICAPPED PARKING SIGN
- (D) 8' WIDE HANDICAP PARKING LINES, 4" SOLID WHITE LINES AT 45 ANGLE WITH 24" O.C. SEPARATION
- (E) 5' WIDE HANDICAP PARKING LINES, 4" SOLID WHITE LINES AT 45 ANGLE WITH 24" O.C. SEPARATION
- (G) PARKING SPACE LINES, 4" SOLID WHITE
- (H) BLUE ADA PARKING SYMBOL

**PRIVATE DRIVE SUMMARY TABLE**

DRIVE NAME	LF. OF DRIVE	LF. OF PARKING	% OF PARKING
MEADOW VISTA ROAD	2,028 LF	0 LF	0%
EPIC RUN	1,103 LF	265 LF	24%
WIT WAY (SEGMENT-A)	461 LF	221 LF	48%
WIT WAY (SEGMENT-B)	96 LF	18 LF	32%
REVOLUTION ROAD	329 LF	135 LF	41%
PIONEER PLACE	65 LF	18 LF	28%
CONNECTION SEGMENT	134 LF	0 LF	0%

NO.	DATE	REVISION
1	08/02/2013	REV. PER CITY & CLIENT COMMENTS
2	09/10/2013	REV. PER CITY COMMENTS
6	05/22/2014	REV. PER CABANA AND AMENITY AREAS

**SITE PLAN (1 OF 2)**

**ASPEN HEIGHTS CHARLOTTE**

CHARLOTTE, NC

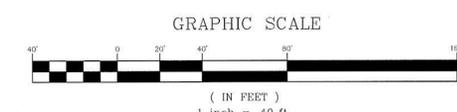
BRECKENRIDGE LAND ACQUISITION, LP

**PROJECT INFORMATION**

PROJECT MANAGER:	DES
DESIGNED BY:	TMM
DRAWN BY:	TMM
PROJECT NUMBER:	AM33.400
ORIGINAL DATE:	06/03/2013

SHEET: **C-2.1**

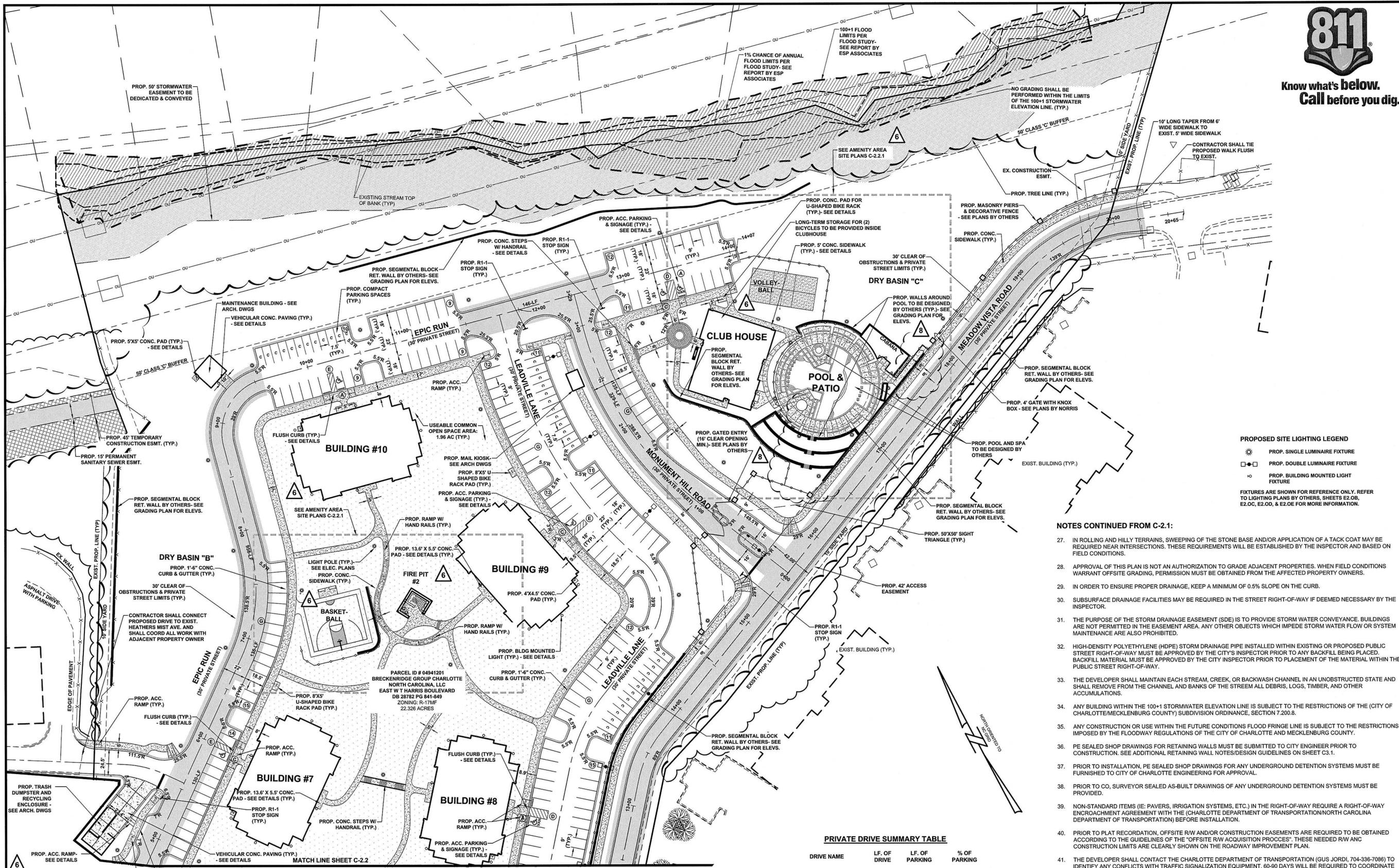
These trees were removed due to powerline relocation. Mitigation for replacement will be decided by Urban Forestry Inspector in the field.





Know what's below.  
Call before you dig.

ESP Associates, P.A.  
P.O. Box 7039  
Charlotte, NC 28241  
SRTG Lakemont Blvd.  
Ft. Mill, SC 29505  
803-902-2448 (SC)  
www.espace.com



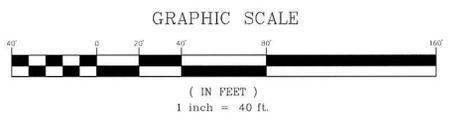
- PROPOSED SITE LIGHTING LEGEND**
- PROP. SINGLE LUMINAIRE FIXTURE
  - PROP. DOUBLE LUMINAIRE FIXTURE
  - PROP. BUILDING MOUNTED LIGHT FIXTURE
- FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO LIGHTING PLANS BY OTHERS, SHEETS E2.0B, E2.0C, E2.0D, & E2.0E FOR MORE INFORMATION.

- NOTES CONTINUED FROM C-2.1:**
27. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
  28. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  29. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
  30. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
  31. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
  32. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
  33. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, AND OTHER ACCUMULATIONS.
  34. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
  35. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
  36. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION. SEE ADDITIONAL RETAINING WALL NOTES/DESIGN GUIDELINES ON SHEET C3.1.
  37. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR ANY UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
  38. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ANY UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
  39. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
  40. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESSES". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
  41. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
  42. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
  44. CONSTRUCTION TIMELINE:  
ESTIMATED PROJECT COMMENCEMENT: AUGUST 2013  
ESTIMATED PROJECT COMPLETION: AUGUST 2014
  45. FOR THE APPROPRIATE TRAFFIC CONTROL, REFERENCE THE LATEST VERSION OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH).

**PRIVATE DRIVE SUMMARY TABLE**

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  - (B) NO PARKING SIGN
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NO.	DATE	REVISION	BY	DATE	REVISION
1	08/02/2013	REV. PER CITY & CLIENT COMMENTS	TMM		
2	09/12/2013	REV. PER CITY COMMENTS	MJK		
6	05/28/2014	REV. PER CABANA AND AMENITY AREAS	TMM		
8	07/07/2014	REV. PER COUNTY COMMENTS	TMM		

**SITE PLAN (2 OF 2)**

**ASPEN HEIGHTS CHARLOTTE**

CHARLOTTE, NC

BRECKENRIDGE LAND ACQUISITION, LP

**PROJECT INFORMATION**

PROJECT MANAGER:	DES
DESIGNED BY:	TMM
DRAWN BY:	TMM
PROJECT NUMBER:	AM33.400
ORIGINAL DATE:	06/03/2013
SHEET:	C-2.2

