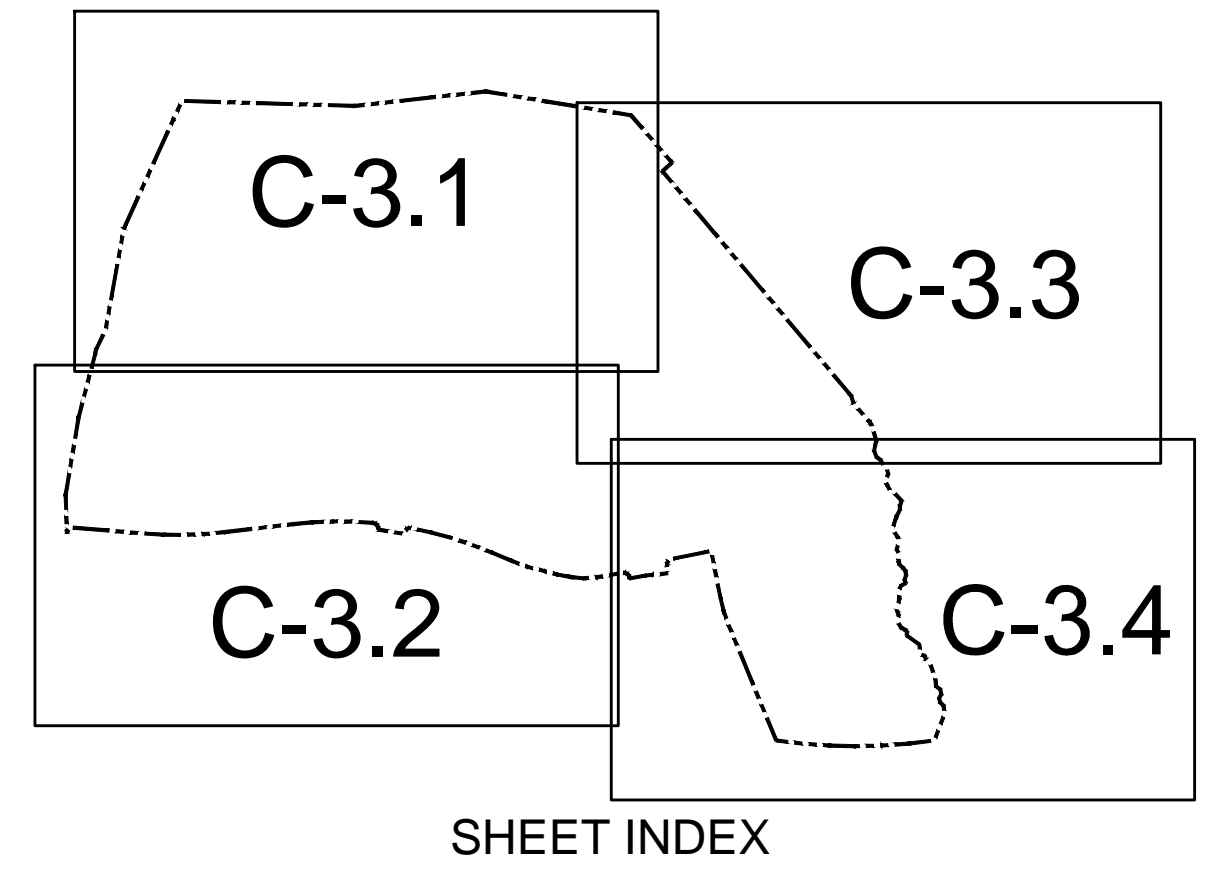


NOTES:

- 1) ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- 2) DIMENSIONS ON BUILDINGS ARE APPROXIMATE AND SHOULD NOT BE USED FOR BUILDING LAYOUT. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- 3) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- 4) PROJECT LOCATION:
 - LATITUDE: 35°10'09" N
 - LONGITUDE: 80°58'15" W
- 5) NO WORK CAN COMMENCE UNTIL GRADING PERMIT HAS BEEN ISSUED.
- 6) CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- 7) CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- 8) BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION. ARCHITECT MUST APPROVE STAKED ITEMS PRIOR TO CONSTRUCTION.
- 9) CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.
- 10) CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK INSIDE OR OUTSIDE OF THE CONSTRUCTION LIMITS.
- 11) ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- 12) ALL IMPROVEMENTS SHALL COMPLY WITH CITY OF CHARLOTTE AND MECKLENBURG COUNTY STANDARDS AND SPECIFICATIONS, AS WELL AS NCDOT REQUIREMENTS.
- 13) THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NO ONE CALL (PREVIOUSLY 1-800-485-4849) FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 14) ANY DISCREPANCIES FOUND IN THE FIELD AND BETWEEN THESE PLANS OR APPARENT ERRORS IN THESE PLANS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH WORK.
- 15) ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- 16) ALL PAVEMENT MARKINGS SHALL BE 4 INCHES UNLESS OTHERWISE NOTED.
- 17) DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 18) PAVEMENT SECTIONS TO BE VERIFIED BASED ON GEOTECHNICAL REPORT ON SUBGRADES SOILS TO BE PROVIDED TO LANDDESIGN, INC. FOR REVIEW.
- 19) PROJECT SIGNAGE SHALL BE SET BACK A MINIMUM OF 3 FEET FROM THE RIGHT-OF-WAY.
- 20) SEGMENTAL RETAINING WALLS WILL BE DESIGN/BUILD. ENGINEER/SEALED DRAWINGS WILL BE PROVIDED PRIOR TO CONSTRUCTION IN THE FORM OF SHOP DRAWINGS.
- 21) ALL FACE OF CURB RADI SHALL BE 5'0" UNLESS OTHERWISE SPECIFIED.
- 22) ALL LONG-TERM AND SHORT-TERM BICYCLE PARKING SHALL BE LOCATED INSIDE THE BACK OF CURB LINE WITHIN THE PLAZA AND COURTYARD PLANS PREPARED UNDER SEPARATE COVER. SINCE THE REQUIRED NUMBER OF SHORT-TERM BICYCLE PARKING SPACES EXCEEDS 30, 50% OF ALL SHORT-TERM BICYCLE PARKING PROVIDED SHALL BE COVERED.

DEVELOPMENT SUMMARY / CALCULATIONS		
GENERAL PARCEL ID: EXISTING ZONING: PETITION NO.:	199-241-13, 199-251-01 MUDDO (U/LW-PA) 2013-001	
	51.95 ACRES	
PHASE I SITE ACREAGE:	446,846 SF	
PROPOSED USE: - GLA - GBA	OUTLETS CENTER 4400,246 SF 446,846 SF	
PARKING REQUIREMENTS PARKING REQUIRED:	1,601 SPACES (1.0 SP/250 SF) 400,246 SF / 250 = 1,600.984 SPACES	
PARKING PROVIDED: COMPACT SPACES: ACCESSIBLE SPACES REQUIRED: ACCESSIBLE SPACES PROVIDED:	1,949 SPACES 466 SPACES (23.91% OF TOTAL) 30 SPACES (4 VAN ACCESSIBLE) 30 SPACES (4 VAN ACCESSIBLE)	
BIKE PARKING REQUIREMENTS LONG-TERM REQUIRED: SHORT-TERM PROVIDED:	34 (1 SPACE PER 12,000 SF) 34 81 (5% OF REQUIRED PARKING)	
OPEN SPACE REQUIREMENTS OPEN SPACE REQUIRED: OPEN SPACE PROVIDED:	7.80 ACRES (15.00%) 21.75 ACRES (41.87%)	

DEVELOPMENT SUMMARY / CALCULATIONS (CONTINUED)		
IMPERVIOUS TAKE-OFFS		
MAXIMUM IMPERVIOUS: (HIGH-DENSITY OPTION)	70.00% OF TOTAL ACREAGE LOWER LAKE WYLLIE PROTECTED AREA (U/LW-PA) 35.01 ACRES (67.40%)	
IMPERVIOUS PROVIDED:		
CONSTRUCTION SCHEDULE APPROVALS: BEGIN CONSTRUCTION: COMPLETED INFRASTRUCTURE: FULL BUILD-OUT:	JUNE/JULY 2013 JULY 2013 DECEMBER 2013 JULY 2014	



LEGEND:

- EASEMENT
- FENCE
- PROPERTY LINE
- RIGHT-OF-WAY
- GAS LINE
- SANITARY SEWER LINE
- FORCE MAIN
- OVERHEAD UTILITIES
- WATER LINE
- STORM SEWER
- TREE LINE
- UNDERGROUND TELEPHONE

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 9/10/13



REVISIONS:

DATE: MAY 14, 2013	DESIGNED BY: MEK
CHECKED BY: JST	PROJECT #:
06/05/13 - REVISION TO APPROVED PLANS	012173

SHEET #:

C-3.0

CHARLOTTE PREMIUM OUTLETS
City of Charlotte ETJ, Mecklenburg County, NC
Steele Creek (1997) Limited Partnership
OVERALL LAYOUT PLAN



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