

DEVELOPMENT NOTES-REZONING PETITION 2013-022

- Development Data Table
  - Site Acreage: 0.8172 Acres (35,596sf)
  - Tax Parcel: 07102324
  - Existing Zoning: R-5 HD-O (within Wesley Heights Historic District Overlay)
  - Proposed Zoning: UR-2 (CD) HD-O (within Wesley Heights Historic District Overlay)
  - Existing Use: Vacant Gravel Parking Lot, Proposed Use: Multi-Family
  - Number of Residential Units: Up to 35 Apartments Multi-Family Units (as allowed by parking)
  - Residential Density: 43 Dwelling Units per Acre
  - Square Footage of Non-Residential Uses: Up to 2,500sf Accessory Use (Storage & Deck and/or Street Level Retail)
  - Floor Area Ratio: Up to 1.0 (35,596sf)
  - Maximum Building Height: As allowed by Three Stories and 50' in addition to the UR-2 zoning height requirements
  - Number and/or Ratio of Parking Spaces: Up to 48 on-site & 6 on-street
  - Amount of Open Space: As required by UR-2 Zoning requirements- Outdoor Amenities Areas will be provided for Residents.
- General Provisions
  - Use & Design is controlled by Applicable Ordinances.
  - Alterations to the Conditional Plan are subject to Section 6.207
- Optional Provisions (not applicable)
- Permitted Uses
  - Allowed Uses: Multi-Family Residential & Uses Accessory to Residential, Street-Level Retail & Parking.
  - Prohibited Uses: All other uses allowed in UR-2
  - Other Use Restrictions: None
- Transportation
  - No Dedication or reservation of Street right-of-way to City/NC DOT
  - Driveway Apron will be widened to minimum 23' and to the extent allowed between adjoining Building and existing mature tree in collaboration with City Arborist and CDOT.
  - Existing Public Street
  - Parking Location: Surface on-site and striping of on-street 8-wide parking spaces within South Summit 90' curb-to-curb width. Parking will be provided on-site to the side and rear of the proposed building and on-street along South Summit Avenue as permitted by CDOT.
  - Transit: Existing Bus Route on West Morehead Street
  - No Right-of-Way Abandonment.
  - Location of Proposed bike parking: At Building Entrance(s)
  - Location of existing and proposed thoroughfares: NA
- Architectural Standards
  - Building Materials: Brick, Siding and Fiberglass Asphalt Shingles as approved by Historic District Commission Review.
  - Building Scale & number of Buildings: One Building with height per UR-2 (CD) limitations, facade stepped back and down on residential side.
  - Treatment of Urban Design & Architectural Elements: As approved by Historic District Commission.
  - Treatment of solid waste and recycling enclosures: Opaque with detail to be approved by Historic District Commission.
  - Fence/Wall standards: Solid wood with detail to be approved by Historic District Commission.
- Streetscape and Landscaping
  - Streetscape: Sidewalk and Street planting strip may be modified from requirements to preserve and protect existing mature street trees and to merge to neighboring sidewalk in collaboration with City Arborist, CDOT and Planning.
  - Special landscape, buffer, screening: Class C buffer 10'-6" wide with opaque wood fence abutting R-5 uses in rear of site. Shrubs with evergreens will be located between Summit Street and side parking. Site will comply with City of Charlotte Tree Ordinance.
- Environmental Features
  - Tree Save will be as required by Ordinance.
  - The project shall comply with Post Construction Controls Ordinance.
  - Environmental provisions will be as required by local Ordinances.
- Parks, Greenways and Open Space
  - There are no reservations/dedications of Park and/or Greenway on this site.
  - Park/Greenway improvements are not applicable.
  - There are no connections to Parks/Greenways.
  - Open Space on-site will be as required by Ordinance.
- Fire Protection
  - Fire Lane is shown on site plan partially on Easement property legally dedicated to this use.
- Signage
  - Signage will be limited by Ordinance for UR-2 Zoning District.
- Lighting
  - Freestanding lighting will be limited to 20' in height and shall utilize full cut-off type lighting fixtures. No wall-pak-type lighting will be allowed. Freestanding lighting will be limited to 20' in height and all lighting exterior lighting shall utilize full cut-off type lighting fixtures.
- Phasing
  - Development shall be substantially built in a single phase.
- Other
  - Building & Parking configuration may vary slightly from illustrations to comply with Historic Property Commission review and further Planning, Tree Save, CDOT Code, Community & Marketing requirements, Driveway apron, sidewalk and street planting strip will be requested to vary from City requirements to preserve existing mature trees the City Arborist deems worthy of preservation.
  - NA
  - NA
  - NA
  - Utilities shall be underground.
  - Dumpster and Recycling Containers will be located on shared Easement legally designated for this purpose and shared between neighboring property Owners.

GENERAL SITE NOTES

A. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY:

RB PHARR & ASSOCIATES, PA  
420 HAWTHORNE LANE  
CHARLOTTE, NC 28204  
PHONE: (704) 376-2186

B. OWNER/DEVELOPER:

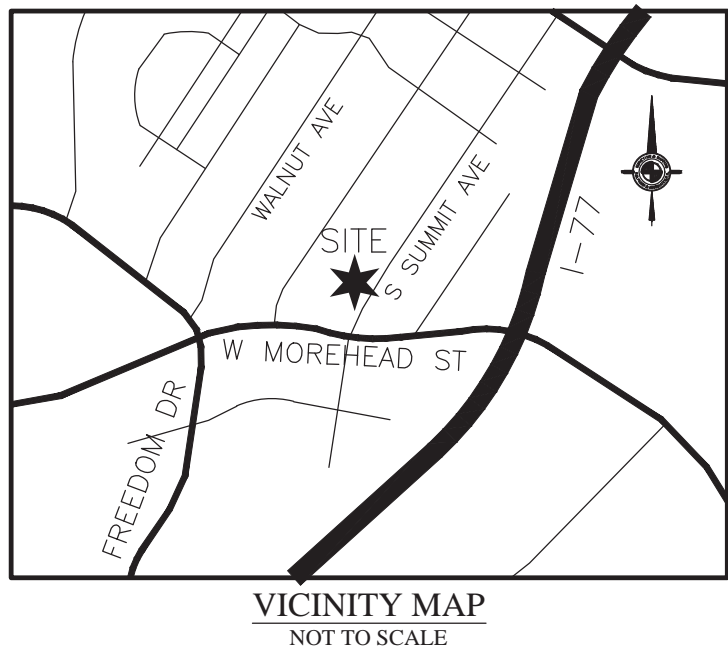
MISSION PROPERTIES, LLC  
2714 SELWYN AVENUE  
CHARLOTTE, NC 28202  
PHONE: (704) 307-8265

C. ARCHITECT:

MILLER ARCHITECTURE  
715 N. CEDAR STREET, SUITE 140  
CHARLOTTE, NC 28205  
PHONE: (704) 377-8500

- ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE WITH 1" DEEP GROOVE CONTROL JOINTS. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION, IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF CONSTRUCTION.
- THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION.
- SEE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND SIZE OF WATER, SEWER, AND ROOF DOWNSPOUTS.
- SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.
- ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
- ALL ON-SITE UTILITIES SHALL BE UNDERGROUND.
- ALL SIGNAGE WILL BE PERMITTED SEPARATELY.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
- A RIGHT-OF-WAY ENCRoACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE, CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION. AN ENCRoACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION /INSTALLATION OF NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. IT IS POSSIBLE THAT CDOT MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENCRoACHMENT AGREEMENT

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
[by Jason Prescott, 11/22/2013]



SITE SUMMARY:

OWNER: MISSION PROPERTIES, LLC  
SITE ADDRESS: 708 S. SUMMIT AVENUE  
PROJECT IS WITHIN CHARLOTTE CITY LIMITS  
SITE ACREAGE: 0.8172 AC (35,596 SQ. FT)  
ZONING: UR-2(CD) HD-O (WESLEY HEIGHTS HISTORIC DISTRICT OVERLAY)  
ZONING PETITION: 2013-022  
HISTORIC DISTRICT APPROVAL 2012-172  
TAX ID: 071-023-24  
EXISTING LAND USE: VACANT W/GRAVEL SURFACE PARKING  
PROPOSED USE: 35 APARTMENT UNITS  
BUILDING FLOOR AREA: 31, 001 SQ. FT. GROSS  
MAXIMUM FLOOR AREA RATIO (FAR) = 1  
PROPOSED FLOOR AREA RATIO =0.87  
MAXIMUM BUILDING HEIGHT: BUILDING HEIGHT SHALL BE CONSISTENT WITH APPROVED REZONING PLAN AND PLANS APPROVED BY THE HDC (THREE STORIES AND 50 FT. IN ADDITION TO THE UR-2 HEIGHT REQUIREMENTS).  
PROPOSED BUILDING HEIGHT: 49'-11" TO TOP OF ROOF  
ESTIMATED COMPLETION DATE: DECEMBER 2014

SETBACKS:

FRONT: 14 FT. FROM BACK OF EXISTING CURB OF S. SUMMIT AVE.  
SIDE YARD: 5 FT.  
REAR YARD: 10 FT.

OUTDOOR LIGHTING:

FREESTANDING LIGHTING SHALL BE LIMITED TO 20 FT. HEIGHT.  
ALL EXTERIOR LIGHTING SHALL UTILIZE FULL CUT OFF TYPE LIGHTING FIXTURES. SEE SITE LIGHTING PLAN, SHEET ES1.0.

PARKING/BIKE PARKING SUMMARY:

PARKING REQUIRED: 1 SPACE PER DWELLING UNIT  
35 DWELLING UNITS @ 1 SPACE PER UNIT = 35 SPACES REQUIRED  
PARKING PROVIDED: 42 SPACES  
ACCESSIBLE SPACES REQUIRED = 2 SPACES, 1 OF WHICH MUST BE VAN ACCESSIBLE  
ACCESSIBLE SPACES PROVIDED: 2 SPACES, ONE OF WHICH IS VAN ACCESSIBLE  
BIKE PARKING REQUIRED: 2 SHORT TERM SPACES FOR 35 APARTMENTS  
BIKE PARKING PROVIDED: 2 SHORT TERM SPACES

SOLID WASTE AND RECYCLING:

ONE 8-CUBIC YARD SOLID WASTE CONTAINER IS REQUIRED FOR EVERY 30 UNITS FOR 35 UNITS. TWO (2) 8- CUBIC YARD CONTAINERS HAVE BEEN PROVIDED WITHIN AN OPAQUE SCREENED GATED ENCLOSURE. SEE SHEET A205 FOR ENCLOSURE SCREEN DETAIL.  
MIN. 144 SF AREA IS REQUIRED FOR RECYCLING STORAGE AND COLLECTION  
RECYCLING SPACE PROVIDED WITHIN THE SCREENED ENCLOSURE IS 144.1 SF (13.10' X 11').  
SOLID WASTE AND RECYCLING COLLECTION WILL BE BY PRIVATE COLLECTION SERVICE

REQUIRED TREE SAVE SUMMARY:

35,596 SQ. FT. PARCEL IS LOCATED IN THE NORTHWEST WEDGE AS DEFINED BY PLANNING  
REQUIRED TREE SAVE AREA PER THE CHARLOTTE TREE ORDINANCE IS 15% OF THE PARCEL AREA.  
REQUIRED TREE SAVE = (.15)(35,596 SQ. FT.) = 5,340 SQ. FT.  
REQUIRED TREE SAVE MITIGATION AREA @ 150% = (5,340 SQ. FT.)(1.5) = 8,010 SQ. FT.  
TREE SAVE MITIGATION AREA PROVIDED = 8,053 SQ FT. OR 0.185 ACRE  
TREE SAVE MITIGATION AREA SHALL BE PLANTED WITH 36 TREES PER ACRE  
TREE SAVE MITIGATION TREES REQUIRED = (36)(0.185) = 7 TREES

NOTE: TREE SAVE AREA MUST BE PLATTED AND RECORDED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY

SITE PLAN KEYED NOTES

- NEW 1'-6" CONC. CURB AND GUTTER(TYP) SEE DETAIL 10.17A, SHEET C4.1
- REPLACE EXISTING DEPRESSED CURB WITH 6" VERTICAL CURB TO MATCH EXISTING CURB. SEE DETAIL 10.18, SHEET C4.1
- BEGIN 10.5' CLASS C BUFFER WITH 6' OPAQUE WOOD FENCE 5.5' FROM THE PROPERTY LINE.
- NEW SIDEWALK ACCESS AND MAINTENANCE EASEMENT FOR WIDTH OF SIDEWALK PLUS 2 FEET BEYOND EDGE OF WALK.
- OVERLAY EXISTING ASPHALT PAVEMENT WITH 1" ASPHALT SURFACE COURSE DURING FINAL 1" LIFT OF ADJACENT PAVEMENT
- NEW HEAVY DUTY ASPHALT PAVEMENT TO SUPPORT MIN. 80,000 LB. FIRE APPARATUS (SHADED) SEE DETAIL SHEET C4.2
- NEW 5' CONC. SIDEWALK. SEE DETAIL 10.22, SHEET C4.1
- SAW CUT AND REMOVE 1 FT. FROM EDGE OF STREET ASPHALT TO ALLOW FOR CURB AND DRIVEWAY INSTALLATION. REPLACE WITH FULL DEPTH ASPHALT PAVEMENT PER CITY OF CHARLOTTE SPECIFICATIONS. SEE FULL DEPTH DETAIL, SHEET C4.2. PROVIDE TRAFFIC CONTROL AS REQUIRED BY CHARLOTTE DEPT. OF TRANSPORTATION. SEE WORK AREA NOTES AND WATCH DIAGRAM TRAFFIC CONTROL ON SHEET C4.3. LANE CLOSURES ARE NOT ALLOWED 7AM-9AM OR 4:30-6:30 PM.
- WIDEN EXISTING DRIVEWAY TO 26 FT. NEW DRIVEWAY CONSTRUCTION FOR WIDENING SHALL CONFORM WITH CITY OF CHARLOTTE COMMERCIAL TYPE 2 DRIVEWAY WITH PLANTING STRIP AND VERTICAL CURB. SEE DETAIL 10.25D, SHEET C4.1.
- NEW 18" X 6" VERTICAL CURB, SEE DETAIL, SHEET C4.1.
- NEW CONCRETE PAVEMENT TO MATCH EXISTING. SEE DETAIL, SHEET C4.2
- NEW 6' WIDE CONCRETE SIDEWALK PER CITY OF CHARLOTTE STANDARDS, SEE DETAIL SHEET C4.2.
- NEW 8' PLANTING STRIP PER CITY OF CHARLOTTE STANDARDS
- 6' OPAQUE WOOD FENCE SOLID WASTE AND RECYCLING ENCLOSURE WITH SCREENING GATE. SEE SHEET A205 FOR ENCLOSURE FENCE DETAIL. PROVIDE TWO (2) 8CY SOLID WASTE CONTAINERS ("SW") AND ONE 8CY RECYCLING CONTAINER PRIVATE HAULER COLLECTION. RECYCLING ENCLOSURE AREA (DESIGNATED "R") SHALL BE 10.1' X 11', MIN. 144 SQ. FT.
- ACCESSIBLE CURB RAMP. SEE DETAIL SHEET C4.2
- ACCESSIBLE PARKING SIGNAGE. SEE ACCESSIBLE PARKING DETAILS, SHET C4.2
- 2 SHORT TERM BIKE PARKING SPACES. ONE (1) INVERTED U-RACK W/CONCRETE PAD, SEE DETAIL, SHEET C4.1)
- MEDIUM DUTY APHALT PAVEMENT. SEE DETAIL, SHEET C4.2
- INSTALL TEMPORARY SIGNS DURING CONSTRUCTION STATING "SIDEWALK CLOSED, USE OTHER SIDE" (SIGN R9-10)
- NEW SITE RETAINING WALL. WALL HEIGHT WILL NOT EXCEED FOUR (4) FEET AT ANY LOCATION.
- NEW 4' CONCRETE SIDEWALK AND 8' DIA. CONCRETE PAD FOR GRILLING STATION
- CHARCOAL GRILL, FIREMASTER 22-S101C-G6 W/SUPPORT POST, OR APPROVED EQUIV, NO CLOSER THAN 6 FT. FROM BLDG.
- GARDEN BENCH TO BE SELECTED BY OWNER. SECURE TO CONCRETE PAD WITH THEFT RESISTANT HARDWARE



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CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.



SCALE: 1" = 20'

SURVEYOR

R. B. Pharr & Associates, P. A.  
420 Hawthorne Lane  
Charlotte, NC 28204  
C Clark Neilson 704-376-2186  
cneilson@rbpharr.com

708  
SOUTH  
SUMMIT

HDC 2012-172  
REZONING PETITION 2013-022  
APPROVED 04/15/13

FOR  
MISSION PROPERTIES, LLC

ISSUED FOR: CONSTRUCTION

ISSUE DATE: 10/17/13

REVISIONS:

SITE PLAN

C1.1