

SHEET INDEX

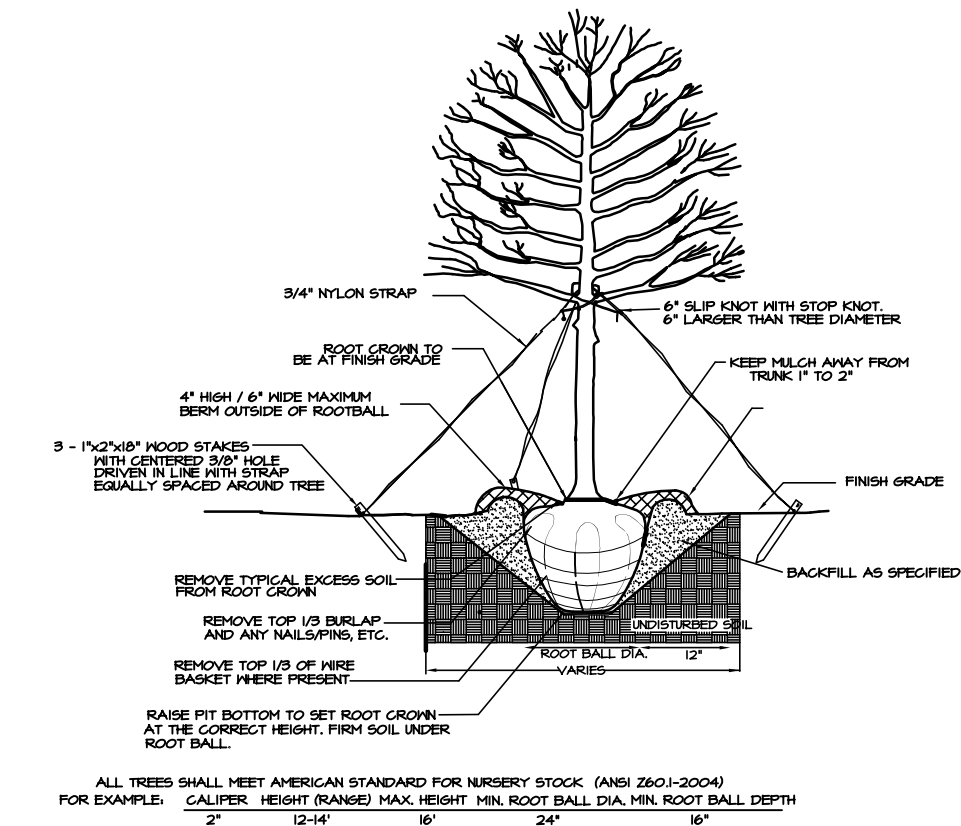
SHEET No.	SHEET TITLE
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Pre)
4	Erosion Control Plan (Post)
5	Site Construction Details & Roadway Profiles and
6	X-Sections (Approved Set 8.4)
7	Shaftsbury Road Improvement & Traffic Control Plan

TREE REQUIREMENTS

FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET NAME
150	3	04	SHAFTSBURY ROAD
500	11	0	ALDEN OAKS DRIVE
650	14	0	TOTAL

SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 650 LF  
STREET TREES REQUIRED: 650 / 50 = 14 (LARGE MATURING)  
STREET TREES PROPOSED: 14 LARGE, 0 SMALL  
\* USE EXISTING TREES THAT QUALIFY WHERE ALLOWED  
(1) LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.  
DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET  
NO HERITAGE TREES EXIST ON THIS PROPERTY

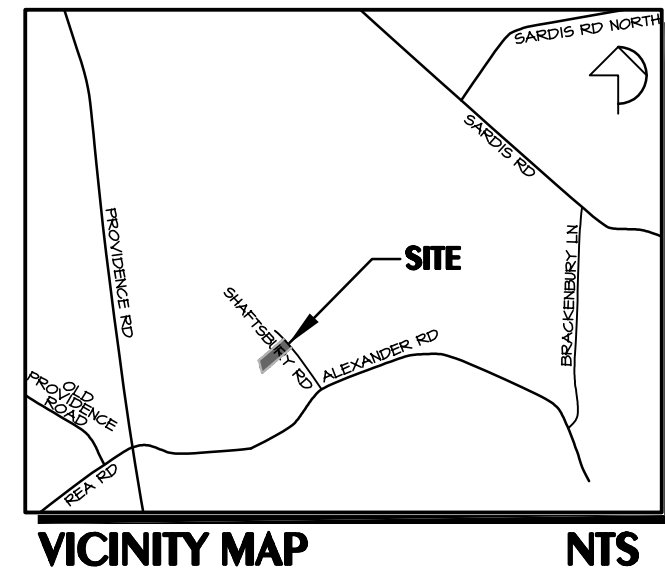


TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)


MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES) AND 3" CALIPER IF PLANTED IN CITY ROW. IF TALL, IF SINGLE STEM, SMALL MATURING MULTI-STEM TREES MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS AND MIN. 10' TALL.  
UNLESS APPROVED BY URBAN FORESTRY STAFF, ALL REQUIRED TREES SHALL HAVE GLASS STEEL TRUNKS WITH NO GOSSAMER TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT TO FORK AND FREE OF DAMAGE OR LEAKS. PLANTING SITE SHALL BE CALIBER CODE, BRANCH LIMIT SHALL BE 1/4" PER INCH OF CALIPER. TREE TRUNKS SHALL BE STRAIGHT TO FORK. ROOT PLANT SHALL BE LOCATED AT GRADE AND BE FREE FROM EXTENSIVE ADVENTUROUS ROOT GROWTH.  
ALL STRAPPING AND TOP 3/4 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/2 OF THE BASKET FROM ROOT BALL.  
FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SAND-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL, AND ADD 24" NEW TOPSOIL OR FILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES. WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE.  
LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH TRANSMISSION OR SIGNAL CABLES, CALL URBAN FORESTRY TO RESOLVE TREE PLANTING. A MIN. OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TEN (10) TREES REQUIRED TO BE PLANTED TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.  
SITE LIGHTING MUST BE A MIN. OF 30' AWAY FROM A TREE. FREESTRAN SCALE LIGHTING IS USED. TREE LIGHTING MUST BE A MIN. OF 10' AWAY FROM A TREE. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE AND ELECTRICAL LINES).  
ATTENTION LANDSCAPE: NOTIFY URBAN FORESTRY OF ANY SIGN, POWERLINE OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.  
COMMERCIAL TREE SAVE AREA MAY BE RECORDED IN ACCORDANCE WITH THE APPROPRIATE PLANS. A LAND PLAN AND THE REGISTER OF TREES OFFICE.  
PLEASE CALL 704-336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR PLANTING AREAS. 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.

LEGEND

---	EXISTING PAVEMENT/CURB
---	PROPOSED PAVEMENT/CURB
---	ADJOINING PROPERTY LINES
---	EXISTING BUILDINGS
---	PROPOSED 3' SIDEWALK
---	TREE PROTECTION FENCE
---	PROPOSED TREE SAVE AREA



Revision  
APPROVED FOR CONSTRUCTION  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By: Joshua Weaver 3-14-2014



CHARLOTTE

http://development.charmeck.org

## ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

## EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

## URBAN FORESTRY

TREE ORDINANCE

## CDOT

APPROVED

By Gary Turner (704-336-4330) (gturner@charlottenc.gov) at 4:32 pm, Mar 07, 2014

Per comments below.

APPROVED

By Brendan Smith (brendan@charlottenc.gov) (brendan@charlottenc.gov) at 2:08 pm, Mar 12, 2014

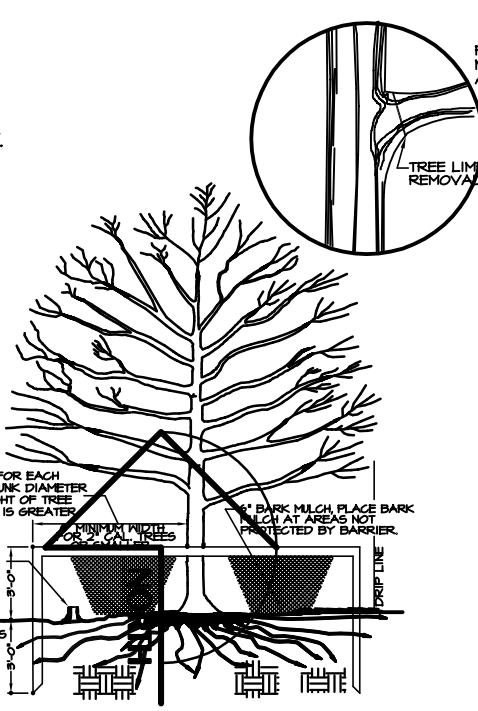
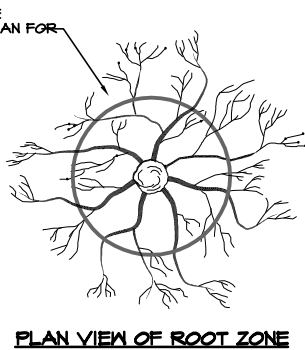
APPROVED

By Brendan Smith (brendan@charlottenc.gov) (brendan@charlottenc.gov) at 2:08 pm, Mar 12, 2014

TREE PROTECTION NOTES

ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ASSOCIATION FOR REQUIRED MAPS OF TREE PROTECTION. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE SAVE AREAS. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS IN DEVELOPMENT STDS. MANUAL 4022. BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704-336-4330 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY STAFF. NO GRUBBING WITHIN TREE SAVE AREAS. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1/2 INCHES OF MULCH. EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL, BACKFILL, ADAP TO MINIMIZE EXPOSURE TO THE AIR. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY. PLEASE SUBMIT UTILITY PLANS SO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES. ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND SITE LIGHTING. TREE PROTECTION FENCE IS LOCATED 9' BEYOND THE CURBLINE OF THE TREE SAVE AREA. PLEASE SHOW DIMENSIONS ON THE SITE AND GRADING PLANS. NOTES:  
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.  
2. LANDSCAPE PLANS SHALL SHOW THE LOCATION OF ALL TREE PROTECTION FENCES.  
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 0300 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

SEE APPROVED TREE PROTECTION PLAN FOR REQUIRED MAPS OF TREE BARRIERS



TREE PROTECTION DETAIL  
NO SCALE  
CLD STD # 40.02

GENERAL NOTES

- THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX LAND SURVEYING.
- TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.
- CITY SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
- SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
- REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 5 FOR EROSION CONTROL DETAILS.
- CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 5 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/NC DOT STD. NO.
CURB AND GUTTER	10.11
CURB TRANSITION	10.11
(C) BRICK CATCH BASIN	840.01 & 840.02
CONCRETE MONUMENT	50.03
SIDEWALK	10.22
- APPROXIMATE COMPLETION TIME IS SUMMER 2014.
- WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
- SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTURATED STATE. REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLD/SM 50.05 (4" SIGNS ONLY).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION) OR NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- IN ROLLING AND HILLY TERRAINS, SKEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADINGS, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SWR. MH IN SHAFTSBURY ROAD. ELEV. = 669.54 (NAV D 1988)
- CURB AND GUTTER SHOWN ON PLANS ALONG SHAFTSBURY ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- FE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- ALL ROAD IMPROVEMENTS AT SHAFTSBURY ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/NOTIFICATION.
- NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (BUS JORDI, 336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
- COMMON OPEN SPACE/TREE SAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEANED OF TRASH AND DEBRIS.
- THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORMWATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- PRIOR TO PLAY RECOGNITION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 1 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmeck.org/departments/transportation/street-maintenance/home.htm>

DEVELOPMENT DATA

TAX PARCEL NO.: 213-312-26 & 41  
ZONING CLASSIFICATION: R-3 (DESIGNED AS CLUSTER)\*\*  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ACREAGE: 2.44 AC (0.14 AC IN SHAFTSBURY R/W)  
NO. OF UNITS ALLOWED BY ZONING: 2.80 x 3 = 8.40  
AREA IN EXIST POND: 0.13 AC  
AREA IN SIDEWALK ESMT: 0.01 AC  
NET TOTAL SITE AREA: 2.66 AC  
TREE SAVE REQUIRED: 10% x 2.66 AC = 0.27 AC  
TREE SAVE PROVIDED: 0.24 AC (0.15%)  
TREESAVE: 0.04 (SPECIMEN), 0.25 (PROPOSED AREA)  
NO. OF UNITS ALLOWED/PROVIDED: (2.80+0.24) x 3 = 9.21/4

R-3 LOT DATA (CLUSTER\*\*):  
MIN. LOT SIZE = 8,000 SF  
MIN. LOT WIDTH = 60'  
MIN. SETBACK = 32'  
MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL  
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL

\* MBL FROM BACK OF CURB  
\*\* CHARLOTTE TREE ORD. INCENTIVES

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	30%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%

Preliminary Subdivision Site/Landscape Plan  
Alden Oaks (Revision)

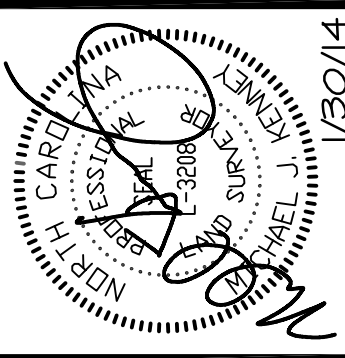
City of Charlotte, Mecklenburg County, North Carolina  
LiveWell Homes, 310 Springfield Drive, Fort Mill, SC 29715

Sheet No.

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Revisions:  
1. 1/17/14 REVISED PER CDOT & CDOT REVIEW COMMENTS  
2. 2/17/14 REVISED PER CDOT & CDOT REVIEW COMMENTS  
3. 2/17/14 REVISED PER CDOT & CDOT REVIEW COMMENTS



Scale:	1"=40'
Date:	11/20/13
Drawn By:	MJK
Designed By:	MJK
Job No.:	1513