

SITE DATA:

PIN: 029-311-38
OWNER: Charter Properties, Inc.
ADDRESS: 1520 South Boulevard, Suite 215
Charlotte, NC 28203
(704) 377-4172

Site Area:
R-22 MF(CD) 12.328 Ac.
UR-2 CD 6.241 Ac.
Total: 18.569 Ac.

Jurisdiction: City of Charlotte
Zoning: R-22 MF(CD) & UR-2 CD
Zoning Petitions: 2002-125 and 2007-112

Dwellings:
R-22 MF(CD) 214
UR-2 CD 124
Total: Apartments for Rent 338

Parking:
Required:
R-22 MF(CD) (1.5*214) 321
UR-2 CD (1.5*124) 186
Total: 507
Provided:
R-22 MF(CD) 352
UR-2 CD 207
Total: 559

Standard Space: 9'x18'
B Space: 8.5'x18' Wide
C Space: 8'x18' Wide

Bicycle:
Required spaces: 1 Per 20 Units=17
Provided spaces: 32 3 space racks=96

DENSITY: 18.28 Du/Ac

COMMON OPEN SPACE:
Required: 50%=9.28 Acres
Provided: 9.77 Acres

TREE SAVE AREA:
SEE SHEET L5.0

YARD REQUIREMENTS:
Setback (front): 8' I-485 Service Road
From Right-of-Way: 40' Ridge Road
15' Prosperity Ridge Road
14' Prosperity Ridge Road UR-2 CD
Measured from 60C or R/W
Whichever is greater
30' Thomas Ridge Road
10' and 12', see plans
12', 40 FT see plans

Side Yard:
Rear Yard:
Building Separation: 16 FT Minimum R22MF CD
10 FT Minimum UR-2 CD

SOLID WASTE/RECYCLING STATION REQUIREMENTS
Solid Waste:
Required: 8 cu.yd. Compactor Per 90 Units
338 Units=32 cu. yd.
Provided: 32 cu. yd. Compactor
Required: 1 144sf station per 80 units
Section 12.403 321-400 Units Req. 5 x 144 sf.
5 Recycling Stations
(5 x 144 = 720 sf)

STAKING AND MATERIALS LEGEND:

SYMBOL	DETAIL	
	PROPOSED HANDICAP SPACE	CLDS #50.10A
	PROPOSED HANDICAP SIGNS	CLDS #50.10A CLDS #50.10B CLDS #50.10C
	PROPOSED SIDEWALK	CLDS #10.22
	PROPOSED HANDICAP RAMP	CLDS #10.32A CLDS #10.32B
	PROPOSED HEAVY DUTY ASPHALT	6/L7.0
	PROPOSED HEAVY DUTY CONCRETE	-/-
	PROPOSED 1'-6" CURB AND GUTTER	10/L7.0 CLDS #10.17A CLDS #10.17C
	PROPOSED 2'-6" CURB AND GUTTER PUBLIC STREETS ONLY	10/L7.0 CLDS #10.17A CLDS #10.17C
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER AT REAMES ROAD EXIT	MUTCD R1-1 30 x 30
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER AT INTERIOR INTERSECTIONS	MUTCD R1-1 24 x 24
	PROPOSED BUFFER FENCING	12/L7.3
	PROPOSED PRECAST CONCRETE WHEEL STOPS AT DEPRESSED CURB	-/-
	ACCESSIBLE RAMP	2/L7.1
	PROPOSED CARD BOARD DUMPSTER	15/L7.0
	PROPOSED RECYCLE CENTER	15-16/L7.0
	PROPOSED COMPACTOR	1-3/L7.0
	PROPOSED SAFETY FENCE	18/L7.0
	FIRE DEPARTMENT CONNECTION	-/-
	TRADITIONAL LIGHT FIXTURE 12' DIRECT BURY POLE	L7.3
	SHOE BOX LIGHT FIXTURE 20' DIRECT BURY POLE	L7.3
	SHOE BOX 2 LIGHT FIXTURES 180" OF EACH FIXTURE 20' DIRECT BURY POLE	L7.3
	INTERIOR BICYCLE RACK LOCATIONS	
	1'-6" MOUNTABLE CURB AND GUTTER	CLDS #10.17B
	ADA SIGNAGE AREA OF RESCUE ASSISTANCE 1/32" TACTILE SYMBOLS GRADE 2 BRAILLE	
	PROPOSED SAFETY FENCE	

Public streets and improvements to existing streets were approved on June 15, 2009 as part of the Prosperity Village Plan.

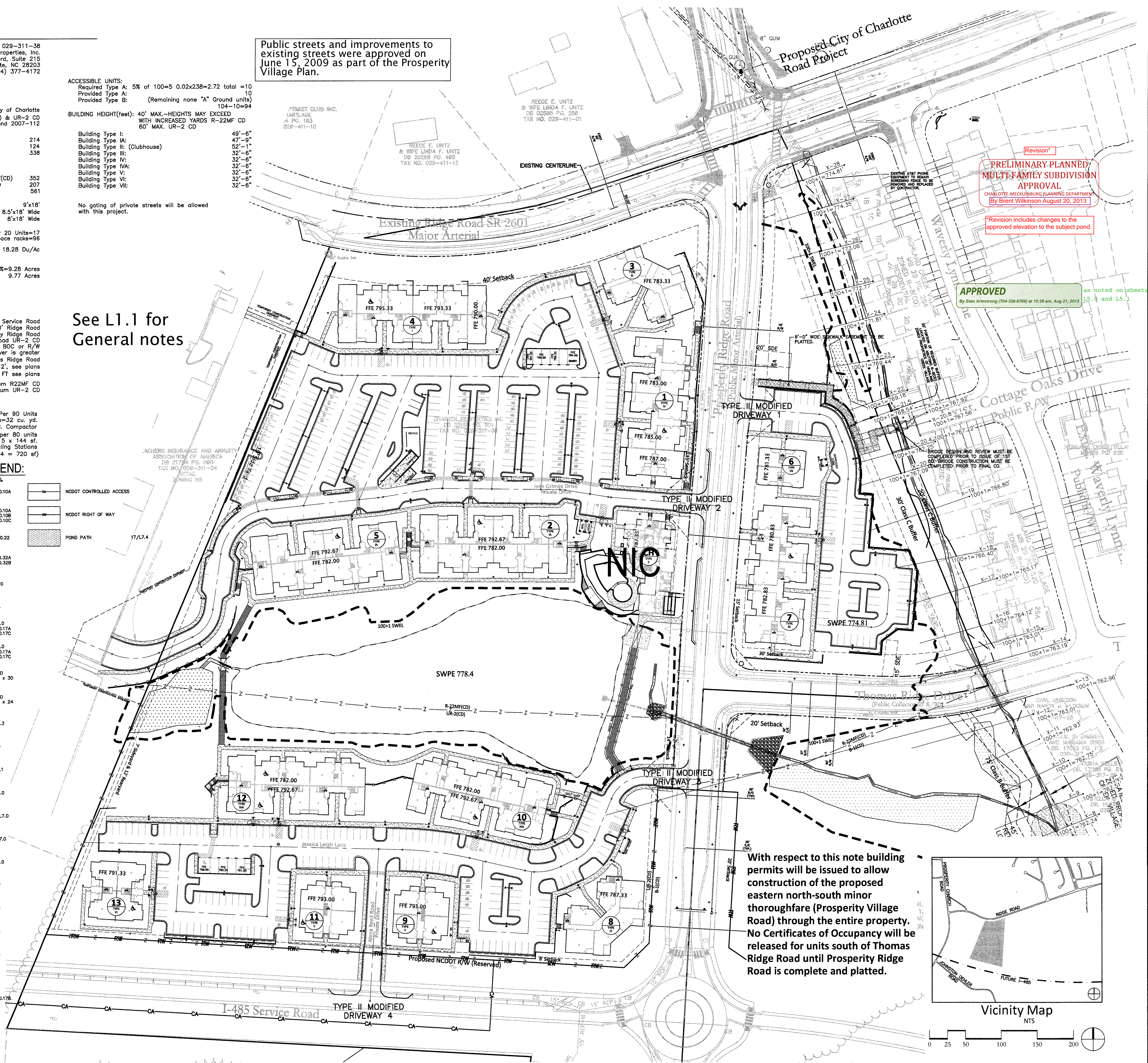
ACCESSIBLE UNITS:
Required Type A: 5% of 100=5 0.02x238=2.72 total =10
Provided Type A: 10
Provided Type B: (Remaining none "A" Ground units) 104-10=94

BUILDING HEIGHT(feet): 40' MAX.-HEIGHTS MAY EXCEED
WITH INCREASED YARDS R-22MF CD
60' MAX. UR-2 CD

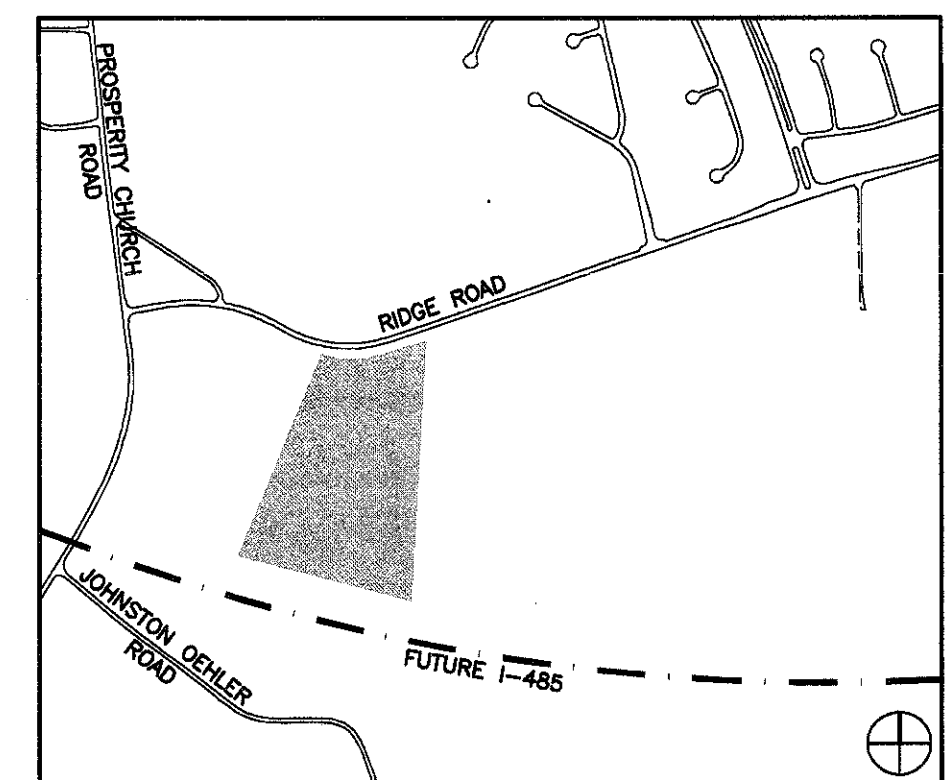
Building Type I: 49'-6"
Building Type Ia: 47'-9"
Building Type II: 52'-1"
Building Type III: 32'-6"
Building Type IV: 32'-6"
Building Type Va: 32'-6"
Building Type V: 32'-6"
Building Type Vi: 32'-6"
Building Type Vii: 32'-6"

No gating of private streets will be allowed with this project.

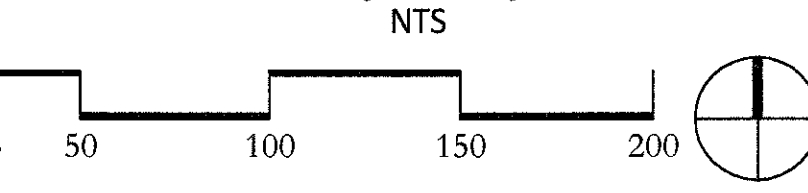
See L1.1 for General notes



With respect to this note building permits will be issued to allow construction of the proposed eastern north-south minor thoroughfare (Prosperity Village Road) through the entire property. No Certificates of Occupancy will be released for units south of Thomas Ridge Road until Prosperity Ridge Road is complete and platted.



Vicinity Map



PRELIMINARY-PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson August 20, 2013

Revision includes changes to the approved elevation to the subject pond.

APPROVED
By Stan Armstrong (704-336-6769) at 10:39 am, Aug 21, 2013 as noted on sheets L5.0 and L5.1

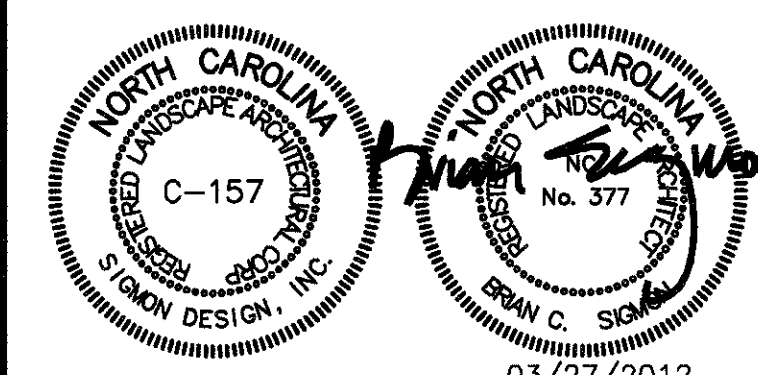
The Ridge at Highland Creek

Charlotte, North Carolina
Mecklenburg County

CHARTER
PROPERTIES
INC.

1520 South Boulevard, Suite 215
Charlotte, North Carolina 28203

Review Submittal



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project number 09003
drawn by JKK
designed by BCS
issue date 10/07/2011

revisions
1. 12/08/11 JKK Per Review Comments
2. 02/15/12 JKK Per Review Comments
3. 03/22/12 JKK Per Review Comments
4. 03/27/12 JKK Per Review Comments
5. .
6. .
7. .
8. .
9. .
10. .
11. .

Overall Site Plan