



SWM / DETENTION

DRAINAGE PLAN

EROSION CONTROL

FOR A PRE-CONSTRUCTION MEETING
48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY, CONTACT:

TREE ORDINANCE

CDOT

CHARLOTTE DEPT. OF TRANSPORTATION

APPROVED

By Jordan Miller (jbmiller@charlottenc.gov) at 4:08 pm, Apr 25, 2013

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By Jordan Miller (jbmiller@charlottenc.gov) at 4:08 pm, Apr 25, 2013

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By Jordan Miller (jbmiller@charlottenc.gov) at 4:08 pm, Apr 25, 2013

Jay Wilson at 704-517-1152

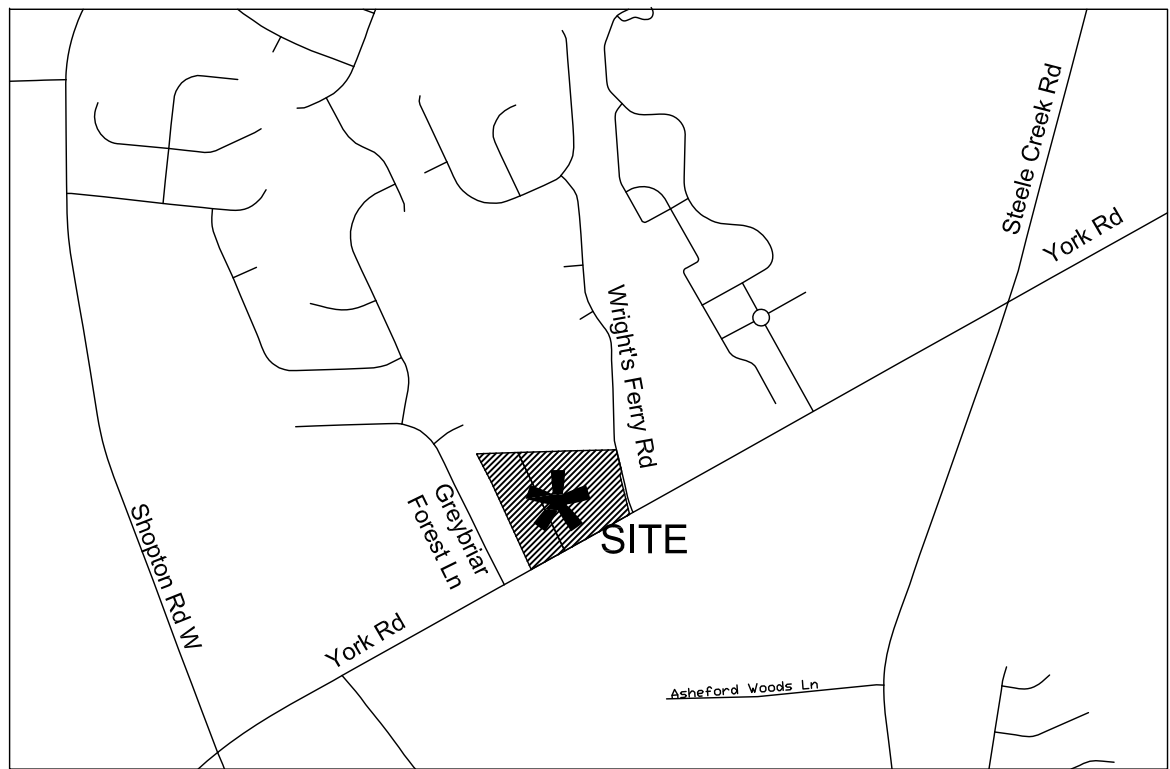
APPROVED

By Kelly Robertson 704-336-4354 (krobertson@ci.charlotte.nc.us) at 9:30 am, Apr 29, 2013

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
REVISION by: Joshua Weaver 5-8-2013

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GENERAL PROVISIONS-REZONING PETITION 2012-078

- These Development Standards form a part of the Site Development Data Sheet associated with the Rezoning Petition filed by Smith/Packett to rezone tax parcels 199-01-110 and 199-55-201, a total of 9.022+ acres, located at the corner of South Tryon Street and Wright's Ferry Road, currently zoned as R-3.
- The purpose of this petition is to request rezoning of the site to the Institutional (INST(CD)) Zoning District to allow the development of a facility to accommodate dependent living units including adult care / home for the aged, and special care (also known as memory care) units per the regulations of the North Carolina Department of Health Service Regulation (DHRS), North Carolina Administrative Code (NCAC), 10A NCAC 13F.
- Development of the site will be governed by the Site Development Data Sheet, these Development Standards, and the applicable provision of the City of Charlotte Zoning Ordinance.
- Unless the Site Development Data Sheet or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the INST zoning district shall govern all development taking place on the site.
- The improvements depicted on the Site Development Data Sheet, Conceptual Elevation Rendering, and Conceptual Site Plan are intended to demonstrate general intent. These documents are conceptual in nature. The final configuration and placement of open space areas and buildings, and the heights and masses of buildings have not been determined, and may be modified during the design development and construction document phases, so long as the maximum building envelope lines and intensity limitations established on the Site Development Data Sheet are not violated, and the proposed alterations or modifications do not exceed the parameters established under these Development Standards, and under the Ordinance for the INST zoning district. However, any alterations or modifications which, in the opinion of the Planning Director, substantially alter the character of the development or significantly alter the Conceptual Site Plan or its respective conditions, as well as any changes which increase the intensity of development shall not be deemed to be minor and may only be made in accordance with the provision of Subsections 6.207(1) or (2) of the Ordinance, as applicable.

Permitted Uses

- Dependent Living Facilities such as Home for the Aged with Special Care is a use permitted under prescribed conditions per the Ordinance.

Transportation

- Vehicular access to the site shall be as generally depicted on the Conceptual Site Plan. The placements and configuration of vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and design, and to any adjustments required for approval by the Charlotte DOT and/or NCDOT, including alteration to accommodate any right-of-way needs and/or construction easements.
- Surface parking shall be as generally depicted on the Conceptual Site Plan. The placement and configuration of parking spaces are subject to any minor modifications required to accommodate final site and construction plans and design. Appropriate and applicable screening of parking areas shall be provided per the Ordinance and the intent of the Steele Creek Area Plan. However, in no case shall more than one drive aisle be placed between the building and South Tryon Street.
- Sidewalks shall be as generally depicted on the Conceptual Site Plan. The placement and configuration of sidewalks are subject to any minor modifications required to accommodate final site and construction plans and design. Sidewalks shall be provided per the Ordinance and the intent of the Steele Creek Area Plan, including a new 6 foot wide sidewalk and 8 foot wide planting strip along South Tryon Street.

Architectural Standards

- The Conceptual Elevation Rendering is intended to describe the conceptual architectural theme proposed for the site. Various design elements such as gables, porches, and gabled windows will be utilized to provide human scale and architectural character.
- Exterior wall shall be constructed with a mix of masonry materials (brick, stone, architectural block, or other masonry materials) and siding to break up the mass and scale of the building.
- The dumpster will be located at the back of the building, appropriately screened with landscaping and enclosed with a 7 foot high wall with gates.

Streetscape and Landscaping

- Except as otherwise provided in these Development Standards, the streetscape shall meet the standards of the Ordinance and the intent of the Steele Creek Area Plan, including a new 6 foot wide sidewalk and 8 foot wide planting strip along South Tryon Street.
- Internal areas of the site will be landscaped in accordance with the requirements of the Ordinance.
- Buffers will be provided in accordance with the Zoning Ordinance. Existing trees 2" or larger in diameter will be preserved within buffers along the northern and western property lines. The Petitioner reserves the right to reduce the width of any required buffers through the addition of a screen fence or wall, as allowed in the Ordinance.

Environmental Features

- Existing trees and vegetation shall remain in undisturbed areas as shown on the Conceptual Site Plan.
- Petitioner shall comply with the Post Construction Controls Ordinance (PCCO).

Signage

- Signs shall comply with the provisions of the Ordinance.

Lighting

- The maximum height of any detached lighting fixtures erected on the site shall not exceed twenty (20) feet in height.
- All freestanding lighting fixtures installed within the site shall be shielded with full-cut fixtures, capped, and downwardly directed.
- Wall-pak lighting will be prohibited throughout the site.

Amendments to Rezoning Plan

- Future amendments to the Site Development Data Sheet, other sheets accompanying the petition, and these Development Standards may be applied for by the then Owners of the parcel or parcels within the site, in accordance with the provisions of Chapter 6 of the Ordinance.

Binding Effect of the Rezoning Documents and Definitions

- If this Rezoning Petition is approved, all conditions applicable to development of the site imposed under these Development Standards and the Site Development Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioners and the current and subsequent owners of the site, and their respective successors in interest and assigns.
- Throughout these Development Standards, the terms "Petitioners" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioners or the Owner or Owners of the site from time to time who may be involved in any future development thereof.
- Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this rezoning petition is approved.

SITE PROPOSES LESS THAN 24% IMPERVIOUS SURFACE AND QUALIFIES FOR LOW-DENSITY DEVELOPMENT. PCCO REQUIREMENTS FOR THIS SITE ARE TO PROVIDE MINIMUM OF 25% NATURAL AREA. SEE DEVELOPMENT DATA ON SHEET L-101.

GENERAL NOTES

- BASE INFO TAKEN FROM A SURVEY BY JAMES MAUNEY & ASSOCIATES, P.A. DATED 07/24/12.
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- NO NCOS MONUMENT LIES WITHIN 200' OF SUBJECT PROPERTY.
- RECORD LEGAL OF SUBJECT PROPERTY DOES NOT FORM A MATHEMATICAL CLOSURE.
- ADDRESS OF SITE WAS TAKEN FROM RECORD DOCUMENTS.
- PER MECKLENBURG COUNTY GIS THIS PROPERTY IS WITHIN 1500 FEET OF A CONTAMINATION SITE AND SPECIAL RESTRICTIONS MAY APPLY.
- SITE HAS DIRECT ACCESS TO PUBLIC RIGHT-OF-WAY OF S TRYON STREET AND WRIGHT'S FERRY RD.
- OFF-SITE CONSTRUCTION OR GRADING REQUIRES A LETTER FROM THE AFFECTED PROPERTY OWNER GRANTING PERMISSION.
- CONSTRUCTION OR GRADING IN UTILITY EASEMENTS OR RIGHTS-OF-WAY REQUIRES A LETTER FROM THE UTILITY OWNER GRANTING PERMISSION.
- BENCHMARK FOR 100+1 IS THE SAME AS THE SITE. TBM-NAIL IN POLE- ELEV=632.16

DEMOLITION NOTES

- THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMIT PRIOR TO ANY DEMOLITION.
- THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY GRADING OR DEMOLITION WORK.
- ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS.
- PROTECT EXISTING STRUCTURES, PAVING, & OR UTILITIES WHICH ARE TO REMAIN.
- SAW CUT EXISTING PAVING WHERE INDICATED TO BE REMOVED.
- DURING CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH PERTINENT UTILITY COMPANIES FOR RELOCATION AND/OR REPAIR, IF REQUIRED AND CAREFULLY MAINTAIN ALL ONSITE SERVICES TO BUILDINGS TO REMAIN.
- SEE EROSION CONTROL PLAN FOR LIMITS OF DISTURBANCE.
- COORDINATE WITH ELECTRICAL PLANS FOR RELOCATION OF EXISTING OVERHEAD UTILITIES.
- CONTRACTOR SHALL REMOVE EXISTING BUILDING PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- REFER TO L-400 SERIES FOR DEMOLITION INFORMATION OF PAVEMENT AND STORM DRAINAGE STRUCTURES WITHIN NCDOT R/W.

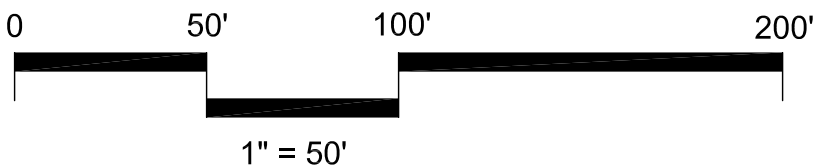
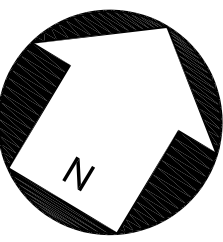
This Plan is A Final Design.
NQT Released For Construction
Unless Initialed & Dated As
Approved:
APPROVED: _____
DATE: _____

LEGEND OF SYMBOLS AND ABBREVIATIONS

---	PROPERTY LINE
---	RIGHT-OF-WAY
E	POWER LINE
SS	SANITARY SEWER PIPE
SS	STORM DRAIN PIPE
---	STRUCTURES AND PAVING TO BE REMOVED

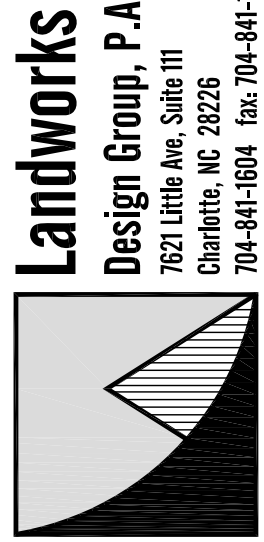
TEXT:

C&G - CURB & GUTTER	MB - MAP BOOK	(M) - MEASURED
CB - CATCH BASIN	MBX - MAIL BOX	MBX - MAIL BOX
DB - DEED BOOK	NCGS - NORTH CAROLINA GEODETIC SURVEY	NCGS - NORTH CAROLINA GEODETIC SURVEY
DI - DROP INLET	NIR - NEW IRON ROD	NIR - NEW IRON ROD
ECM - EXISTING CONCRETE MONUMENT	PM - POWER METER	PM - POWER METER
EIP - EXISTING IRON PIPE	PGB - POINT OF BEGINNING	PGB - POINT OF BEGINNING
EIR - EXISTING IRON ROD	PP - POWER POLE	PP - POWER POLE
EOP - EDGE OF PAVEMENT	(R) - RECORDED	(R) - RECORDED
EW - END UNKNOWN	R/W - RIGHT-OF-WAY	R/W - RIGHT-OF-WAY
GW - GUY WIRE	RCP - REINFORCED CONCRETE PIPE	RCP - REINFORCED CONCRETE PIPE
HVAC - HEATING/COOLING UNIT	SDMH - STORM DRAIN MANHOLE	SDMH - STORM DRAIN MANHOLE
ILP - LIGHT POLE	SSMH - SANITARY SEWER MANHOLE	SSMH - SANITARY SEWER MANHOLE
	SQ.FT. - SQUARE FEET	SQ.FT. - SQUARE FEET



REVISIONS:

No.	Date	By	Description



QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

EXISTING
CONDITIONS
&
DEMOLITION
PLAN

seals



Project Manager:

MDL

Drawn By:

SMW

Checked By:

MDL

Date:

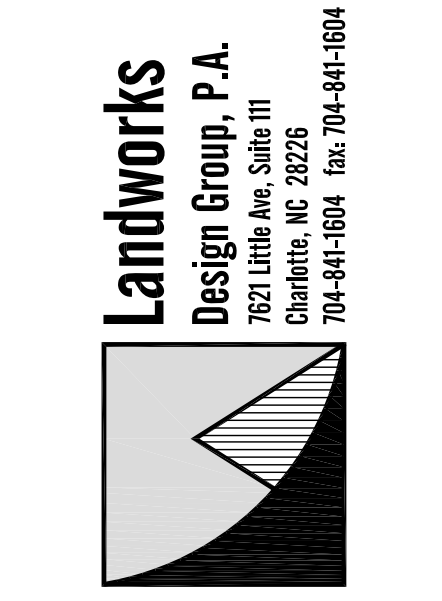
2/15/13

Project Number:

12011

Sheet Number:

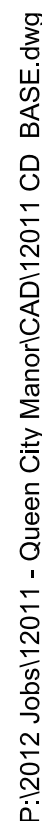
L-100

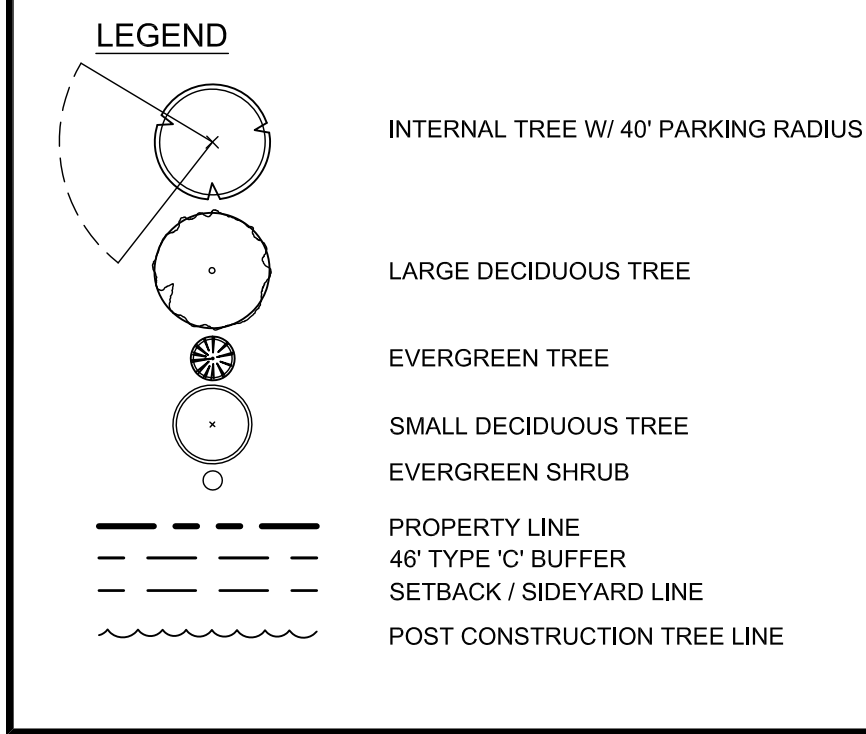
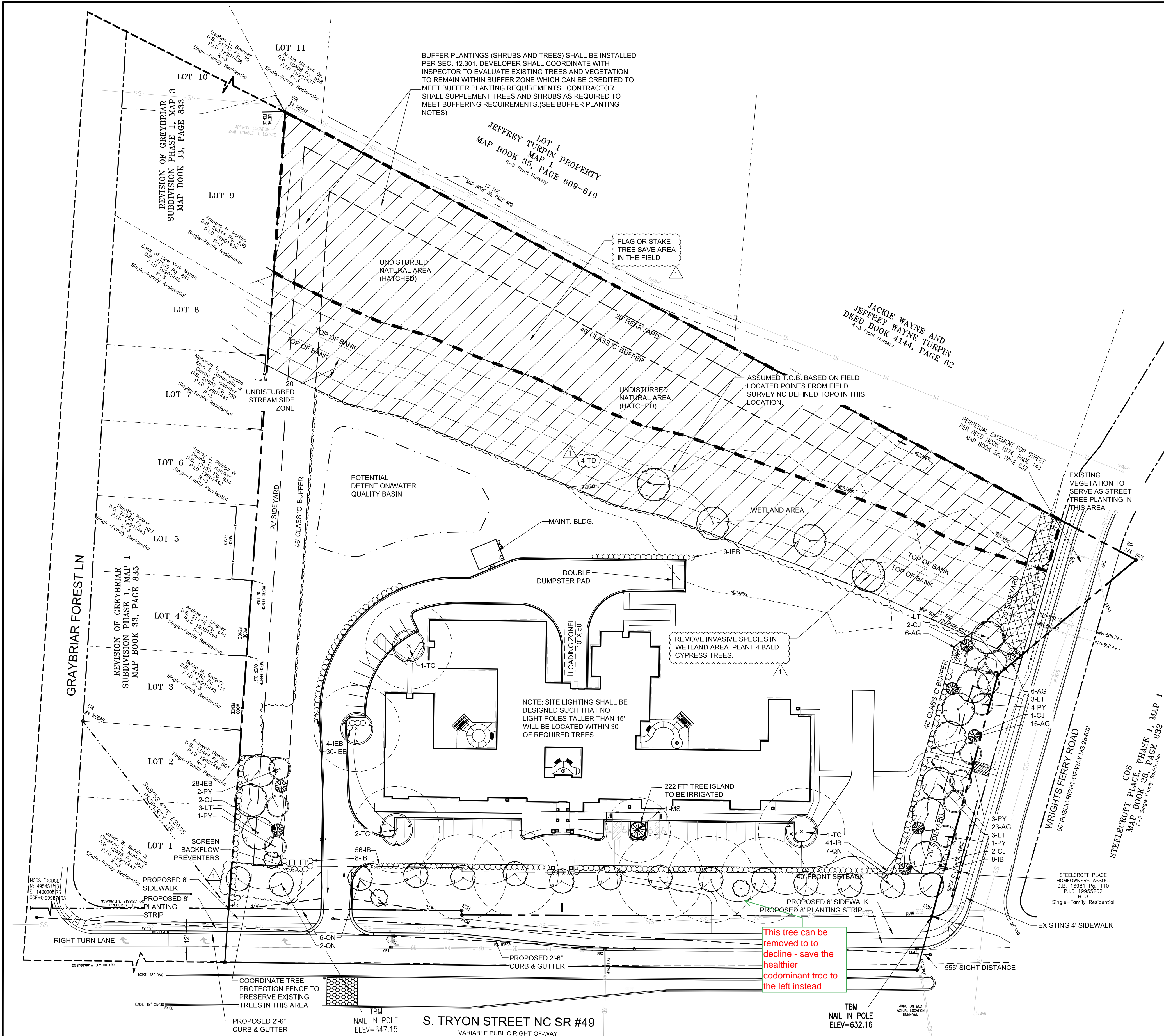


DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

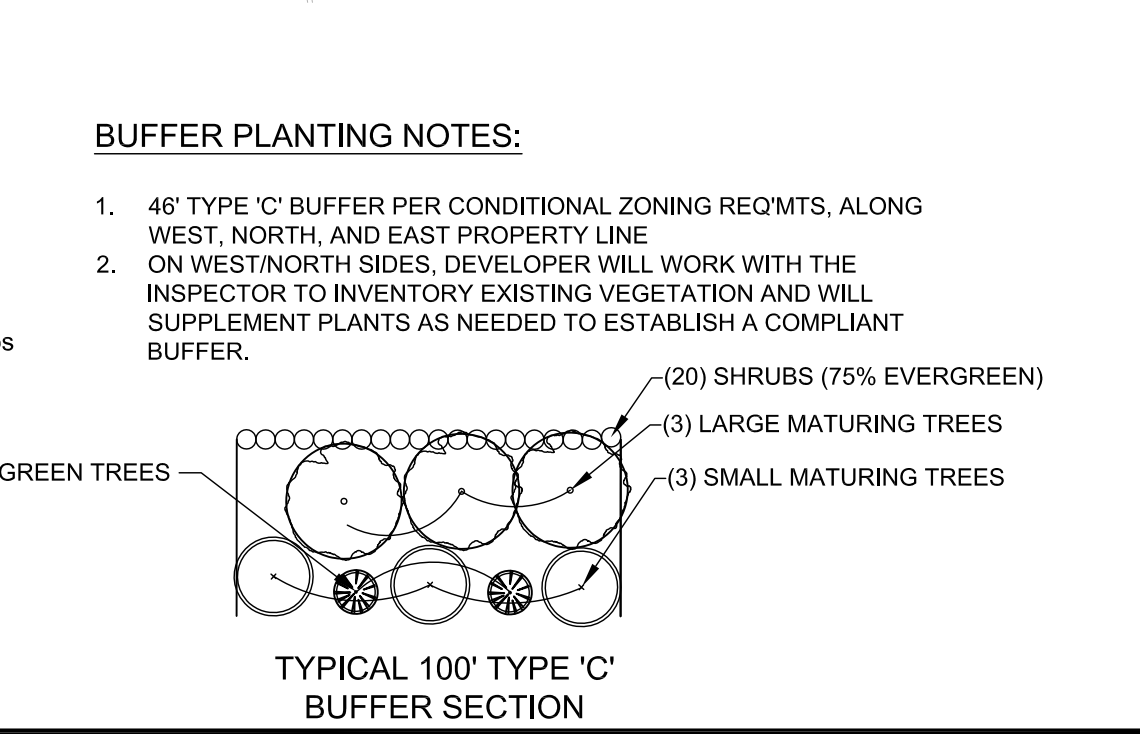
Project Manager: MDL
 Drawn By: SMW
 Checked By: MDL
 Date: 2/15/13
 Project Number: 12011
 Sheet Number:

SHEET # 2 OF 20





PLANT LIST					
SYM	QTY	BOTANICAL NAME	COMMON NAME	ROOT	MIN. SIZE
TREES					
CJ	7	Cryptomeria japonica	Japanese Cryptomeria	B&B	3" cal., 12' ht
LT	10	Liriodendron tulipifera	Tulip Poplar	B&B	2" cal., 6-8' ht
MS	1	Magnolia stellata	Star Magnolia	B&B	2" cal., 12' ht
QN	15	Quercus nuttallii	Nuttall Oak	B&B	2" cal., 12' ht
SHRUBS					
PY	11	Prunus x yedoensis	Yoshino Cherry	B&B	2" cal., 12' ht
TD	4	Taxodium distichum	Bald Cypress	B&B	2" cal., 12' ht
TC	4	Tilia cordata	Little Leaf Linden	B&B	2" cal., 12' ht
SHRUBS					
AG	51	Abelia grandiflora	Glossy Abelia	5 gal. cont.	24" ht. and 24" spread
IB	113	Ilex cornuta burfordii nana	Dwarf Burford Holly	5 gal. cont.	5.0' O.C. max
IEB	81	Ilex x 'Emily Brunner'	Emily Brunner Holly	5 Gal. cont.	24" ht. and 24" spread



TREE PLANTING NOTES:

- ALL TREES SHALL BE PLANTED PER CLDSM 40.01 AND 40.09.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 S.F. PER LARGE MATURING TREE, AND 200 S.F. MIN. PER SMALL MATURING TREE.)
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER BEFORE PLANTING.
- ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
- SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.
- MINIMUM TREE SIZE AT PLANTING IS 2 INCH CALIBER (FOR SINGLE-STEM TREES), UNLESS SHOWN OTHERWISE ON PLANT LIST. ALL MULTI-STEM TREES MUST BE TREE-FORM, MAXIMUM 3-5 TRUNKS, AND MINIMUM 8 FEET TALL (UNLESS SHOWN OTHERWISE ON PLANT LIST).
- ATTENTION LANDSCAPER: NOTIFY DESIGNER (LANDWORKS DESIGN GROUP) OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- CALL CITY OF CHARLOTTE URBAN FORESTER AT 704-336-4255 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS. 3-4 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
- ALL TREES ON PUBLIC PROPERTY (WITHIN PUBLIC STREET R/W) ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST 704-336-4262.
- SEE DETAIL 4/L-502 FOR TYPICAL TREE PLANTING DETAIL.
- ALL DISTURBED AREAS TO BE GRASSED WITH FESCUE.
- A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. SHOW 15% TREE SAVE AREA AND CALCULATIONS.
- UNLESS APPROVED BY URBAN FORESTRY STAFF, ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE'S AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADVENTITIOUS ROOT GROWTH.

PLANTING BUFFER CALCULATIONS:

WESTERN BUFFER:

TREES: 8 PER 100' REQUIRED
- 627 LF OF BUFFER/100 = 6.27 100LF SECTIONS x 8 = 50 TREES TOTAL
- 25% MIN. EVERGREEN TREES = 50 x .25 = 13 TREES
- 40% MIN. LARGE MATURING TREES = 50 x .4 = 20 TREES
TOTAL TREES REQUIRED: 50
TREES PROVIDED: 8. SEE UNDERLINED NOTE BELOW.

SHRUBS: 20 PER 100' REQUIRED
- 627 LF OF BUFFER/100 = 6.27 x 20 = 125 SHRUBS
- 75% MIN. EVERGREEN SHRUBS = 125 x .75 = 94 SHRUBS
TOTAL SHRUBS REQUIRED: 94
TOTAL SHRUBS PROVIDED: 20 MIN., SEE UNDERLINED NOTE BELOW

NORTHERN BUFFER:

TREES: 8 PER 100' REQUIRED
- 732 LF OF BUFFER/100 = 7.32 100LF SECTIONS x 8 = 59 TREES TOTAL
- 25% MIN. EVERGREEN TREES = 59 x .25 = 15 TREES
- 40% MIN. LARGE MATURING TREES = 59 x .4 = 24 TREES
TOTAL TREES REQUIRED: 59
TREES PROVIDED: SEE UNDERLINED NOTE BELOW

SHRUBS: 20 PER 100' REQUIRED
- 732 LF OF BUFFER/100 = 7.32 x 20 = 146 SHRUBS
- 75% MIN. EVERGREEN SHRUBS = 146 x .75 = 110 SHRUBS
TOTAL SHRUBS REQUIRED: 146
TOTAL SHRUBS PROVIDED: SEE UNDERLINED NOTE BELOW

EASTERN BUFFER:

TREES: 8 PER 100' REQUIRED
- 295 LF OF BUFFER/100 = 2.95 100LF SECTIONS x 8 = 24 TREES TOTAL
- 25% MIN. EVERGREEN TREES = 24 x .25 = 6 TREES
- 40% MIN. LARGE MATURING TREES = 24 x .4 = 10 TREES
TOTAL TREES REQUIRED: 24
TREES PROVIDED: 24 (6 EVERGREEN TREES, 10 LARGE MATURING TREES, 8 SMALL MATURING)

SHRUBS: 20 PER 100' REQUIRED
- 295 LF OF BUFFER/100 = 2.95 x 20 = 59 SHRUBS
- 75% MIN. EVERGREEN SHRUBS = 59 x .75 = 44 SHRUBS
TOTAL SHRUBS REQUIRED: 59 SHRUBS
TOTAL SHRUBS PROVIDED: 59 SHRUBS (100% EVERGREEN)

NOTE: DEVELOPER SHALL COORDINATE WITH INSPECTOR TO EVALUATE EXISTING TREES AND VEGETATION TO REMAIN WITHIN BUFFER ZONE WHICH CAN BE CREDITED TO MEET BUFFER PLANTING REQUIREMENTS. CONTRACTOR SHALL SUPPLEMENT TREES AND SHRUBS AS REQUIRED TO MEET BUFFERING REQUIREMENTS.

PERIMETER TREE REQUIREMENTS:

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAY

S. TRYON STREET = 650 LINEAR FEET TOTAL (INCLUDING DRIVEWAY)
REQUIRED TREES: 17 LARGE MATURING OR 20 SMALL MATURING TOTAL
PROVIDED TREES: 15 PROPOSED LARGE MATURING TREES PLUS 2 EXISTING TO REMAIN
WRIGHT'S FERRY RD = 154 LINEAR FEET
REQUIRED TREES: 4 LARGE MATURING OR 5 SMALL MATURING
PROVIDED TREES: EXISTING VEGETATION TO SERVE AS TREE PLANTING (SEE NOTE ON PLAN)

WHERE OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED. OTHERWISE 75% OF NEW TREES MUST BE LARGE MATURING SPECIES.

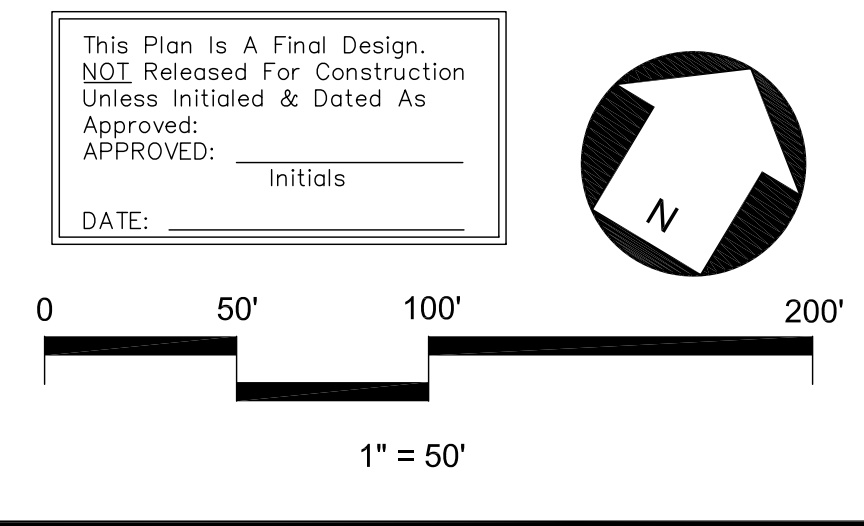
INTERNAL TREE REQUIREMENTS (Per Tree Ordinance, Section 21-96):

- ONE (1) LARGE MATURING TREE PER 10,000 SQ. FT. OF IMPERVIOUS AREA IS REQUIRED (PER SECTION 21-96(F)(1)).
- MINIMUM TOTAL PLANTING AREA REQUIRED IS 10% OF IMPERVIOUS AREA.
- ALL REQUIRED SURFACE PARKING SPACES MUST BE WITHIN 40 FT. OF THE TRUNK OF A TREE.
- INTERNAL LANDSCAPE AND INTERNAL TREE PLANTING CALCULATIONS:
PROPOSED IMPERVIOUS AREA = 86,901 SQ.FT.
INTERNAL LANDSCAPE PLANTING AREA REQUIRED = 8,690 SQ.FT. (10% OF IMPERVIOUS AREA)
TOTAL SITE AREA = 432,366 SQ.FT.
INTERNAL TREES REQUIRED: 9 TOTAL REQUIRED (86,901 SF IMPERVIOUS/10,000 S.F. = 8.7 REQ'D)
(75% MIN. TO BE LARGE MATURING= 7 LARGE MATURING, AND 2 SMALL MATURING)

SCREENING REQUIREMENTS:

SERVICE AREAS AND PARKING AREAS ARE TO BE SCREENED FROM PUBLIC VIEW BY EVERGREEN SHRUBS PLANTED 5' O.C., 24" HT. AT PLANTING, 4' MIN HT. @ 4 YEARS.

ATTENTION CONTRACTOR / LANDSCAPER
IT IS THE RESPONSIBILITY OF THE CONTRACTOR / LANDSCAPER TO NOTIFY THE CITY URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL THE URBAN FORESTER NAMED ON THE APPROVED PLAN OR 704-336-6692 FOR ANY CONFLICTS REGARDING SIGHT, SIGNS, OVERHEAD POWER LINES OR OTHER UTILITIES.



REVISIONS:			
No.	Date	By	Description
1	04/02/13	AMC	REVISIONS PER CITY COMMENTS

Landworks
Design Group, P.A.
767 Little Ave. Suite 101
Charlotte, NC 28226
704-441-1804 fax: 704-441-1804

QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

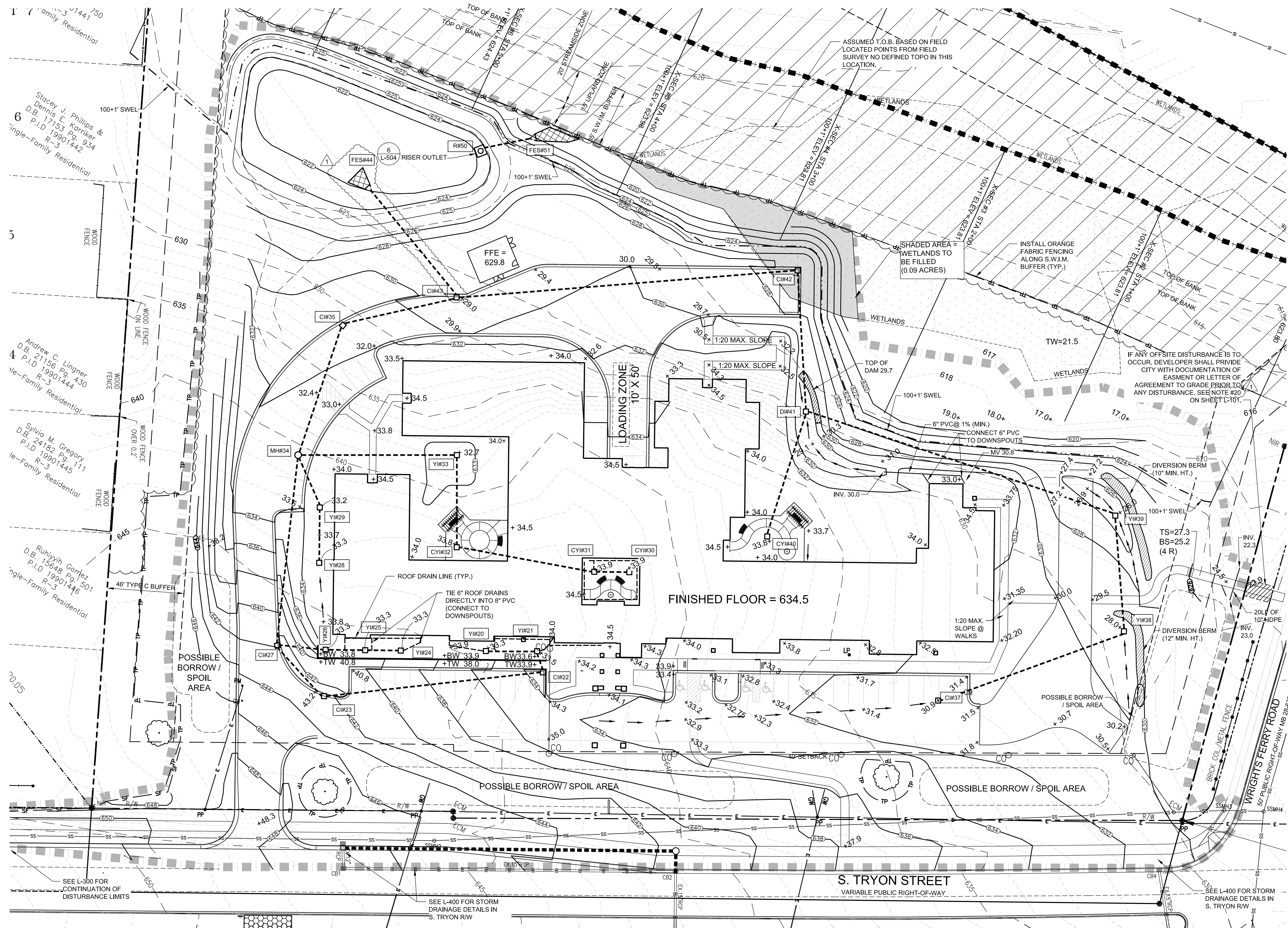
CODE REQUIRED PLANTING PLAN

seals

Project Manager: MDL
Drawn By: AMC
Checked By: MDL
Date: 2/15/13
Project Number: 12011
Sheet Number:

L-103

SHEET # 4 OF 20



LEGEND

- PROPERTY LINE
- EXISTING CATCH BASIN
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED CURB INLET
- PROPOSED YARD INLET
- EXISTING SAN. SEWER
- LIMITS OF GRADING / DENUDED LIMIT
- PROPOSED FLARED END SECTION
- PROPOSED ROOF DRAINAGE LINE

Structure	Rim	Invert In	Invert Out	Pipe				To Structure
YI-20	633.30'	-----	631.30'	30.00' of	8"	PVC	at 0.67%	YI-21
YI-21	633.50'	630.10'	631.10'	16.00' of	8"	PVC	at 5.62%	CI-22
CI-22	633.50'	630.20'	630.00'	115.00' of	15"	RCP	at 0.87%	CI-23
CI-23	642.10'	629.00'	628.80'	56.00' of	15"	RCP	at 0.54%	CI-27
YI-24	633.30'	-----	631.30'	22.00' of	8"	PVC	at 0.91%	YI-25
YI-25	633.30'	631.10'	631.10'	24.00' of	8"	PVC	at 0.83%	YI-26
YI-26	633.30'	630.90'	630.90'	29.00' of	8"	PVC	at 8.28%	CI-27
CI-27	642.00'	628.50'	631.00'	115.00' of	15"	RCP	at 3.13%	MH-34
YI-28	633.30'	-----	631.50'	26.00' of	8"	PVC	at 0.77%	YI-29
YI-29	633.30'	631.30'	631.30'	36.00' of	8"	PVC	at 10.83%	MH-34
CYI-30	633.90'	-----	631.90'	21.00' of	8"	PVC	at 4.76%	CYI-31
CYI-31	633.90'	630.90'	630.90'	84.00' of	8"	PVC	at 0.95%	CYI-32
CYI-32	633.80'	630.10'	630.10'	55.00' of	12"	PVC	at 1.27%	YI-33

Structure	Rim	Invert In	Invert Out	Pipe				To Structure	
YI-33	632.70'	629.40'	629.30'	95.00' of	12"	PVC	at	2.00%	MH-34
MH-34	632.80'	627.40'	627.20'	64.00' of	18"	RCP	at	0.63%	CI-35
CI-35	631.30'	626.80'	626.60'	122.00' of	18"	RCP	at	4.22%	CI-43
CI-37	630.90'	----	627.50'	98.00' of	15"	RCP	at	1.12%	CI-38
CI-38	628.00'	626.40'	626.20'	95.00' of	15"	RCP	at	1.05%	CI-39
CI-39	627.00'	625.20'	625.00'	170.00' of	18"	RCP	at	0.59%	DI-41
CYI-40	636.90'	----	634.90'	65.00' of	12"	PVC	at	16.77%	DI-41
DI-41	628.50'	624.00'	623.80'	99.00' of	24"	RCP	at	0.61%	CI-42
CI-42	629.90'	623.20'	623.00'	216.00' of	24"	RCP	at	0.72%	CI-43
CI-43	629.00'	621.45'	621.25'	80.00' of	30"	RCP	at	0.50%	FES-44
FES-44	----	----	620.85'						
R-50	623.70'	620.00'	620.00'	32.00' of	15"	RCP	at	0.63%	FES-51

DRAINAGE NOTES

- YARD INLETS SHALL BE GRATE TYPE INLETS PER NCDOT STD. NO. 840.15.
- UNLESS SPECIFICALLY NOTED AS CLASS IV RCP, ALL PIPES 15" OR LONGER SHALL BE CLASS III RCP. OTHER PIPE MATERIALS WITHIN PUBLIC STREET R/W MUST BE APPROVED BY THE CITY OF CHARLOTTE ENGINEERING DEPT.
- COURT YARD INLETS (CYI) SHALL BE 12" DIA. NYLONLAST PVC DRAIN BASIN WITH FLAT DUCTILE IRON GRATE (BY ADS, INC.), OR APPROVED EQUAL.

GRADING NOTES

- TOTAL AREA DISTURBED = 5.55 ACRES
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. EXCEPT WHERE NOTED OTHERWISE.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED TO 95% A.A.S.H.T.O. STANDARD COMPACTION.
- LIMITS OF CLEARING SHOWN ARE ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND SIDEWALKS ARE TO FINISHED ELEVATIONS (TOP OF PAVEMENT). REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUB-BASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW AWAY FROM BUILDING(S) AND ACROSS NEW PAVEMENT AND/OR LANDSCAPE AREAS TO NEW OR EXISTING STORM DRAIN INLETS, DRAINAGE SWALES, OR OVERLAND SHEET FLOW.
- ALL "OLDSDM STD." NUMBERS REFER TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- IN ORDER TO ENSURE PROPER DRAINAGE KEEP A MINIMUM OF 0.5% SLOPE ON ALL GUTTERS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- THERE WILL BE NO ON-SITE OR OFF-SITE BURIAL AREAS OR BORROW SITES FOR THIS PROJECT. UNLESS SHOWN ON THE GRADING PLAN.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING PER CLDSM #30.18.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- SOIL CLASSIFICATION: MONACAN, MECKLENBURG B, MECKLENBURG D & WILKES D
- ANY ADDITIONAL CLEARING OR GRADING WORK FOR STOCKPILES OR BURIAL PITS WILL BE COORDINATED IN THE FIELD WITH THE EROSION CONTROL OFFICER WHO WILL DETERMINE APPROPRIATE EROSION CONTROL MEASURES FOR SAME.
- ANY ON-SITE DEMOLITION LANDFILLS OR STUMP HOLES SHALL BE A MINIMUM OF 100' FROM ANY EXISTING PROPERTY LINE.
- ALL EXISTING AND PROPOSED CONTOURS SHOWN ON PLAN ARE AT 1' INTERVALS.
- THE DENUDED AREA LIMIT SHOWN ON THIS PLAN IS THE MAXIMUM AREA TO BE CLEARED. THE SURVEYOR SHALL DETERMINE ACTUAL REQUIRED CLEARING LIMITS.
- REFER TO EROSION CONTROL NOTES (L-300) FOR STABILIZATION REQUIREMENTS.
- ANY LAND-DISTURBING ACTIVITY > 1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT NO. NC60 10000), ANY PERMIT NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES. (FOR QUESTIONS CONTACT MOORESVILLE REGIONAL OFFICE WATER QUALITY STAFF AT (704-663-1699).
- THE CONTRACTOR SHALL MAINTAIN AND MONITOR ALL EROSION CONTROL DEVICES. DEVICES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER EVERY 0.5 INCHES OF RAINFALL TO ENSURE THEIR EFFECTIVENESS. ANY NEEDED REPAIRS SHALL BE PERFORMED IMMEDIATELY.
- ANY GRADING BEYOND THE DENUDED LIMITS, SHOWN ON THE PLAN, IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE, AND IS SUBJECT TO A FINE.
- CONTRACTOR SHALL SUBMIT AS-BUILT DATA SEALED BY A NC REGISTERED SURVEYOR FOR STORM DRAINAGE WITHIN PUBLIC STREET RIGHT OF WAYS.

S.W.I.M. STREAM BUFFER NOTES

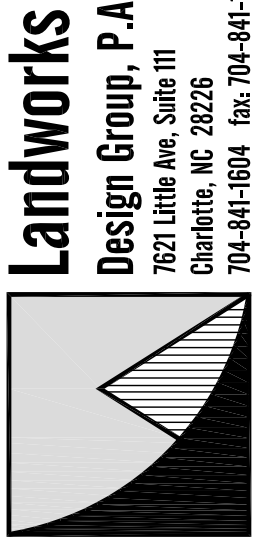
- THE STREAM SIDE ZONE OF THE BUFFER IS TO BE LEFT COMPLETELY "UNDISTURBED". NO FILL OR GRADING IS ALLOWED IN THE STREAM BUFFER ZONE.
- NO FILL MATERIAL IS TO BE BROUGHT INTO THE S.W.I.M. STREAM BUFFER AND NO BUILDING STRUCTURES ARE ALLOWED WITHIN ANY OF THE SWIM STREAM BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
- GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
- THE OUTSIDE BOUNDARY OF THE S.W.I.M. STREAM BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING, STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
- THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS.
- ANY ACTIVITY IN THE BUFFER WILL COMPLY WITH THE S.W.I.M. STREAM BUFFER SECTION OF THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.

PCCO SUMMARY

Original Parcel ID Number(s):	19901110, 19955201
Development Type:	NURSING HOME
Subject to PCCO? Y/N	N (less than 24% impervious)
Watershed:	STEEL
Disturbed Area (ac):	5.5 AC
Site Area (ac):	9.93 AC GROSS 9.09 AC NET
DA#1	4.3
Total on-site Drainage Area (ac):	4.3
Existing Bull-pond-area (SF):	0.18
Existing BUA to be removed (SF):	0.18
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	93,207.6
Proposed % BUA:	22.0%
Density (High / Low):	LOW
Total Post-Project BUA for site:	23.54% MAX. (AS DESIGNED)
Development or Redevelopment?	Development
Natural Area Required (ac):	2.27 ac
Natural Area Provided (ac):	3.1 ac
Total stream buffer protected on-site (ac):	1.42 ac
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

REVISIONS:

No.	Date	By	Description
1	04/02/13	AMC	REVISIONS PER CITY COMMENTS



QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

GRADING & STORM DRAINAGE PLAN

seals



Project Manager: MDL

Drawn By: SMW

Checked By: SSW

Date: 2/15/13

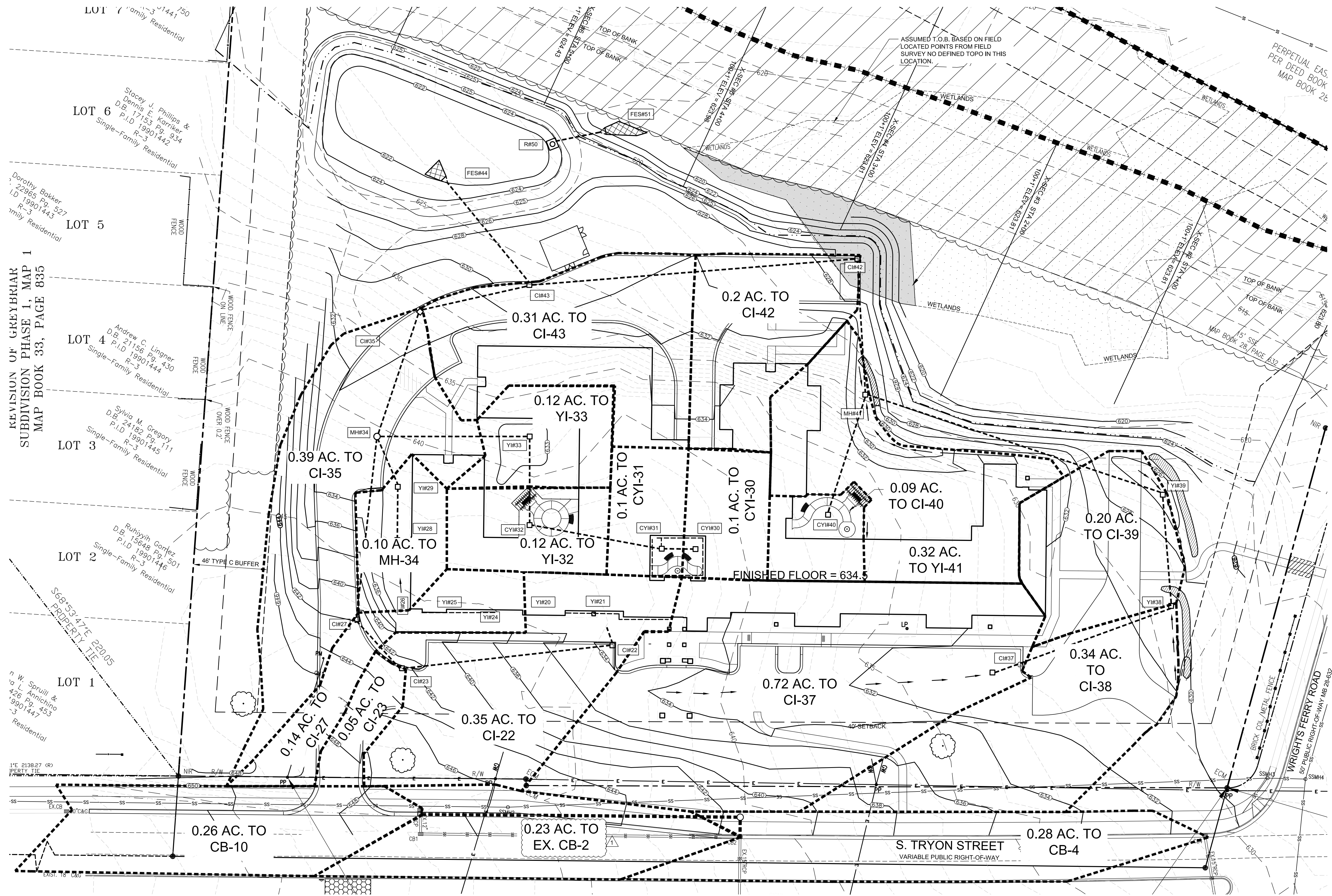
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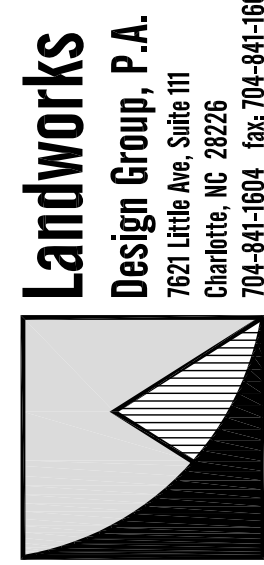
L-200

SHEET # 6 OF 20

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- LEGEND
- PROPERTY LINE
 - EXISTING CATCH BASIN
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING STORM DRAINAGE PIPE
 - PROPOSED STORM DRAINAGE PIPE
 - PROPOSED CURB INLET
 - PROPOSED YARD INLET
 - EXISTING SAN. SEWER
 - LIMITS OF GRADING/DENUDED LIMIT
 - PROPOSED FLARED END SECTION



QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

STORM
DRAINAGE
AREA MAP



Project Manager: MDL

Drawn By: SMW

Checked By: SSW

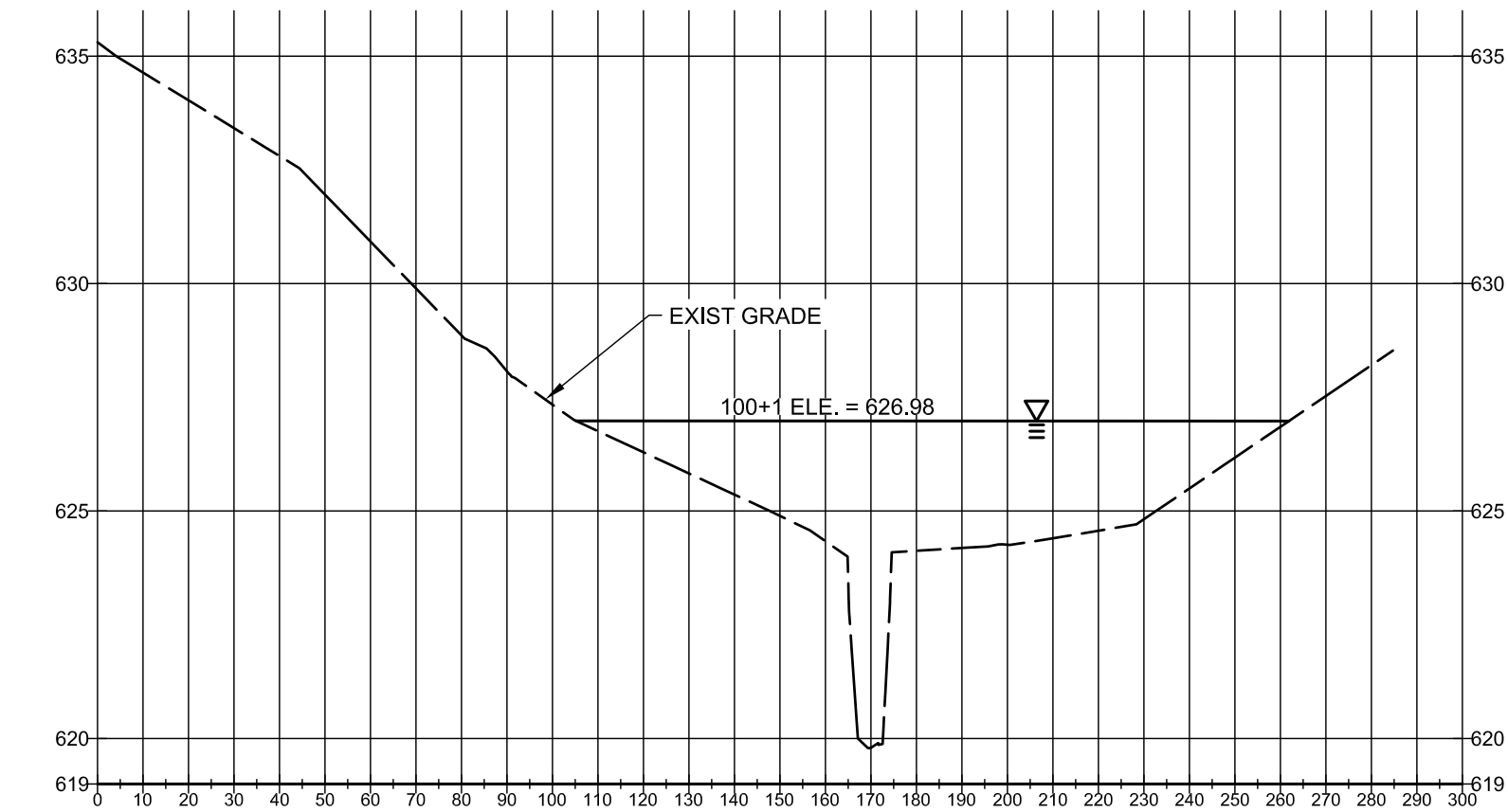
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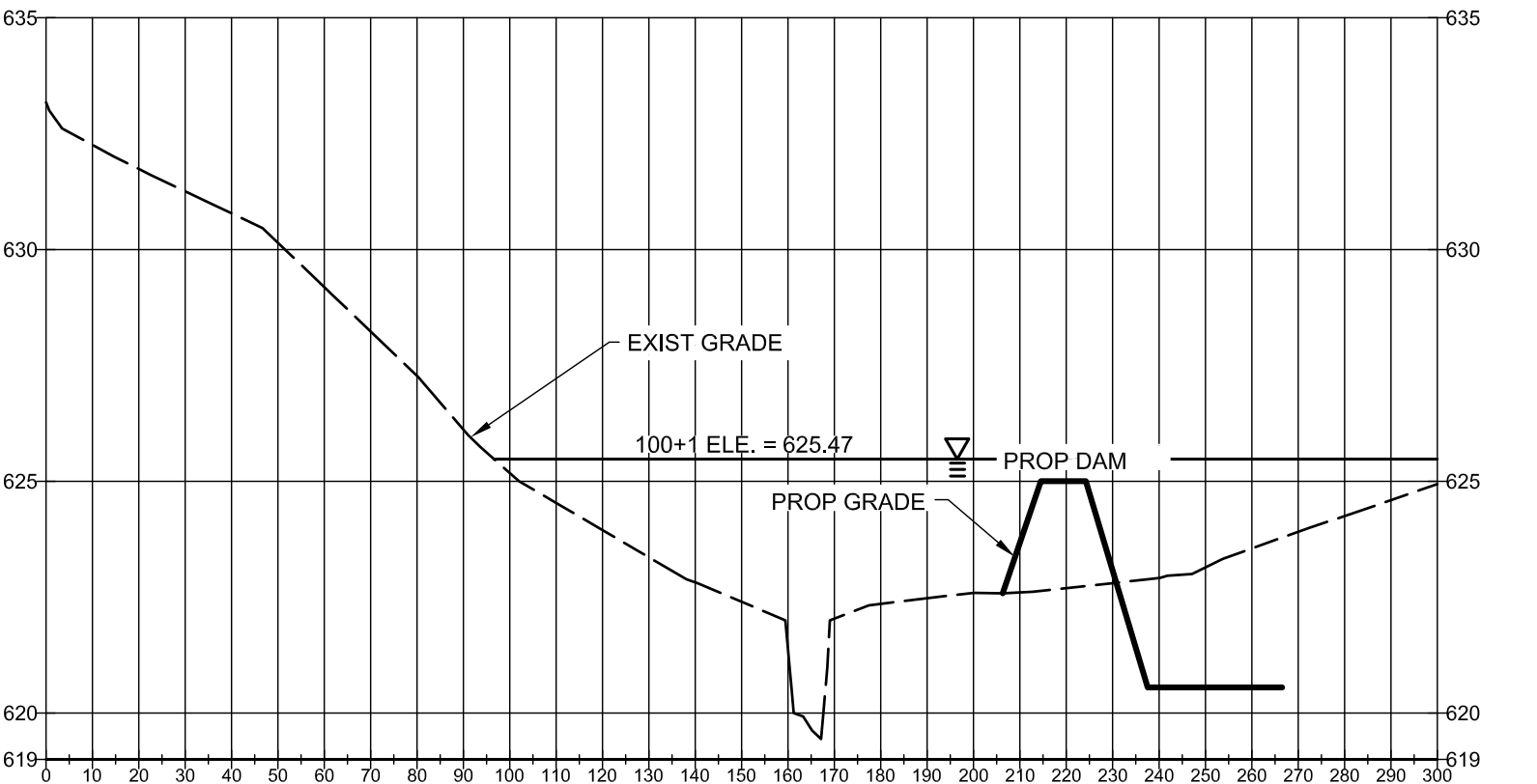
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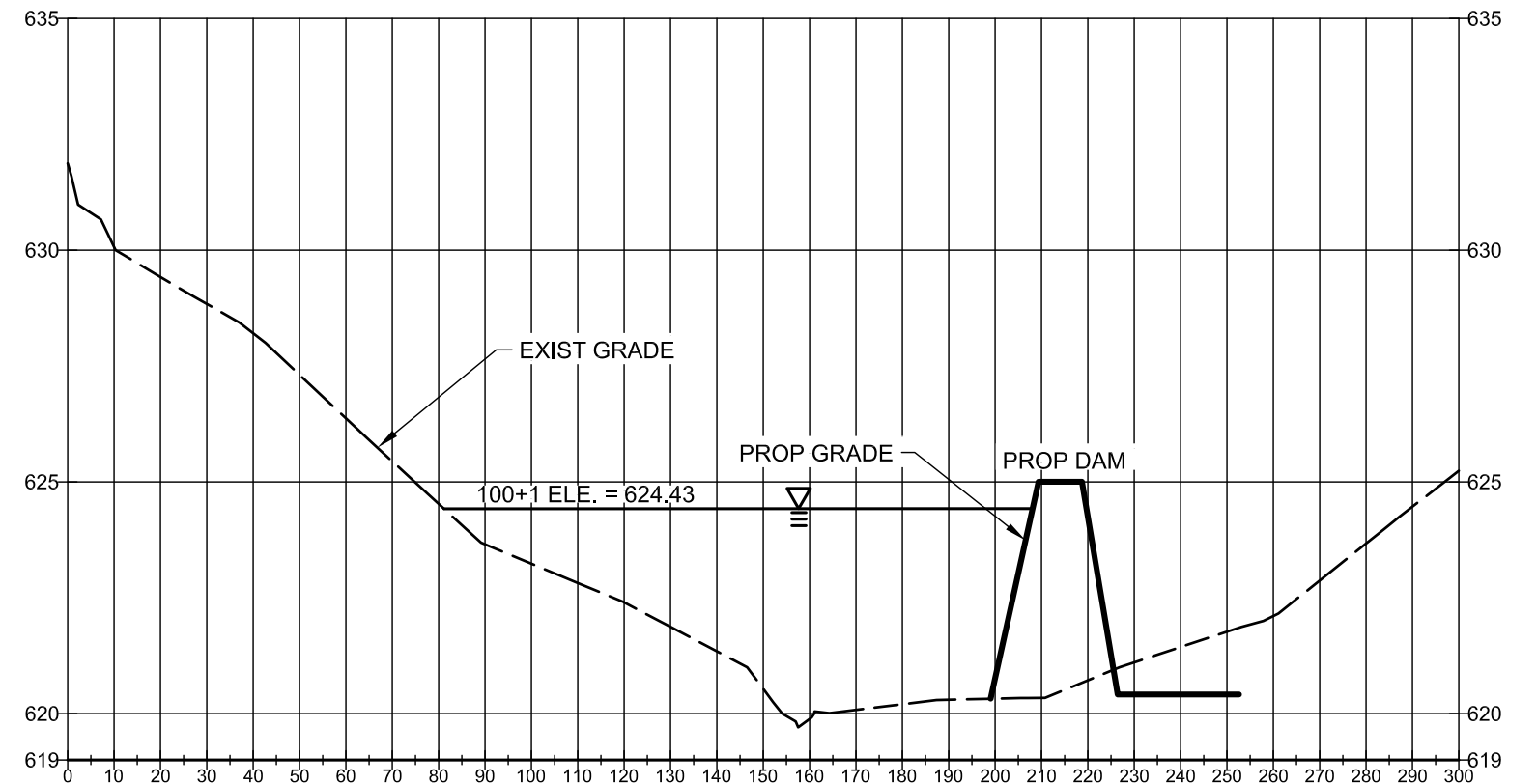
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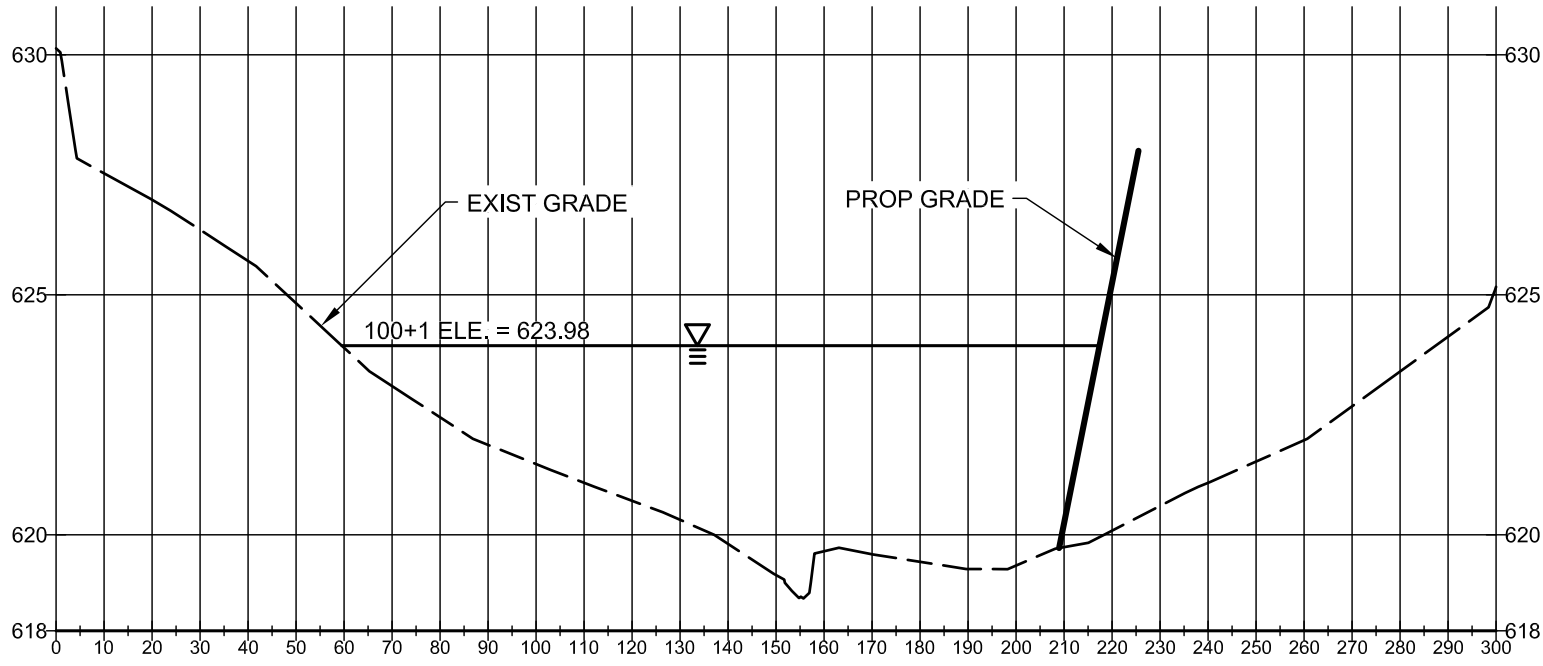
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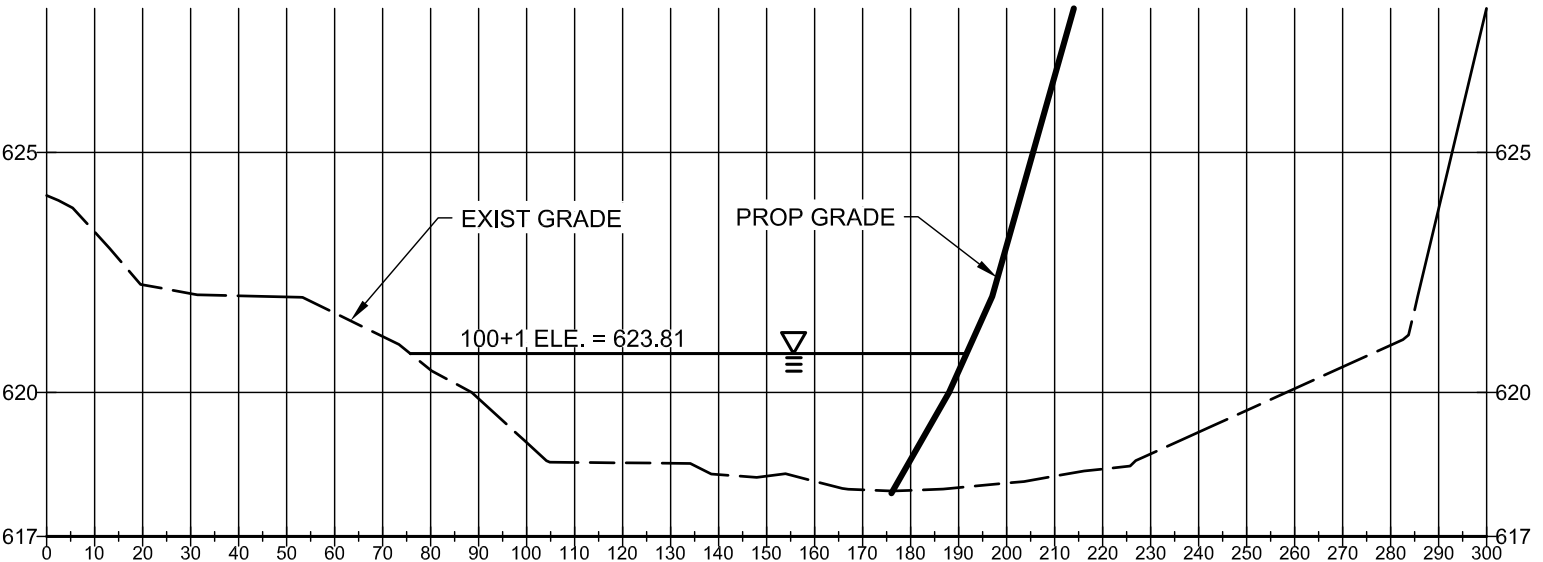
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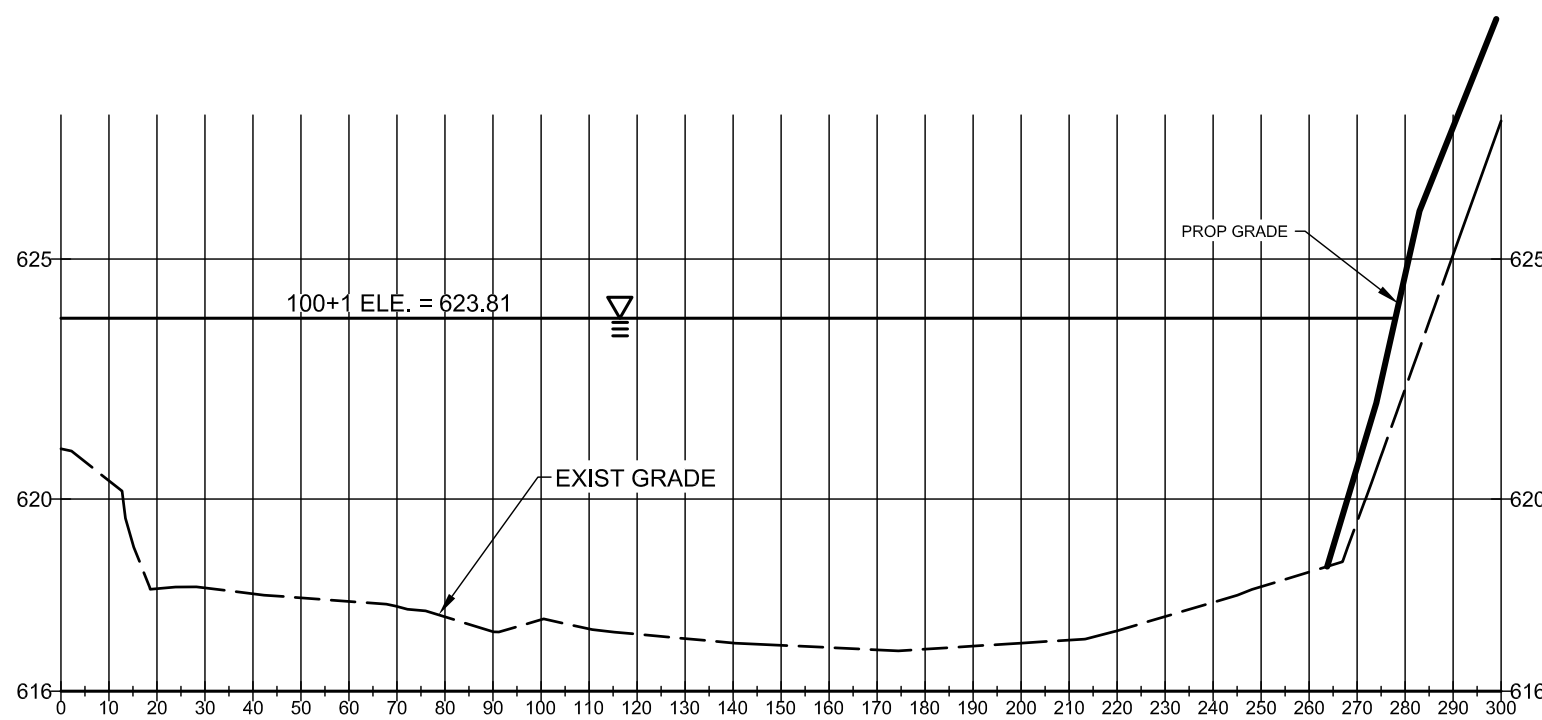
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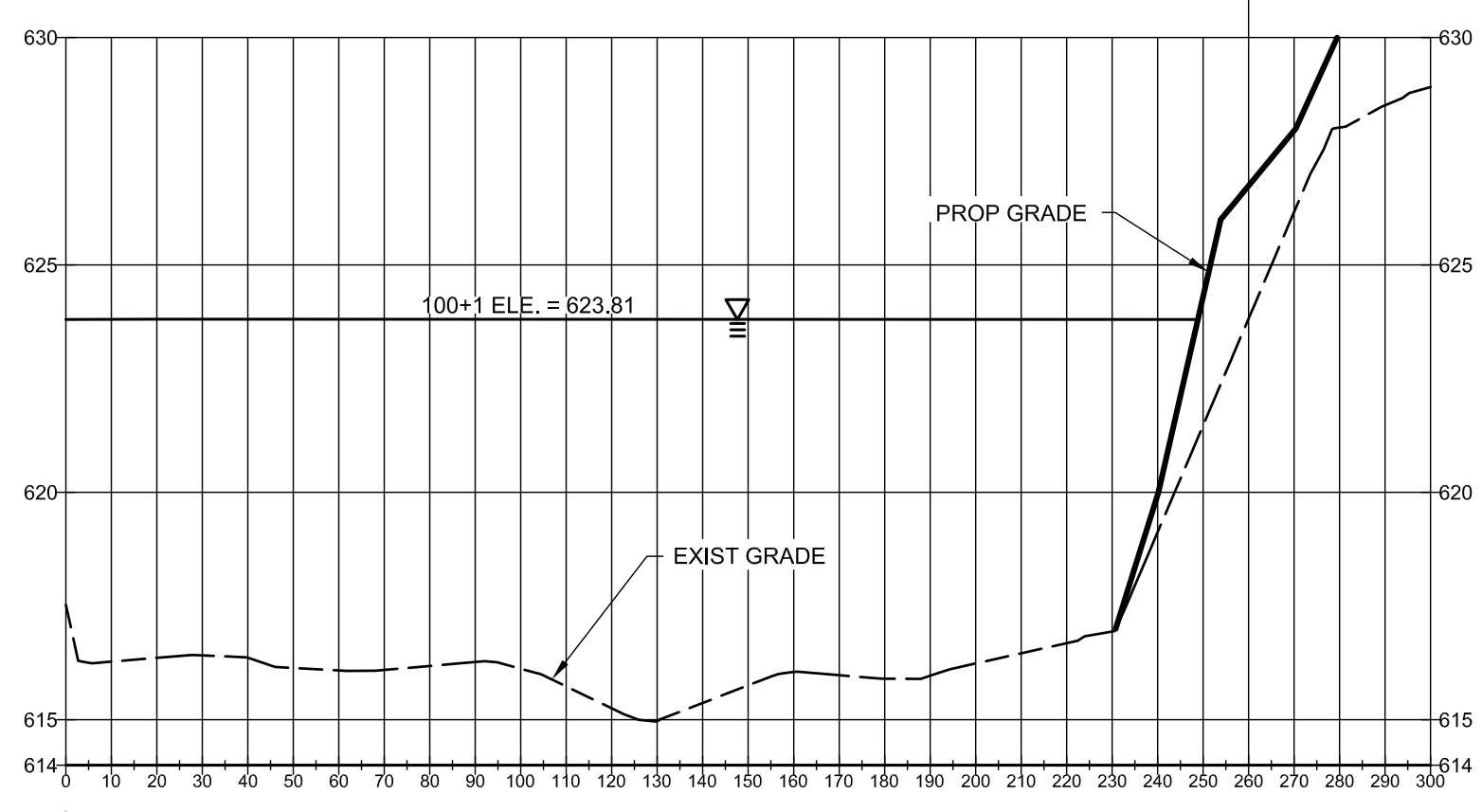
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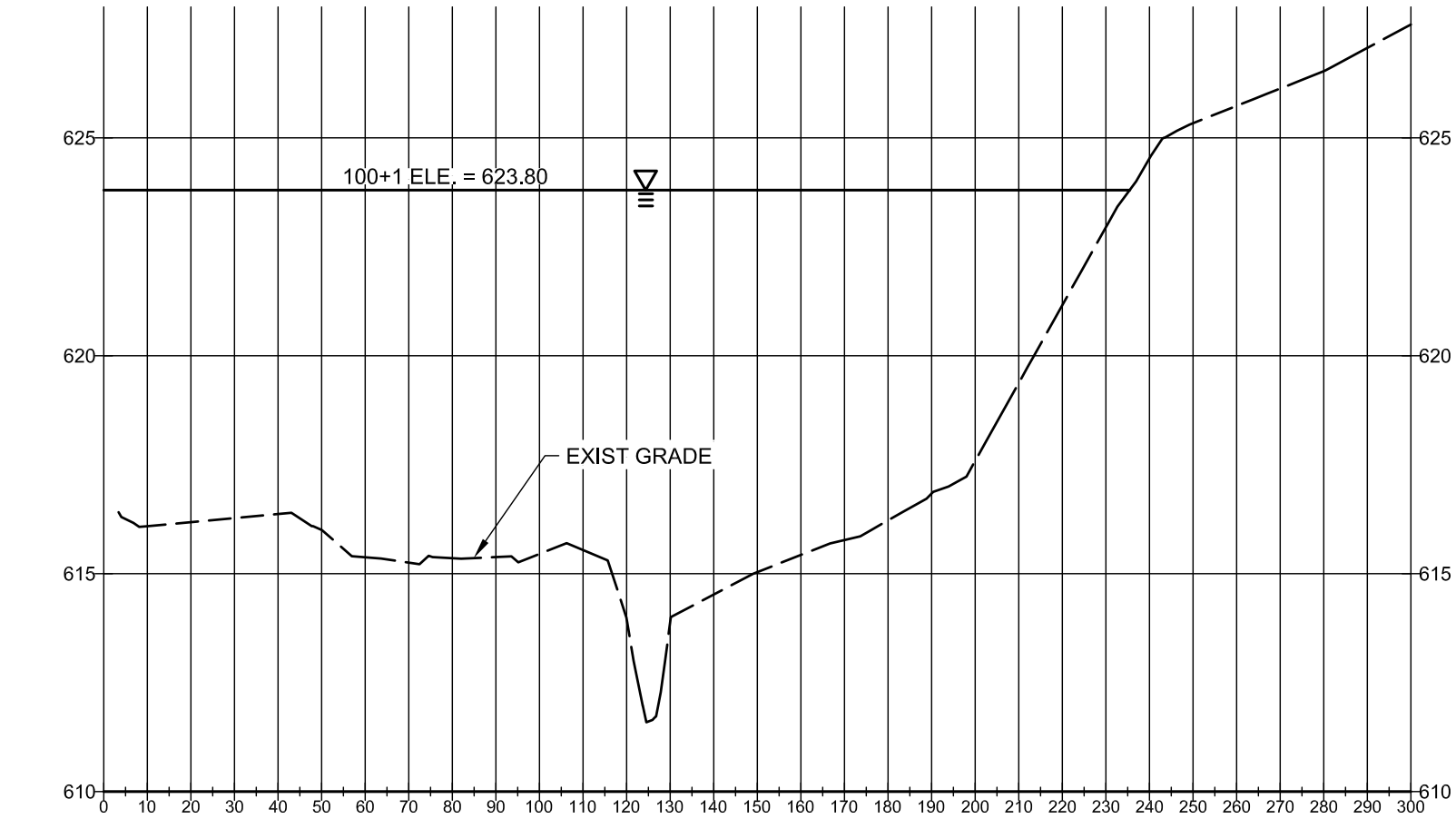
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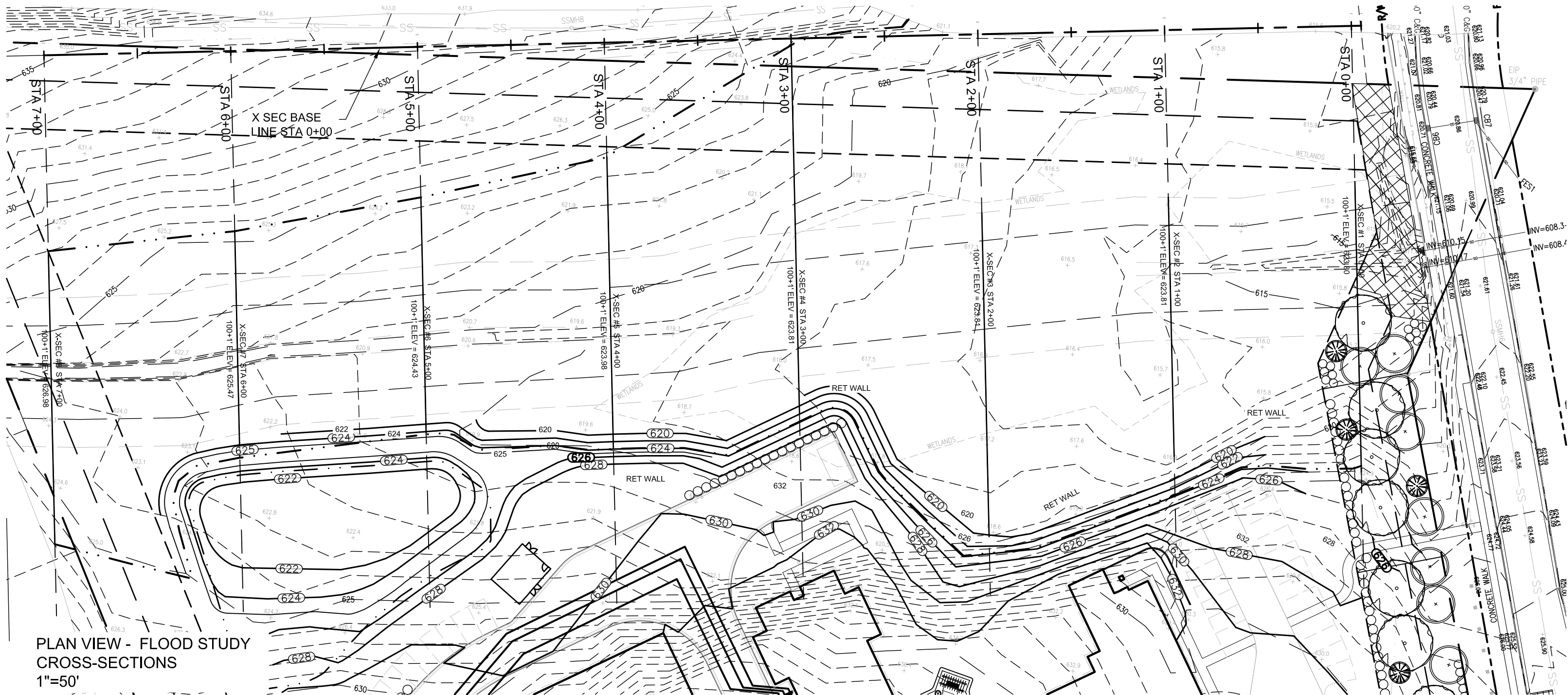


STA 1+00



STA 0+00

FLOOD STUDY CROSS-SECTIONS
1"=40' HORZ, 1"=4' VERT



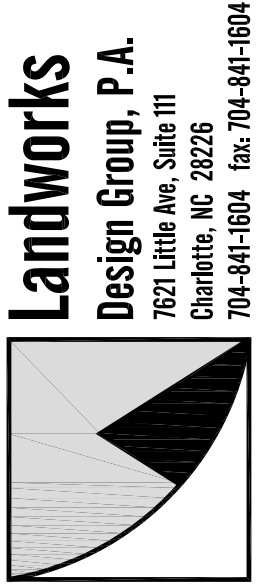
PLAN VIEW - FLOOD STUDY
CROSS-SECTIONS
1"=50'



10-22-2012 EXISTING X-SECTIONS

This Plan is A Final Design.
NOT Released For Construction
Unless Initialed & Dated As
Approved: _____
APPROVED: _____
DATE: _____

REVISIONS:			
No.	Date	By	Description



QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

100+1 FLOOD
STUDY
CROSS
SECTIONS

seals



2/15/13

Project Manager: MDL
Drawn By: JMD
Checked By: SSW
Date: 2/15/13
Project Number: 12011

Sheet Number:

L-202



LEGEND:			
---	TYPE 'C' BUFFER	---	EXISTING ELECTRICAL UTILITY
---	SETBACK LINE	---	LIMITS OF GRADING (DENUDED LIMITS)
---	PROPERTY LINE	---	PROPOSED SILT FENCE
---	S.W.I.M. STREAM BUFFER	---	PROPOSED HIGH HAZARD SILT FENCE
---	EXISTING CONTOUR	---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED CONTOUR	---	TREE SAVE AREA
---	PROPOSED SPOT ELEVATION	---	TEMPORARY DIVERSION DITCH
---	STORM DRAINAGE PIPE (EXISTING)	---	CONSTRUCTION ENTRANCE
---	STORM DRAINAGE PIPE (PROPOSED)	---	ROCK CHECK DAM
---	FLARED END SECTION W/ RIP RAP APRON	---	WETLAND AREA
---	EXISTING SANITARY SEWER	---	
---	DISTURBED WETLANDS	---	

NOTES:

1. TOTAL AREA DISTURBED = 5.55 ACRES
2. SOIL CLASSIFICATION: MONACAN, MECKLENBURG B, MECKLENBURG D & WILKES D
3. SEE SHEET L-200 FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
4. ALL "CLDSM STD." NUMBERS REFER TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
5. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
6. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
8. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING PER CLDSM #30.16.
9. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
10. THE DENUDED AREA LIMIT SHOWN ON THIS PLAN IS THE MAXIMUM AREA TO BE CLEARED. THE SURVEYOR SHALL DETERMINE ACTUAL REQUIRED CLEARING LIMITS.
11. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
12. THE CONTRACTOR SHALL MAINTAIN AND MONITOR ALL EROSION CONTROL DEVICES. DEVICES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER EVERY 0.5 INCHES OF RAINFALL TO ENSURE THEIR EFFECTIVENESS. ANY NEEDED REPAIRS SHALL BE PERFORMED IMMEDIATELY.
13. ANY GRADING BEYOND THE DENUDED LIMITS, SHOWN ON THE PLAN, IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE, AND IS SUBJECT TO A FINE.
14. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.

CONSTRUCTION SEQUENCE: (FOR PHASE 1 & 2 EROSION CONTROL)

- THE CONSTRUCTION SEQUENCE MUST INCLUDE THE FOLLOWING (ADDITIONAL DEPENDING ON SITE CONDITIONS):
1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
 2. SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE CITY CODE AND IS SUBJECT TO FINE.
 3. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION, DIVERSION DITCHES, TREE PROTECTION, SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES AS DEFINED ON THE PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
 4. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
 5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
 6. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
 7. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
 8. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
 9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
 10. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
 11. PROCEED WITH DEMOLITION, CLEARING AND GRUBBING, AND GRADING.
 12. INSTALL PROPOSED STORM DRAINAGE PIPES. INSTALL PHASE 2 EROSION CONTROL DEVICES AS SOON AS FEASIBLE.
 13. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN EROSION CONTROL DEVICES AND STRUCTURES TO ENSURE THEIR EFFECTIVENESS.
 14. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH THE CITY EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
 15. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
 16. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
 17. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
 18. SEED AND STABILIZE ALL REMAINING DISTURBED AREAS IMMEDIATELY UPON REMOVAL OF EROSION CONTROL DEVICES.

FOR LATE WINTER AND EARLY SPRING:

SEEDING MIXTURE:
RYE (GRAIN) = 120 LB/ACRE
ANNUAL LESPEDEZA (KOBE) = 50 LB/ACRE
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE)

SEEDING DATES:
JAN. 1 - MAY 1

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE

FOR SUMMER:

SEEDING MIXTURE:
GERMAN MILLET = 40 LB/ACRE
(A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

SEEDING DATES:
MAY 1 - AUG. 15

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE

FOR FALL:

SEEDING MIXTURE:
RYE (GRAIN) = 120 LB/ACRE

SEEDING DATES:
AUG. 15 - DEC 30

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDENR ESCPDM SECTION 6.11 AND THE CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 04200 SEEDING AND SODDING OF TURFGRASS.

1 L-300 TEMPORARY SEEDING SCHEDULE

SCALE: NTS

CLDSM # 30.17

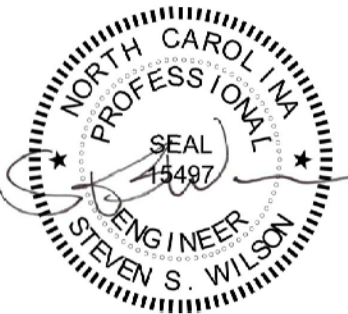


REVISIONS:

No.	Date	By	Description
1	04/02/13	AMC	REVISIONS PER CITY COMMENTS

EROSION CONTROL PHASE 1

seals



2/15/15

Project Manager: MDL

Drawn By: AMC

Checked By: SSW

Date: 2/15/13

Project Number: 12011



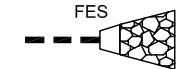


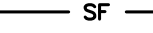






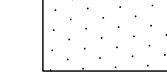

Sheet Number:

L-300



NAIL IN POLE
ELEV=647.15

NAIL IN POLE
ELEV=632.16

----	TYPE 'C' BUFFER
----	SETBACK LINE
----	PROPERTY LINE
----	S.W.I.M. STREAM BUFFER
-- --860-- --	EXISTING CONTOUR
-----860-----	PROPOSED CONTOUR
+600.0	PROPOSED SPOT ELEVATION
	STORM DRAINAGE PIPE (EXISTING)
	STORM DRAINAGE PIPE (PROPOSED)
	FLARED END SECTION WITH RIP RAP APRON
-----SS-----	EXISTING SANITARY SEWER
	EXISTING ELECTRICAL UTILITY
	LIMITS OF GRADING (DENUDE LIMITS)
	PROPOSED SILT FENCE
	PROPOSED HIGH HAZARD SILT FENCE
	PROPOSED HIGH HAZARD SILT FENCE
	TREE SAVE AREA
	TEMPORARY DIVERSION DITCH
	CONSTRUCTION ENTRANCE
	ROCK CHECK DAM
	WETLAND AREA
	DISTURBED WETLANDS

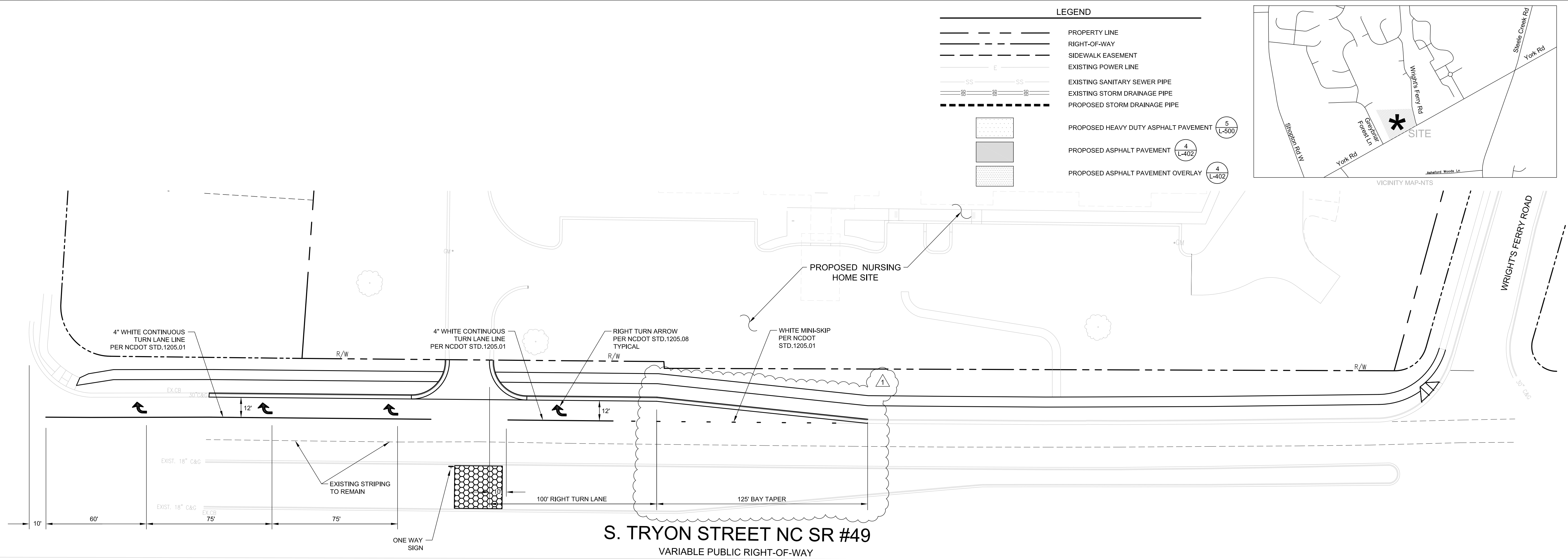
1. SEE SHEET L-200 & 300 FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
2. ALL "CLDSM STD." NUMBERS REFER TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION/ LIFT/ PERMIT FROM THE ZONING ADMINISTRATOR.
4. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
5. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY OF CHARLOTTE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
6. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING PER CLDSM #30.16.
7. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NC DOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
8. THE DENIED AREA LIMIT SHOWN ON THIS PLAN IS THE MAXIMUM AREA TO BE CLEARED. THE SURVEYOR SHALL DETERMINE ACTUAL REQUIRED CLEARING LIMITS.
9. ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITHIN 30 DAYS OF CONSTRUCTION. ALL DISTURBED AREAS IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM LAST LAND-DISTURBING ACTIVITY.
10. THE CONTRACTOR SHALL MAINTAIN AND MONITOR ALL EROSION CONTROL DEVICES. DEVICES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND EVERY EVERY 0.5 INCHES OF RAINFALL TO ENSURE THEIR EFFECTIVENESS. ANY NEEDED REPAIRS SHALL BE PERFORMED IMMEDIATELY.
11. ANY GRADING BEYOND THE DENIED LIMITS, SHOWN ON THE PLAN, IS A VIOLATION OF THE CITY OF CHARLOTTE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
12. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.

A circular professional seal for a North Carolina Registered Landscape Architectural Design Group, P.A. The seal features the text "NORTH CAROLINA" at the top, "REGISTERED LANDSCAPE ARCHITECTURAL" around the inner circle, "DESIGN GROUP, P.A." around the bottom, and "C-253" in the center. There are also two small stars on the left and right sides of the inner circle.

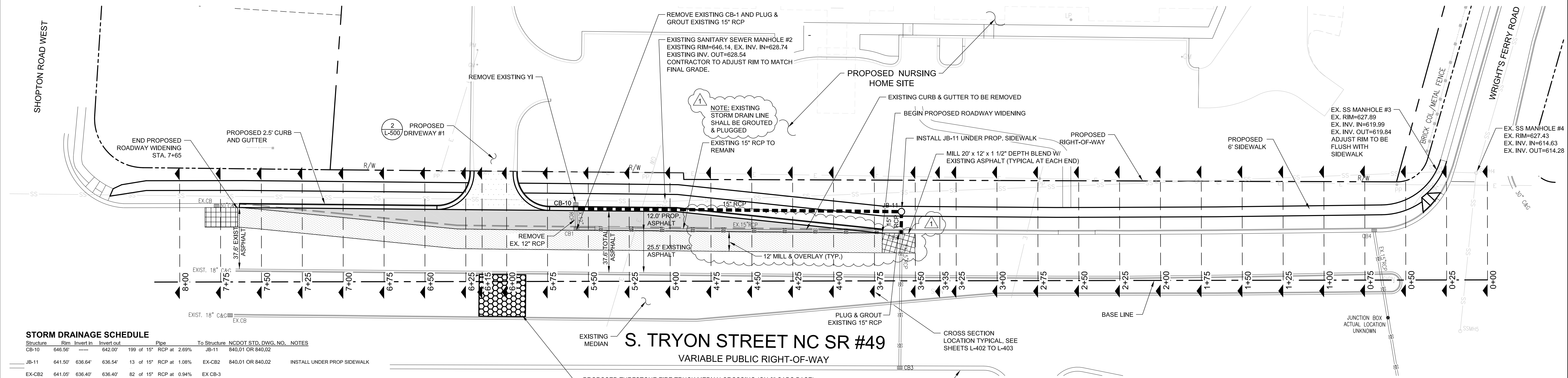
SHEET # 10 OF 20

P:\2012 Jobs\12011 - Queen City Manor\CAD\12011 GREC.dwg

P:\2012 jobs\12011 - Queen City Manor\CAD\12011 RoadImp.dwg



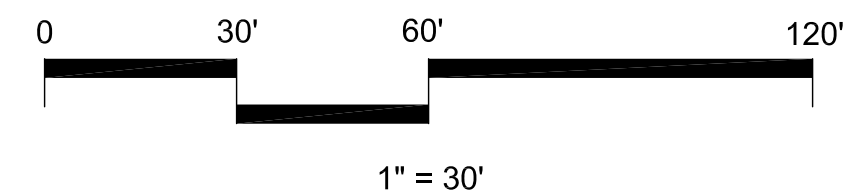
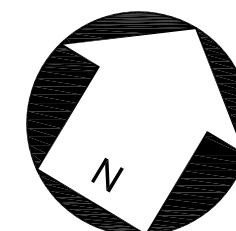
PAVEMENT MARKING PLAN
SCALE: 1"=30'



TURN LANE WIDENING PLAN
SCALE: 1"=30'

PROPOSED TURFSTONE FIRE TRUCK MEDIAN CROSSING (ON 8" CABG BASE)
WIDTH: 20' MIN.
STRENGTH: CAPABLE OF SUPPORTING 80,000 POUNDS
PAVING: LOCATE TURFSTONE BEHIND CURB.
CURB: CONTRACTOR SHALL SAWCUT EXISTING MEDIAN CURB ON BOTH SIDES OF MEDIAN (30' LENGTH EACH SIDE) AND REPLACE WITH CLASS AA CONCRETE, 4,500PSI, "MOUNTABLE" MEDIAN-TYPE CURB (MATCH EXISTING - NCDOT STD. 1'-6" CURB AND GUTTER DETAIL 846.01).
MILLING LIMITS WILL BE FIELD DETERMINED FOR FIRE TRUCK CROSSING.
SEE EMERGENCY VEHICLE MEDIAN CROSSOVER CLDSM DETAIL STD. NO. 50.12 ON SHEET L-401.

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DATE: _____



REVISIONS:			
No.	Date	By	Description
1.	4/2/13	JMD	REVISED PER NCDOT COMMENTS

Project Manager: MDL
Drawn By: JMD
Checked By: SSW
Date: 2/15/13
Project Number: 12011
Sheet Number:

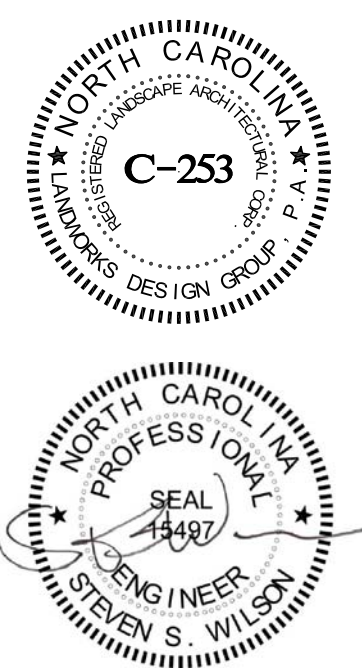
L-400

SHEET # 11 OF 19

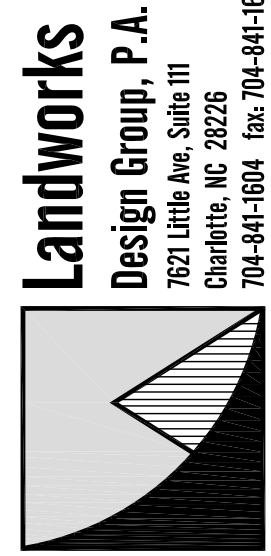
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ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

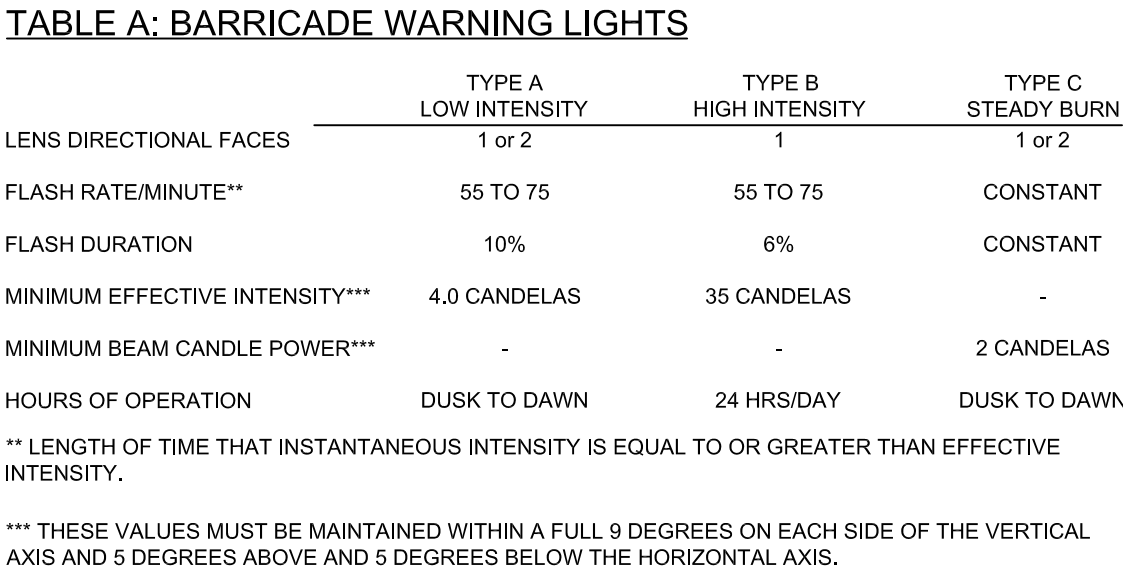
S. TRYON
STREET
IMPROVEMENT
PLAN

seals



2/15/13





TYPE C STEADY BURN WARNING LIGHTS ARE MOST COMMONLY MOUNTED ON SEPARATE PORTABLE SUPPORTS OR ON TYPE I OR TYPE II BARRICADES AND ARE INTENDED TO CONTINUALLY WARN THE DRIVER THAT HE IS APPROACHING OR ADJACENT TO A HAZARD. BARRICADE WARNING LIGHTS ARE PORTABLE, LENS DIRECTED, ENCLOSED LIGHTS. THE COLOR OF THE LIGHT EMITTED SHALL BE YELLOW.

BARRICADE WARNING LIGHTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) STANDARD FOR FLASHING AND STEADY BURN BARRICADE WARNING LIGHTS (1971) (SEE TABLE).

NOTE:
TRAFFIC CONTROL SHALL CONFORM TO WATCH HANDBOOK.
ADDITIONAL SIGNING AND/OR TRAFFIC CONTROLS SUCH AS TURN
PROHIBITIONS AND ADDITIONAL FLAGGERS MAY BE NECESSARY.

SEE SHEET L-402 FOR ADDITIONAL DETAILS



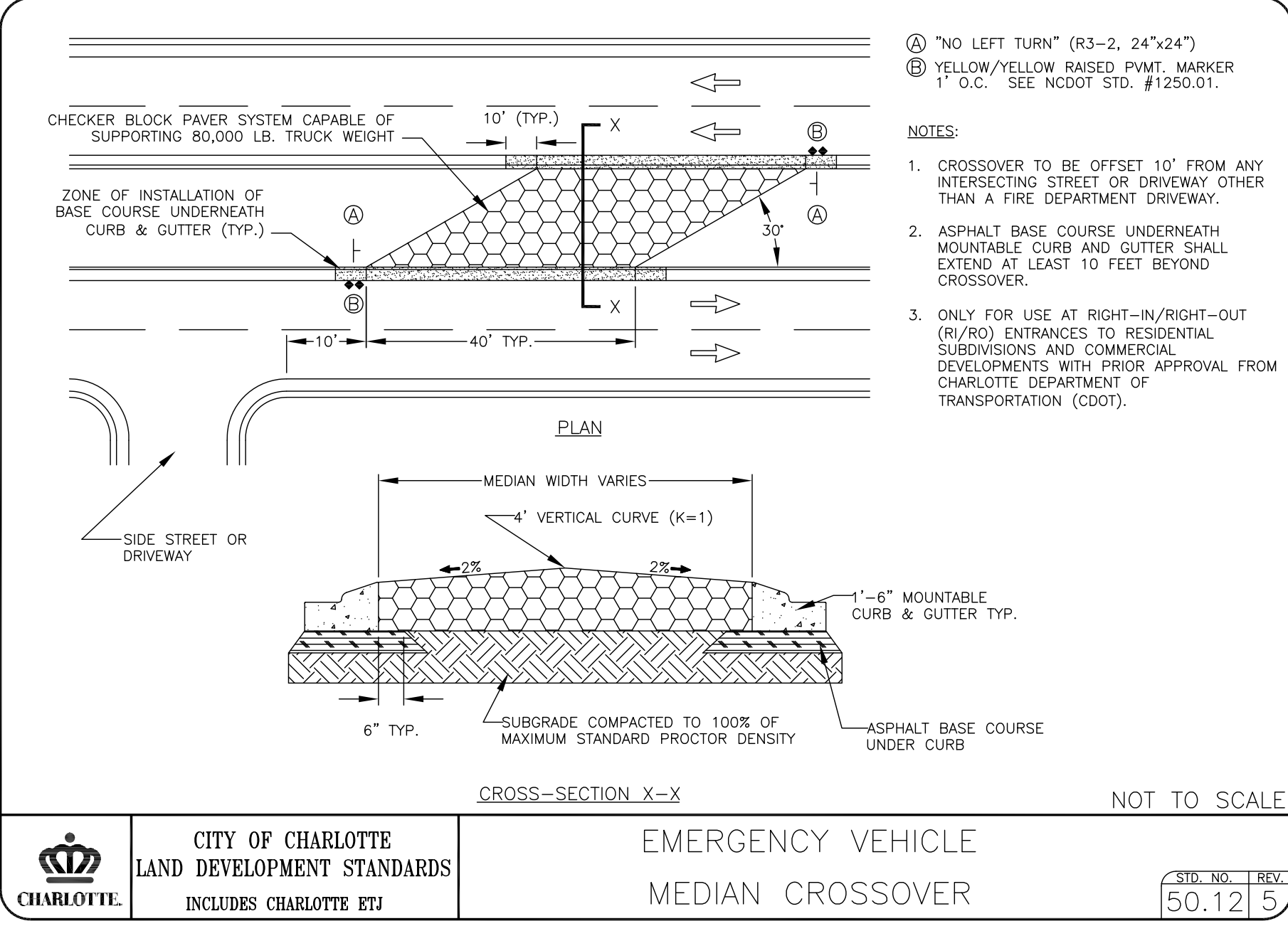
BY REFERENCE HERETO, THESE PLANS MAY INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAY STANDARD DRAWINGS AND THE LATEST REVISIONS THERETO, AS AN INTEGRAL PART OF THESE PROJECT PLANS.

STANDARD DRAWING NOS.			
1101.01	1101.04	1110.02	1150.01
1101.02	1101.05	1115.01	
1101.03	1101.11	1130.01	


ALL TRAFFIC CONTROL DEVICES, SIGNS, PAVEMENT MARKINGS, AND OPERATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE ABOVE STANDARD DRAWINGS, THE APPLICABLE NCDOT SPECIFICATIONS, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) UNLESS OTHERWISE NOTED HEREIN.

1. THE TRAFFIC CONTROL AND CONSTRUCTION SEQUENCE SHOWN ON THE PLANS HAS BEEN DEVELOPED BASED UPON TEMPORARY TRAFFIC CONTROL (TTC) STANDARDS. THE CLOSURES ARE TO BE PERFORMED IN ACCORDANCE WITH THE PERMITTED FOR CONSTRUCTION OPERATIONS DURING THE HOURS OF 9 A.M. TO 4 P.M. DURING PERIODS OF CONSTRUCTION WHERE LANE CLOSURES ARE NOT REQUIRED, S. TRYON STREET SHALL REMAIN OPEN TO TWO-WAY TRAFFIC. CONSTRUCTION OPERATIONS MAY BE PERFORMED DURING THE CLOSURES AND NO FLAGGING OPERATIONS IN ACCORDANCE WITH NCDOT STANDARDS AS NOTED ABOVE AND THE FOLLOWING GENERAL NOTES AS APPROPRIATE.
2. CONTRACTOR SHALL NOTIFY THE DISTRICT ENGINEER OFFICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, FOR OPERATIONS REQUIRING LANE CLOSURE. DRUMS SHALL BE USED.
3. FLASHING ARROW PANELS MAY BE USED FOR DAY AND NIGHT LANE CLOSURES.
4. A HORIZONTAL ROW OF BULBS SHALL NOT BE CONSIDERED AN ACCEPTABLE CAUTIONARY METHOD OF DISPLAY.
5. ARROW PANELS SHALL BE LOCATED ON THE SHOULDER (PAVED OR UNPAVED) EXCEPT FOR TEMPORARY RIGHT LANE CLOSURES. ARROW PANELS SHALL BE LOCATED ON THE SHOULDER AND BE PLACED IN THE CLOSED LANE. IT SHALL BE LOCATED JUST BEHIND THE TAPEP CREATED BY THE CHANNELIZING DEVICES.
6. THE MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES IN TAPEP OR TRANSITION AREAS SHOULD BE EQUAL IN LENGTH TO THE TAPEP OR TRANSITION AREA.
7. THE MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES THROUGH THE WORK AREA SHALL BE APPROXIMATELY EQUAL IN FEET TO TWO (2) TIMES THE POSTED SPEED LIMIT.
8. SIGN NO. W20-7A (FLAGGER ADVANCE) SHALL BE DISPLAYED ONLY WHEN FLAGGER IS PRESENT.
9. SIGN NO. W20-7A (FLAGGER ADVANCE) SHALL BE DISPLAYED ONLY TO DIRECT TRAFFIC (SEE THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART 6, SECTION 6F-2 THRU 6F-5).
10. FOR TAPEP LENGTHS (L) AND STOPPING SIGHT DISTANCE, SEE TABLES ON NCDOT STANDARD DRAWING NO. 1101.11.
11. CONTRACTOR SHALL REMOVE ALL CONFLICTING PAVEMENT MARKINGS BY THE END OF EACH WORKDAY.
12. ANY SIGNS PLACED ON PAVEMENT SHALL BE PORTABLE MOUNTED, UNLESS OTHERWISE DIRECTED BY THE PLANS OR THE ENGINEER.
13. SEE THE TRAFFIC CONTROL PLAN FOR ADDITIONAL DETAILS OF PAVEMENT MARKINGS.
14. AT THE END OF EACH WORKDAY, CONTRACTOR SHALL RE-GRADE OR SHAPE ANY CONSTRUCTION AREA ADJACENT TO AN OPEN TRAFFIC LANE SUCH THAT THE ELEVATION OF THE CONSTRUCTION AREA IS NO MORE THAN 2" ABOVE OR BELOW THE ELEVATION OF THE ADJACENT TRAFFICWAY.
15. ALL DIMENSIONING SHOWN IS APPROXIMATE.
16. CONSTRUCTION OPERATIONS SHALL BE IN ACCORDANCE WITH THE TRAFFIC CONTROL DEVICES, STRIPS AND OPERATIONS SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS.
17. TEMPORARY LANE CLOSURES FOR INSTALLATION OF STORM DRAINAGE PIPE AND/OR STRUCTURES ACROSS "OPEN" TRAFFIC LANE SHALL BE IN ACCORDANCE WITH NCDOT STANDARD DRAWING 1101.01.
18. TEMPORARY LANE CLOSURES FOR CONSTRUCTION OF WIDENING AREAS AND RESURFACING SHALL BE IN ACCORDANCE WITH NCDOT STANDARD DRAWING 1101.02.

- PAYMENT MAY BE USED FOR TEMPORARY MARKINGS IN ACCORDANCE WITH NCDOT STANDARDS.
19. THIS TRAFFIC CONTROL PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION IN ACCORDANCE WITH NCDOT.
20. ANY EXISTING CONFLICTING MARKINGS SHALL BE REMOVED PRIOR TO SHIFTING TRAFFIC.
21. EXISTING ROADWAY AND WARNING SIGNS WHICH CONFLICT WITH THE CONSTRUCTION SIGNAGE SHALL BE REMOVED DURING CONSTRUCTION AND SHALL BE REINSTALLED AS DIRECTED BY THE NCDOT.
22. THE SPACING OF SIGNS AND CHANNELIZATION DEVICES MAY BE ADJUSTED TO FIT THE GEOMETRIC CONDITIONS ENCOUNTERED, SUCH AS DRIVEWAYS, INTERSECTING ROADWAYS, VERTICAL AND HORIZONTAL ALIGNMENT, ETC., SUBJECT TO NCDOT APPROVAL.
23. A LONG-TERM BUT SPORADIC-USE WARNING SIGN, SUCH AS THE FLAGGER SIGN, MAY REMAIN IN PLACE WHEN NOT REQUIRED, PROVIDED THE SIGN FACE IS FULLY COVERED.
24. TRAFFIC SIGNALS SHALL NOT BE DISPLAYED OR ERECTED UNLESS RELATED CONDITIONS ARE PRESENT NECESSITATING WARNING.
25. USE OF BARRICADES, PORTABLE BARRIER RAILS, VERTICAL PANELS, AND DRUMS SHALL BE TO THE IMMEDIATE AREAS OF CONSTRUCTION WHERE A HAZARD IS PRESENT. THESE DEVICES SHALL NOT BE STORED ALONG THE ROADWAY WITHIN THE TRAVEL LANE OR USED TO PROTECT THE ROADWAY BEFORE OR AFTER USE UNLESS PROTECTED BY BARRIERS. THESE DEVICES SHALL BE REMOVED FROM THE CONSTRUCTION WORK ZONE WHEN THE ENGINEER DETERMINES THEY ARE NO LONGER NEEDED, WHICH MAY BE AT THE END OF THE NIGHT-OF-WORK TO PROVIDE FOR THIS TRAFFIC (30) FOOT SETBACK. THE ENGINEER SHALL APPROVE ALTERNATE LOCATIONS.
26. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHEN THE LANE IS OPEN TO TRAFFIC, UNLESS PROTECTED BY BARRIERS INSTALLED FOR OTHER PURPOSES. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO BE PARKED WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE AT ANY TIME UNLESS PROTECTED AS DESCRIBED ABOVE. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE FOR THIS TRAFFIC (30) FOOT SETBACK. THE ENGINEER SHALL APPROVE ALTERNATE LOCATIONS.
27. CONTRACTOR SHALL WORK ON ONLY ONE SIDE OF THE ROADWAY AT A TIME UNLESS APPROVED IN WRITING BY NCDOT.
28. CONTRACTOR SHALL COORDINATE ALL SEQUENCE OF CONSTRUCTION AND MAINTENANCE OF TRAFFIC OPERATIONS WITH THE N.C. DEPARTMENT OF TRANSPORTATION (NCDOT). MAINTENANCE OF TRAFFIC OPERATIONS IN THIS AREA IS THE RESPONSIBILITY OF NCDOT.
29. CONTRACTOR SHALL REMOVE, SUPPLEMENT AND/OR ADJUST TRAFFIC CONTROL SIGNS AND DEVICES AS NECESSARY AND AS DIRECTED BY THE ENGINEER AND/OR NCDOT.
30. CONTRACTOR SHALL WORK AND MAINTENANCE OF TRAFFIC WITH ANY AND ALL DOWNING CONTRACTORS, PROJECTS, AND/OR UTILITIES.
31. CONTRACTOR SHALL MAINTAIN ADEQUATE INGRESS AND EGRESS TO ALL PROPERTIES IN THE PROJECT AREA AT ALL TIMES.
32. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO ENSURE THAT CONSTRUCTION DEBRIS, DIRT, MUD, ETC., IS NOT TRACKED ONTO THE EXISTING TRAVELWAY, OR ONTO ANY LANE OPEN TO TRAFFIC. SHOULD DEBRIS, DIRT, MUD, ETC., ACCUMULATE ON AN OPEN TRAVELWAY, CONTRACTOR SHALL IMMEDIATELY TAKE STEPS TO REMOVE SAID DEBRIS, DIRT, MUD, ETC.
33. CONTRACTOR SHALL ROUTINELY INSPECT ALL TRAFFIC CONTROL DEVICES, SIGNS, MARKINGS, ETC., AND REPAIR OR REPLACE AS NECESSARY.
34. CONSTRUCTION SHALL BE FURNISHED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING SIGNS IN ACCORDANCE WITH NCDOT SPECIFICATIONS.



REVISIONS:			
No.	Date	By	Description
1.	4/2/13	JMD	REVISED PER NCDOT COMMENTS



Landworks
Design Group, P.A.
7621 Little Ave, Suite 111
Charlotte, NC 28226
704-841-1604 fax: 704-841-1604

**QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC**

S. TRYON
STREET IMP.
TRAFFIC
CONTROL
PLAN

seals



2/15/13

Project Manager:

Drawn By:

JMD

Checked By:

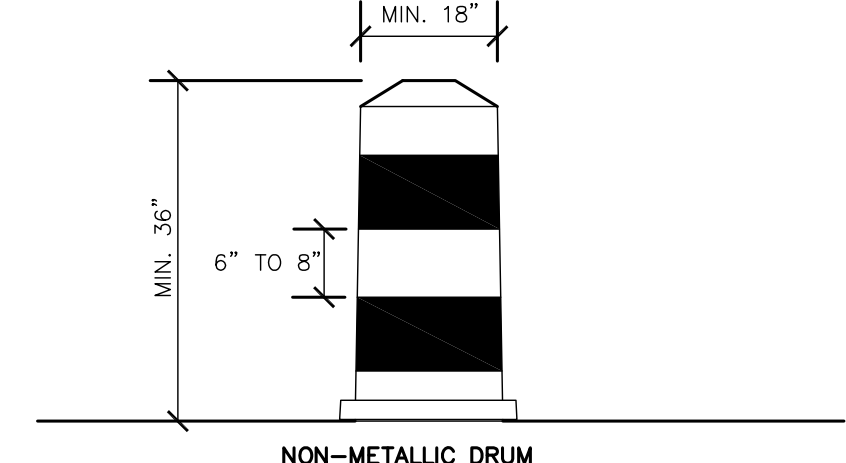
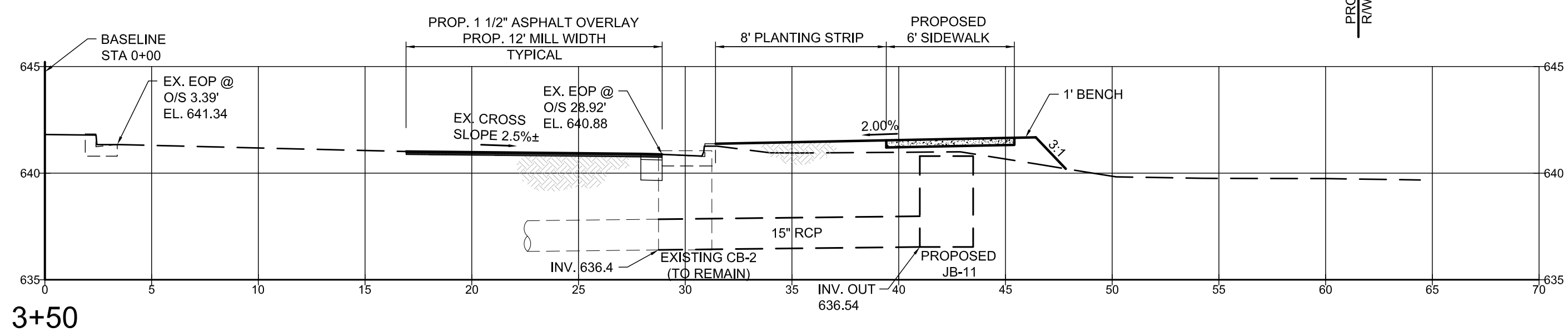
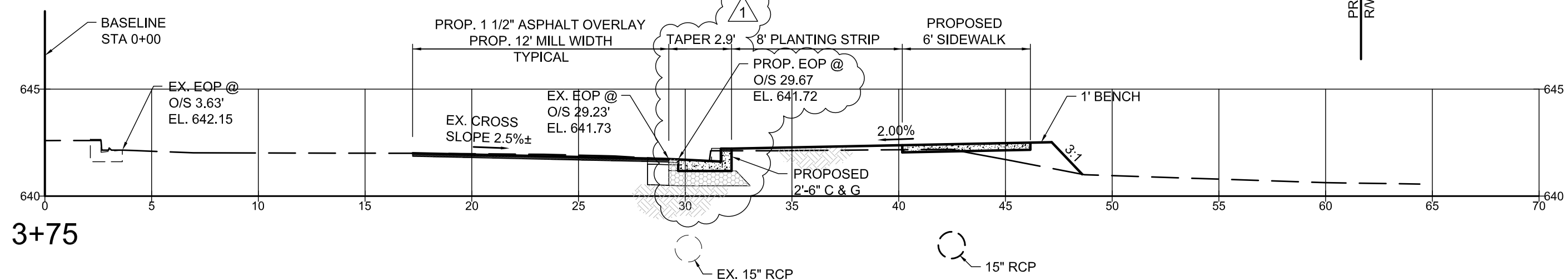
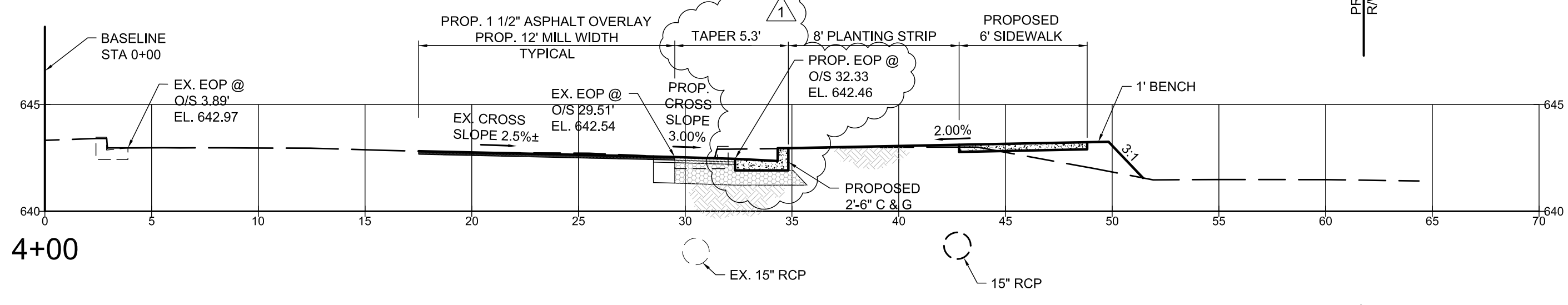
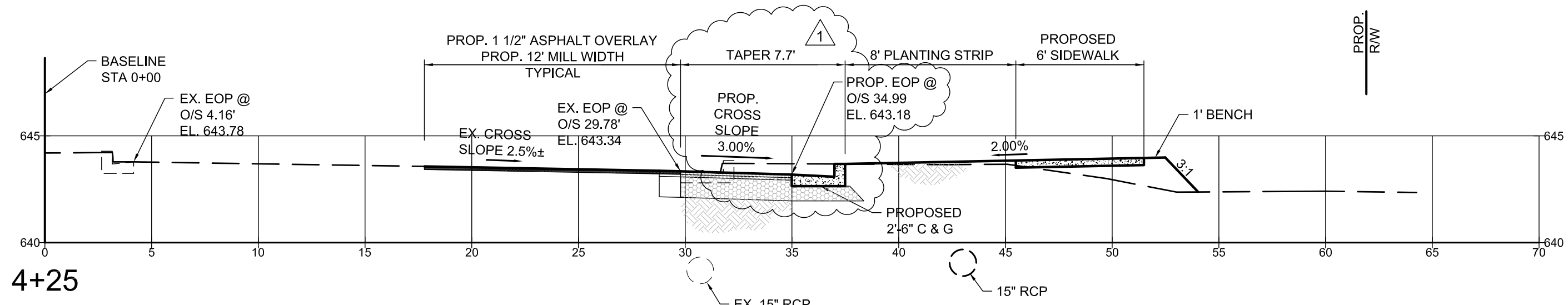
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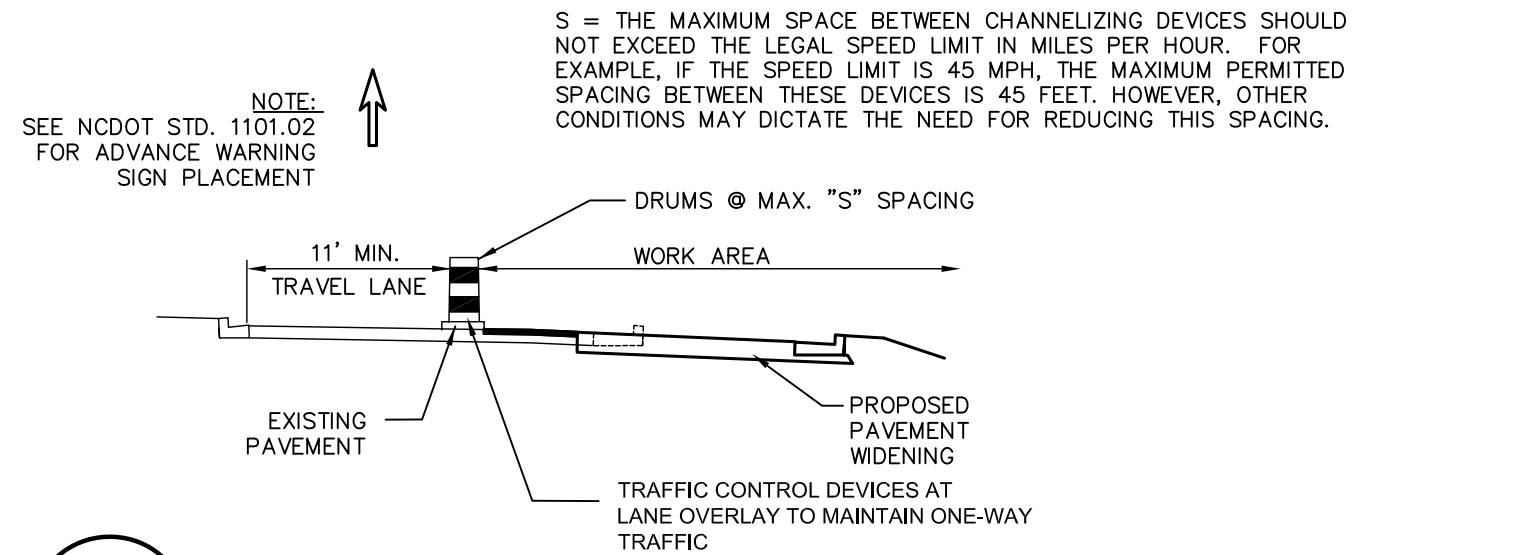
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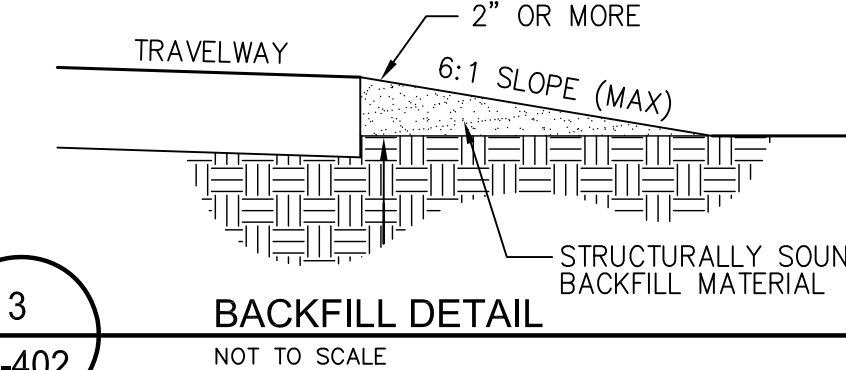
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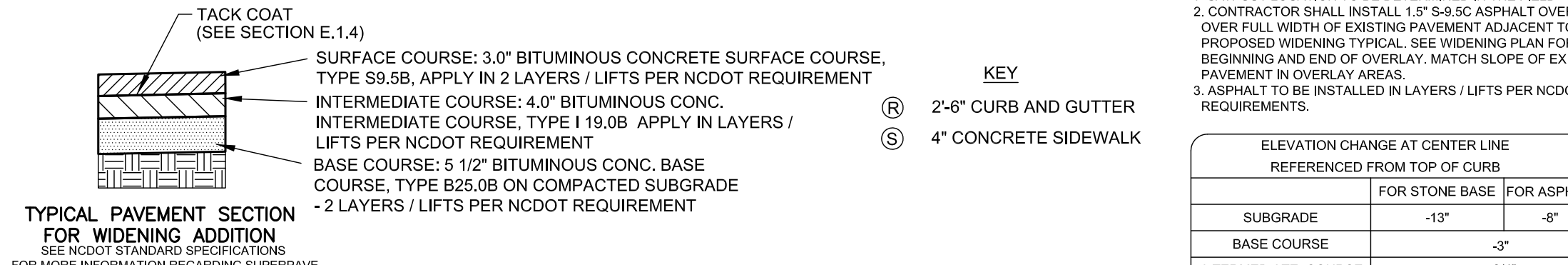
1 DRUM DETAIL
NOT TO SCALE NCDOT 1130.01



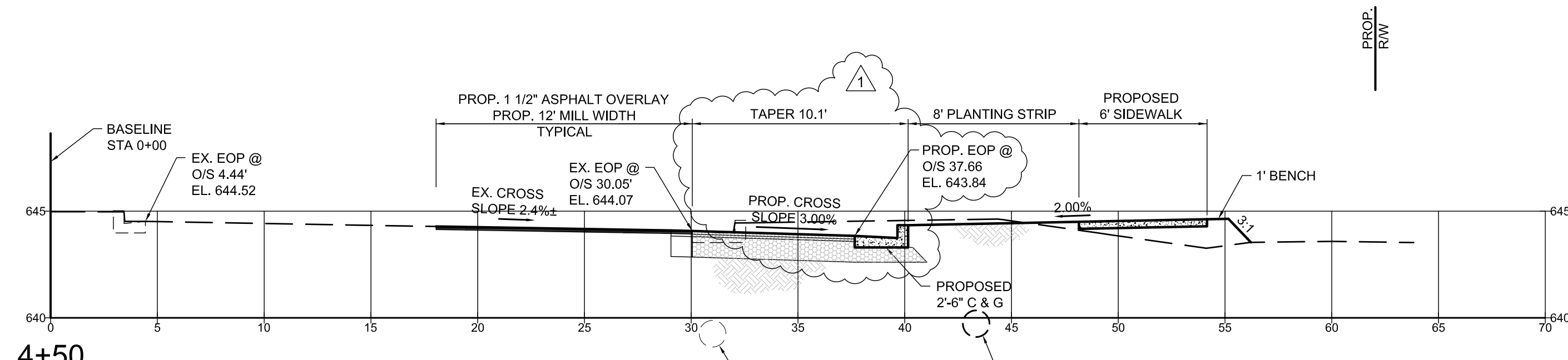
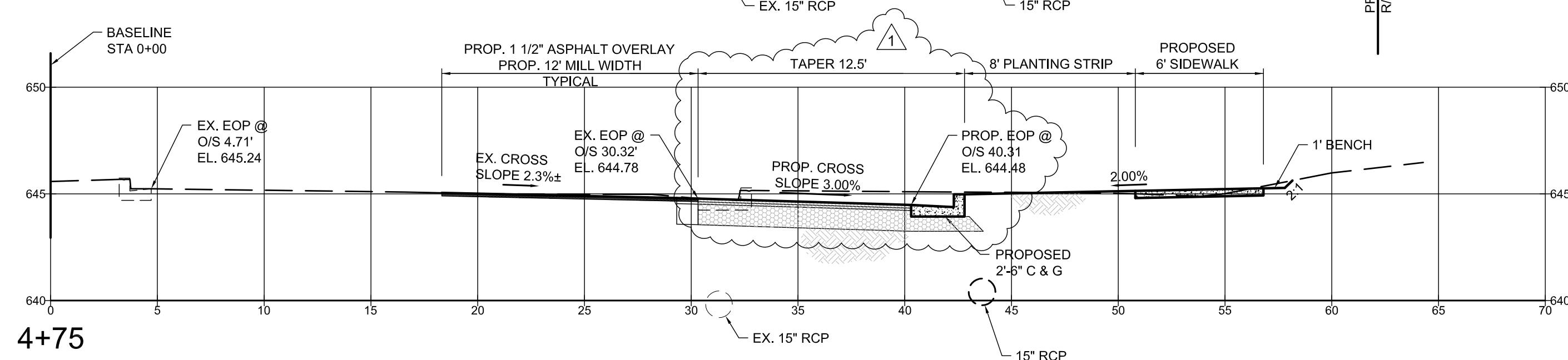
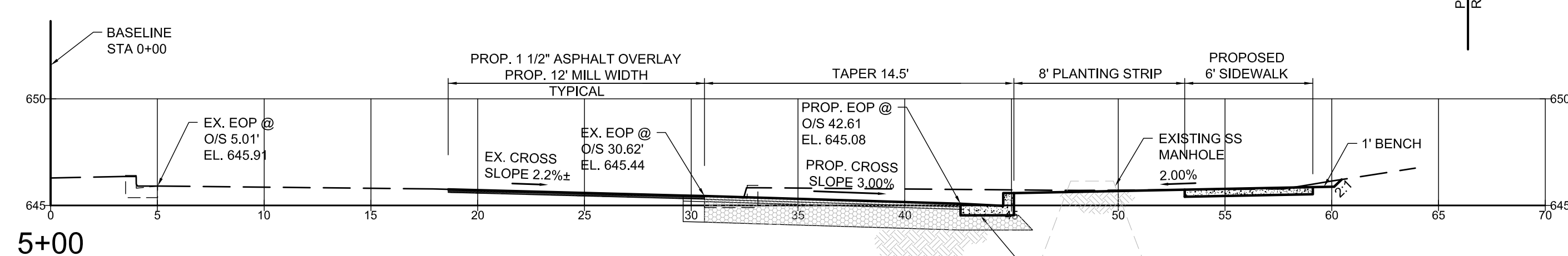
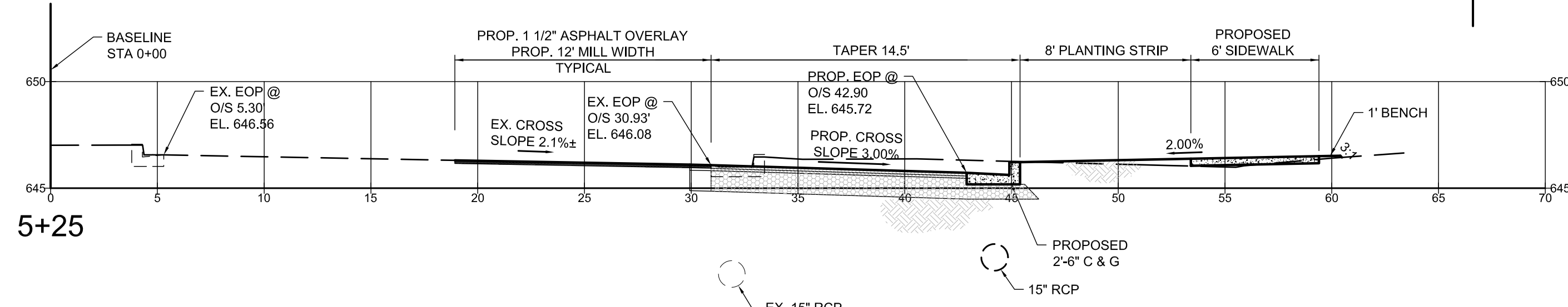
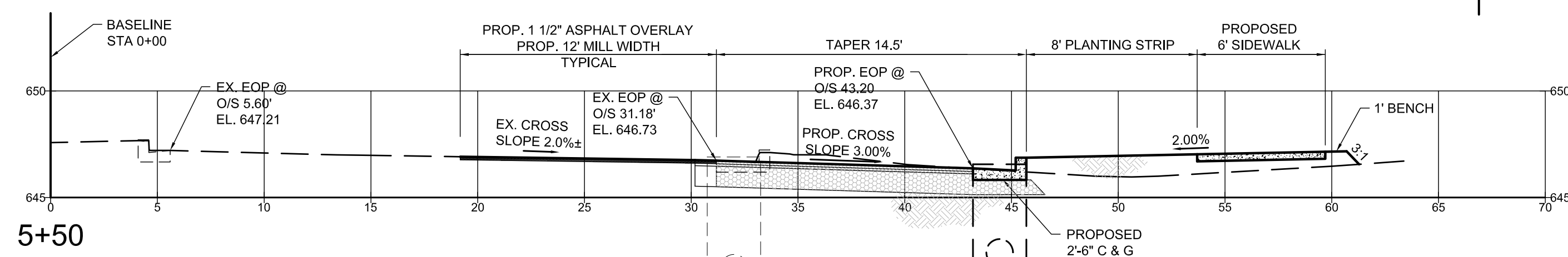
2 TRAFFIC CONTROL TYPICAL SECTION
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3 BACKFILL DETAIL
NOT TO SCALE



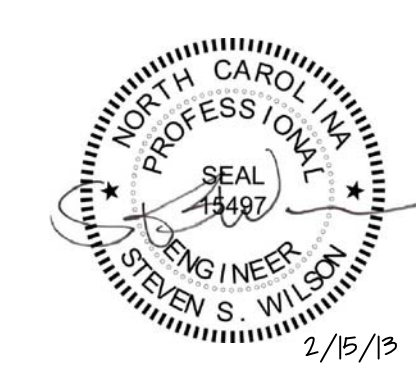
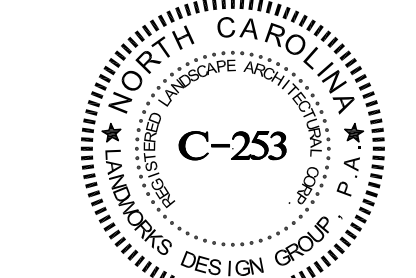
4 S. TRYON STREET (NC HWY 49) - MAJOR THOROUGHFARE
NOT TO SCALE (TYPICAL SECTION FOR WIDENING ON ONE SIDE OF ROAD - SEE PLAN FOR LOCATION)
DESIGN SPEED = 50 MPH



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Approved:
APPROVED: Initials
DATE:

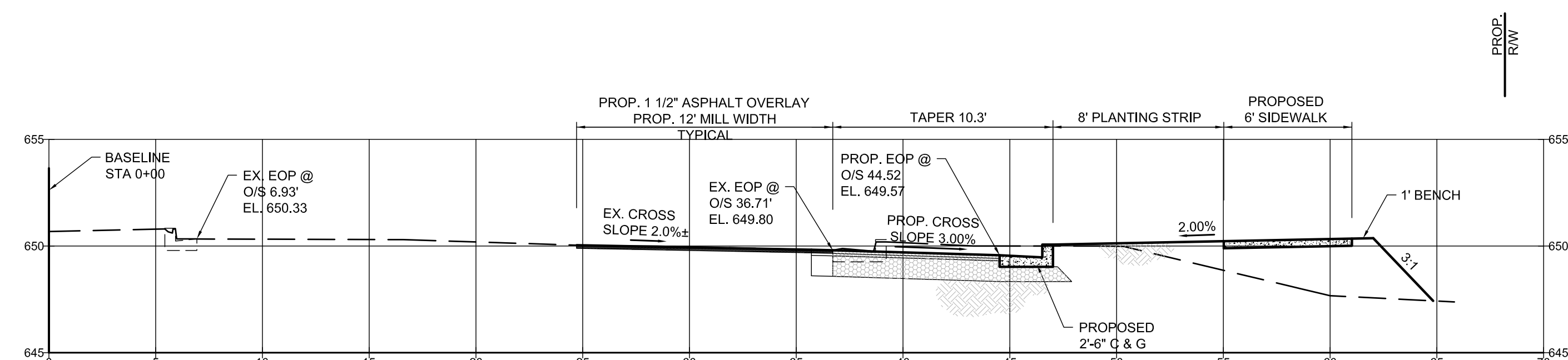
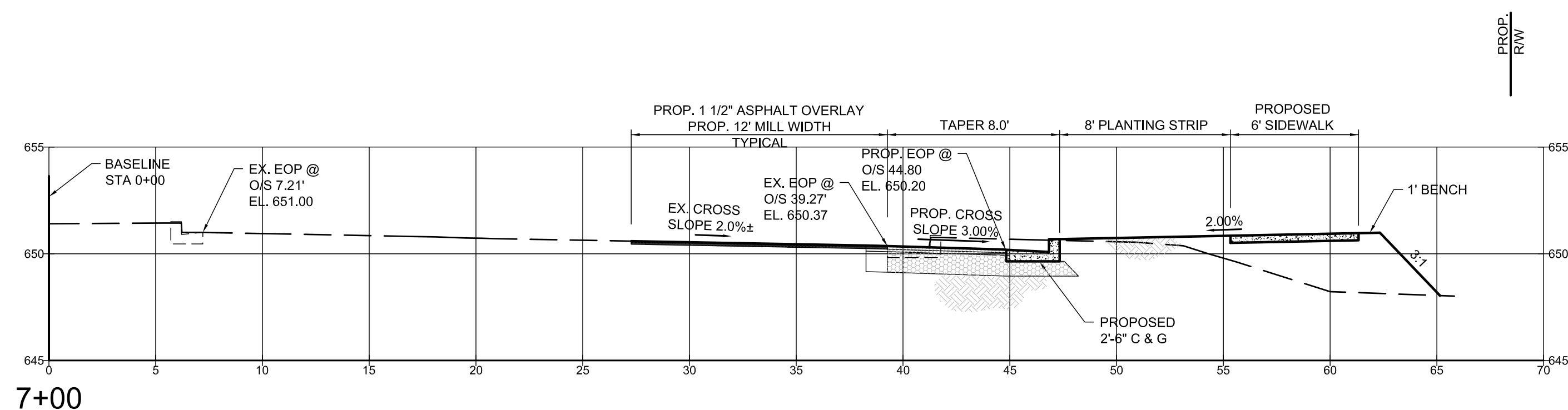
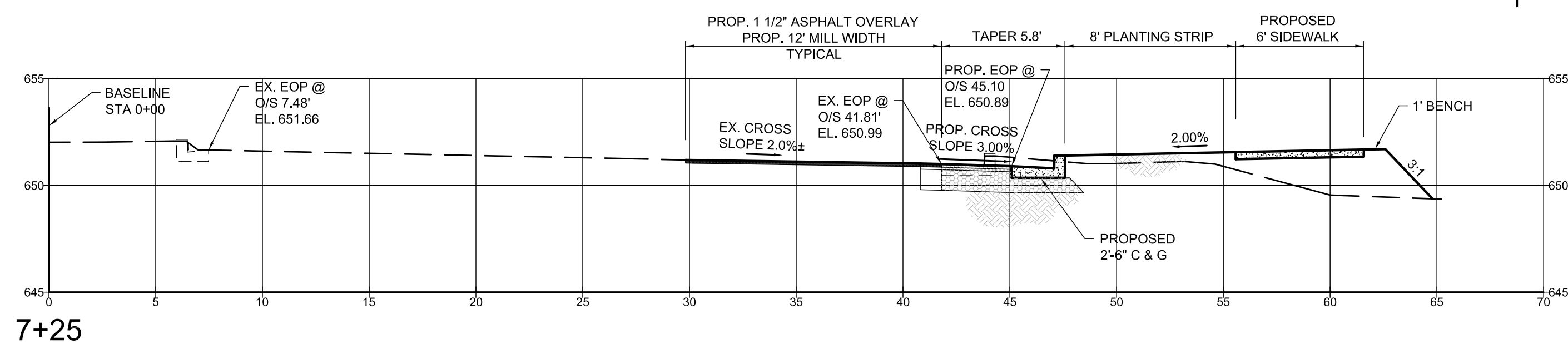
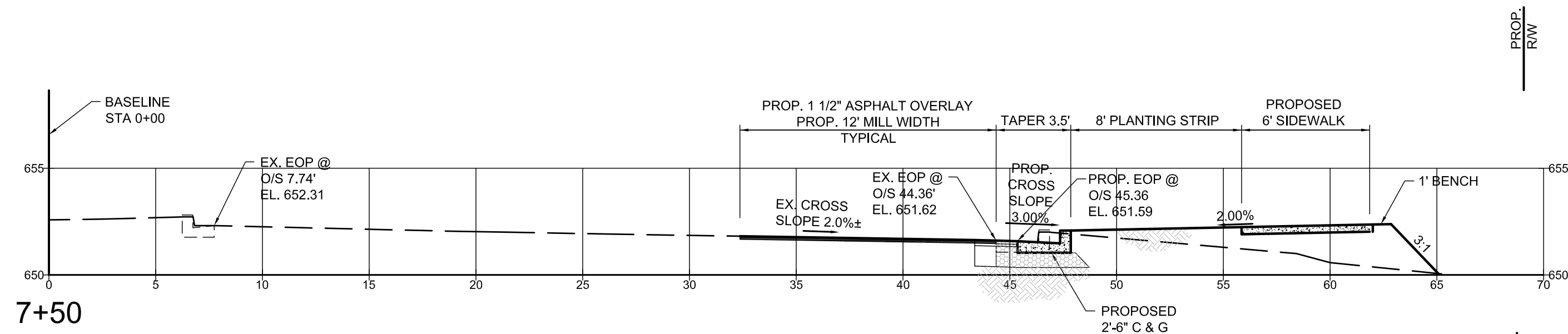
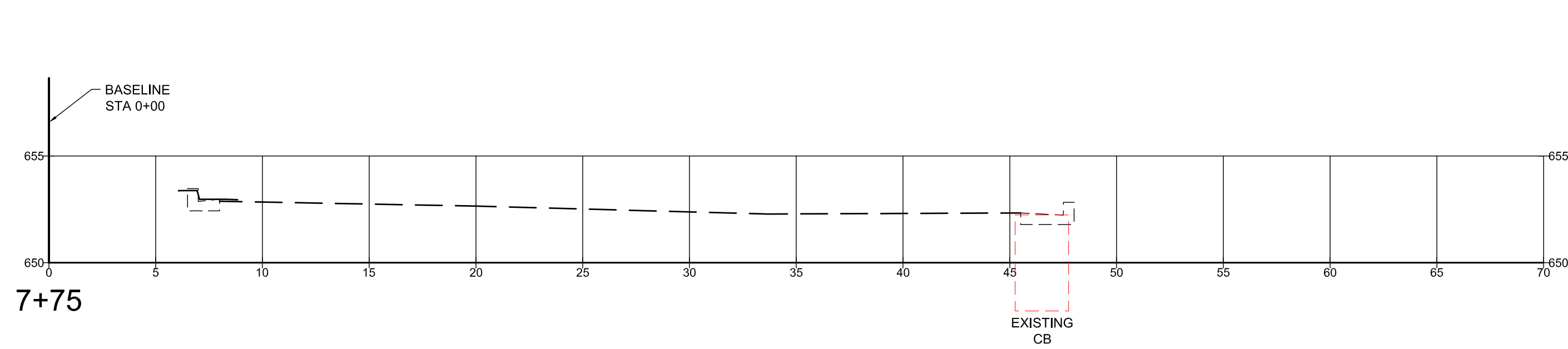
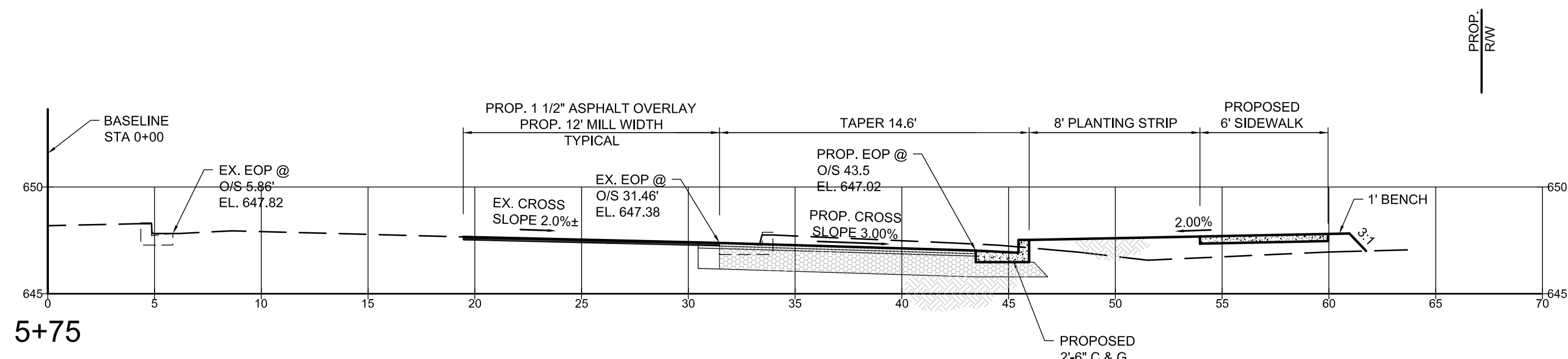
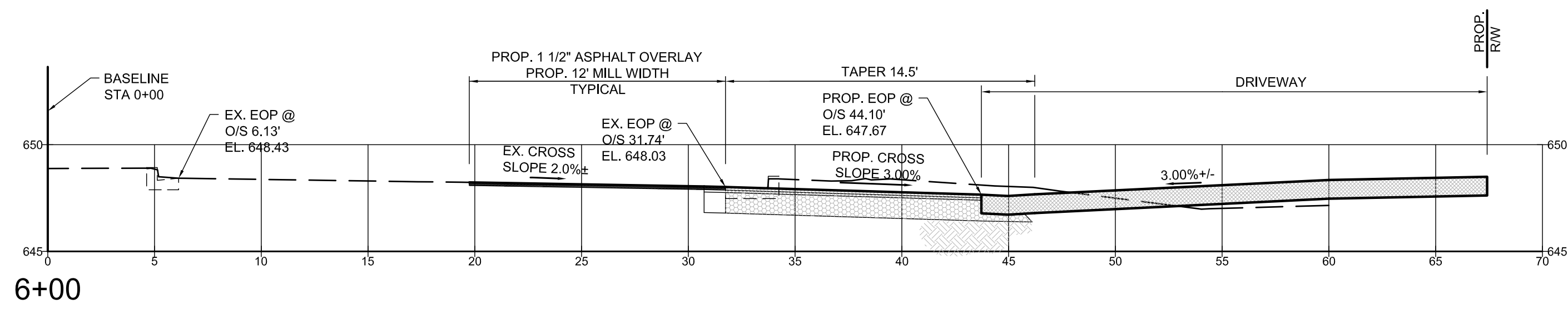
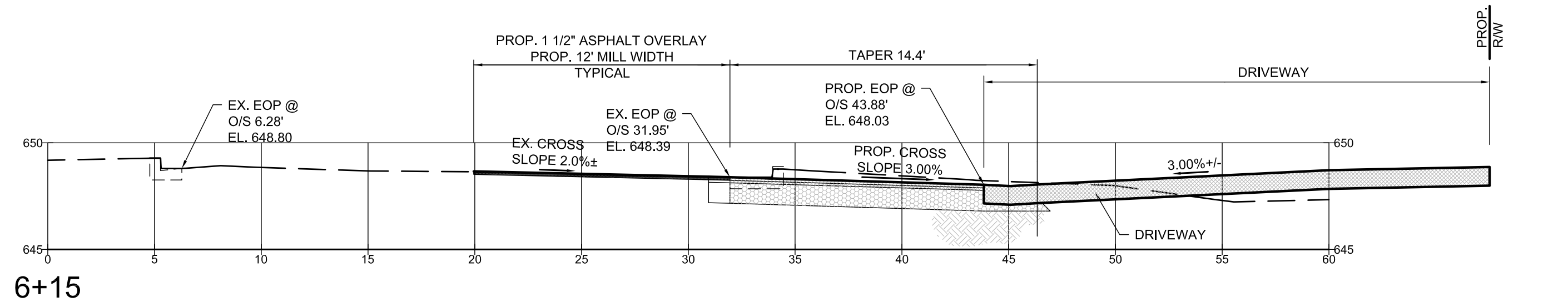
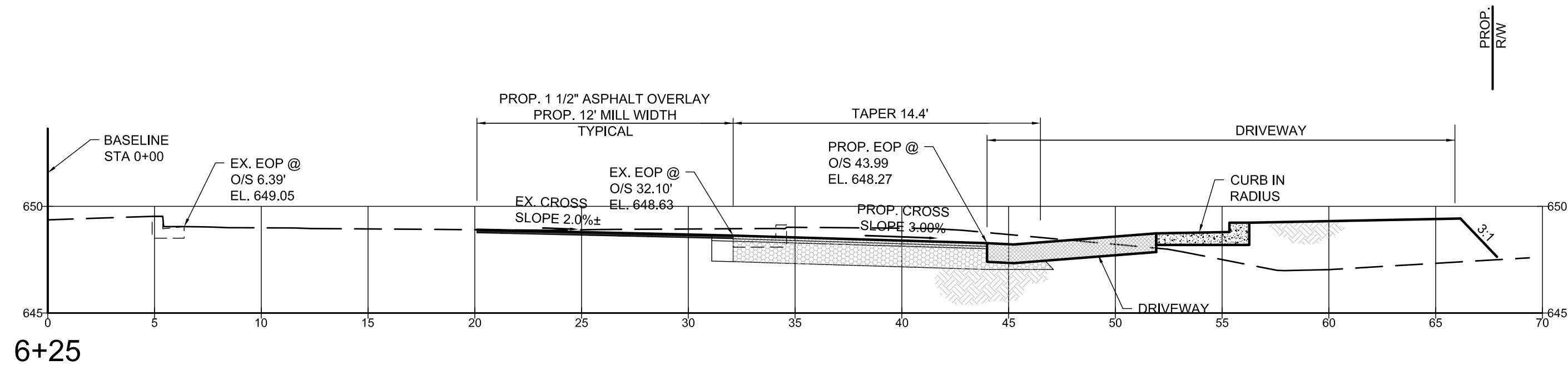
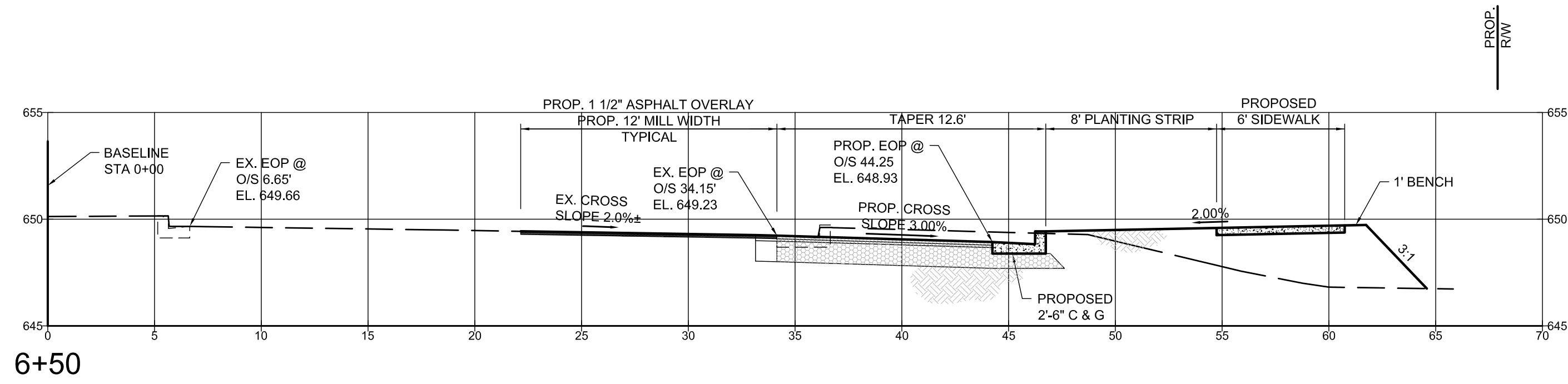
REVISIONS:			
No.	Date	By	Description
1.	4/2/13	JMD	REVISED PER NCDOT COMMENTS

seals

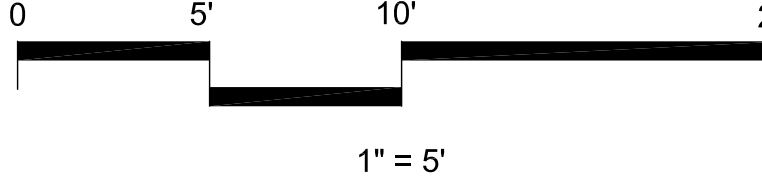


Project Manager: MDL
Drawn By: JMD
Checked By: SSW
Date: 2/15/13
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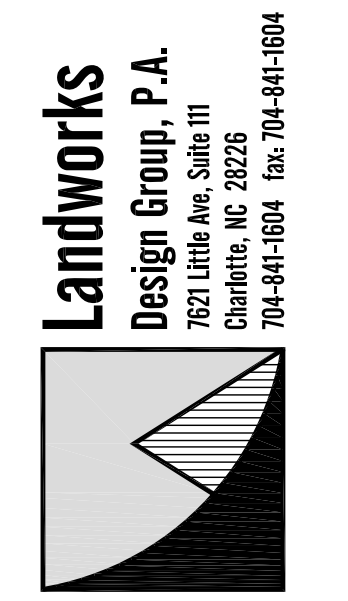
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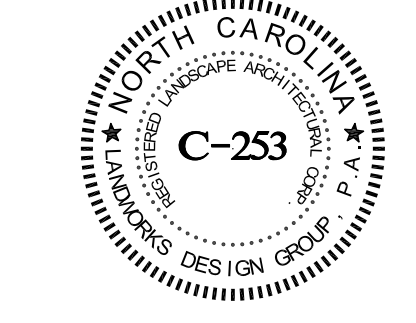
REVISIONS:			
No.	Date	By	Description



QUEEN CITY MANOR
ASSISTED LIVING FACILITY
13600 S. TRYON ST. CHARLOTTE, NC
DEVELOPER: QUEEN CITY HEALTH INVESTORS, LLC

S. TRYON
STREET IMP.
CROSS
SECTIONS

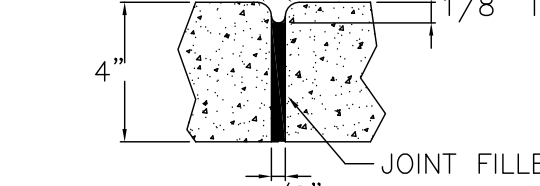
seals



Project Manager: MDL
Drawn By: JMD
Checked By: SSW
Date: 2/15/13
Project Number: 12011
Sheet Number:

L-403

6. ALGEBRAIC DIFFERENCE IN GRADE ("A") BETWEEN SLOPES SHALL BE 8% OR LESS.



GENERAL NOTES:

1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI. IN 28 DAYS.
2. SEE SITE PLAN FOR SIDEWALK WIDTHS.
3. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 7' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT INTERVALS NOT TO EXCEED 50'. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

CLDSM # 10.5 E

* FOUR (4) FOOT GUTTER AND WINGS WILL NOT BE REQUIRED TO DIRECT WATER ACROSS DRIVE IF THE DRIVEWAY GUTTER SLOPE IS GREATER THAN 2%.



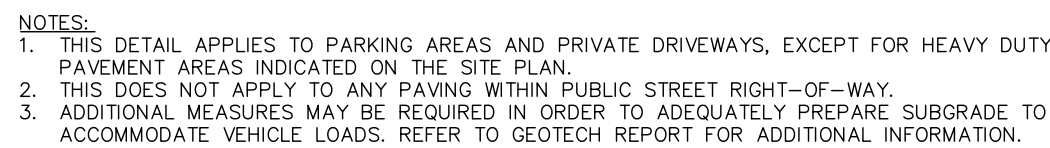
CLDSM # 10.28



CLDSM # 10.17 A & B



SCALE: NTS



SCALE: NTS



SCALE: NTS

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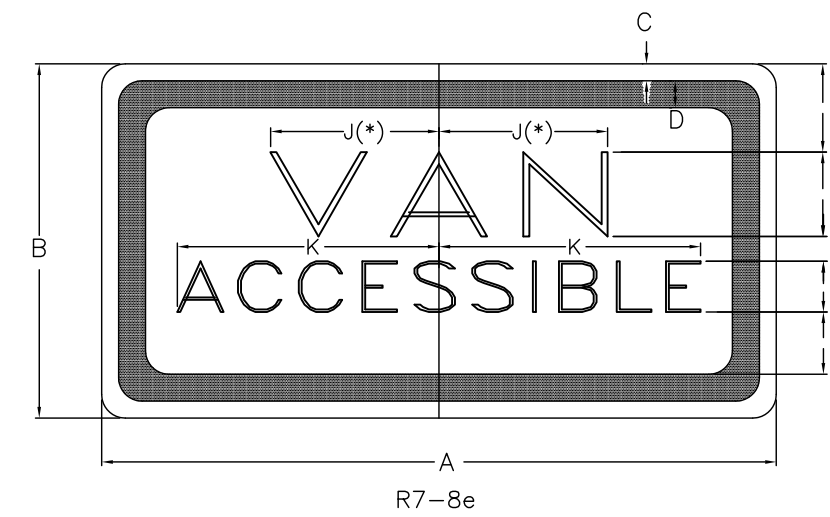
DATE: _____

ACCESSIBLE PARKING REQUIREMENTS		
TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

SECTION 4.1.2 (5) OF THE AMERICANS WITH DISABILITIES ACT (ADA). SEE 4.1.2(5) (d) FOR MEDICAL CARE FACILITIES

- NOTES:
- ALL 12" X 18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
 - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.

1 ACCESSIBLE PARKING AND SIGNAGE STANDARDS

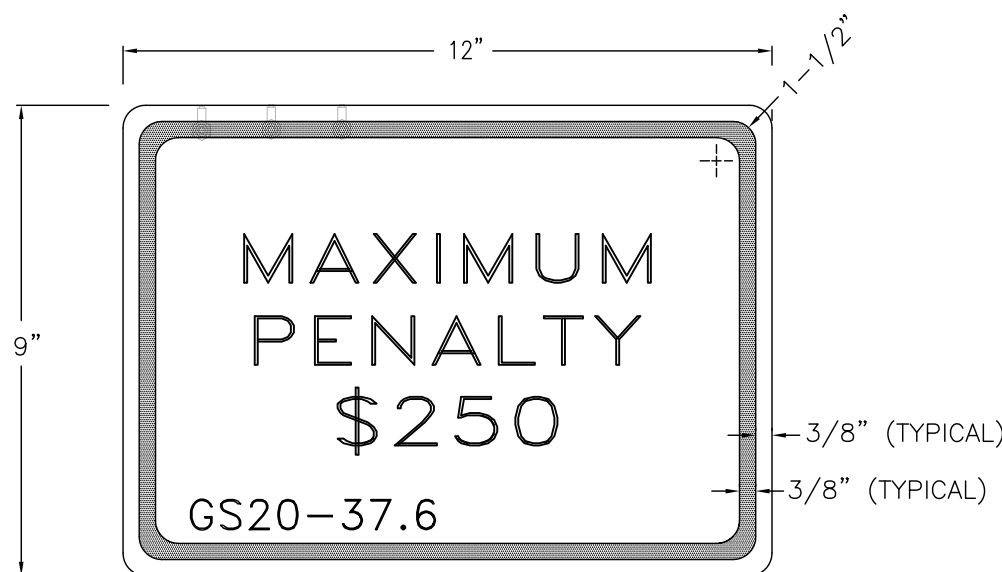


DIMENSIONS (INCHES)										
A	B	C	D	E	F	G	H	J	K	L
12	6	3/8	3/8	1-1/2	1-1/20	1/2	10	2-1/2	4	1-1/2

* INCREASE SPACING 50%
D-FHWA (FEDERAL HIGHWAY ADMINISTRATION/USDOT)
SERIES D LETTERS

LEGEND AND BORDER - GREEN
BACKGROUND - WHITE

2 SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)



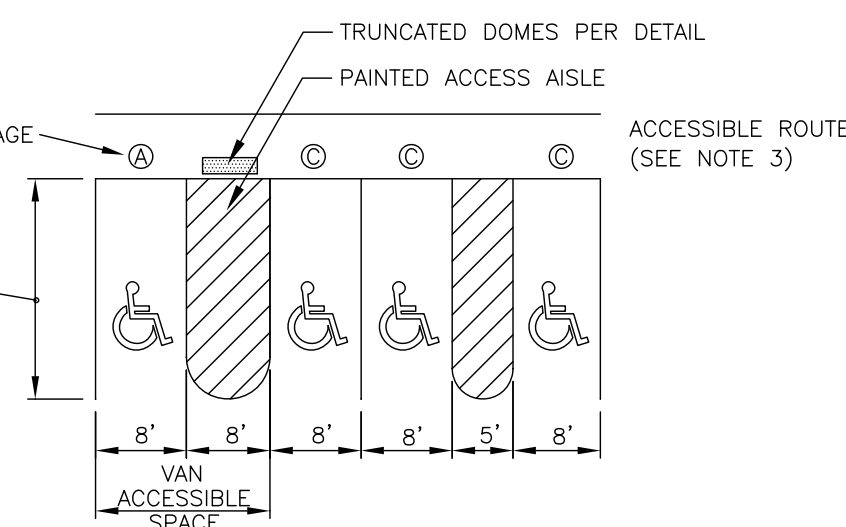
LEGEND AND BORDER - GREEN
BACKGROUND - WHITE

SIGN APPROVED FOR USE UNDER
GENERAL STATUTE 20-37.6

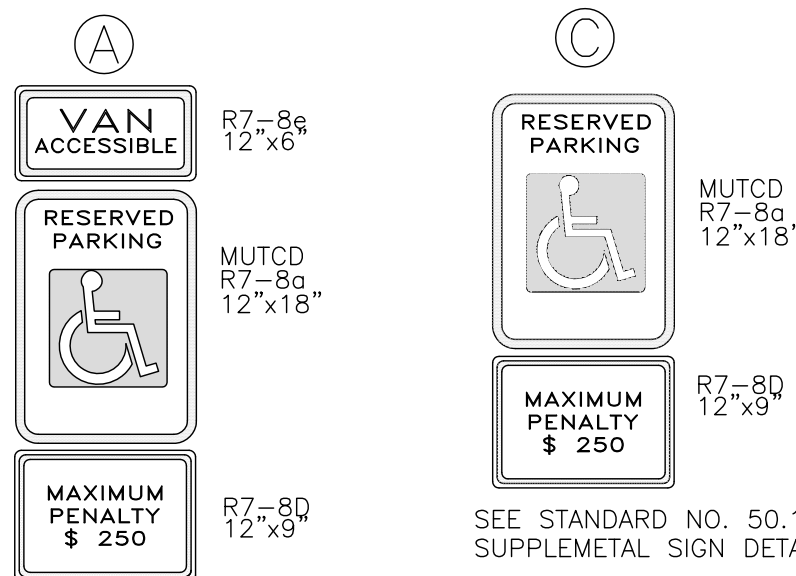
R7-8D PENALTY SIGNS ARE REQUIRED
TO ACCOMPANY ALL R7-8a PARKING
SIGNS, ERECTED AFTER DECEMBER
31, 1990

NOTE:
SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)
USED IF THERE IS ONLY ONE REQUIRED
ACCESSIBLE PARKING SPACE (MUST BE
VAN ACCESSIBLE) AND AT EACH
ADDITIONAL REQUIRED VAN ACCESSIBLE
SPACE. (SEE STD. NO. 50.10B)

3 SUPPLEMENTAL ACCESSIBLE SIGN (R7-8d)

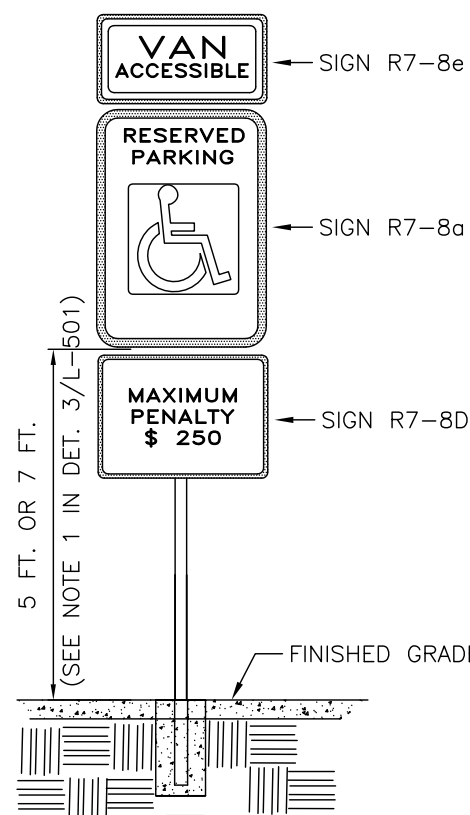


ONE OUT OF EVERY EIGHT (8) ACCESSIBLE SPACES, BUT
NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.
PARKING SPACE PAVEMENT MARKINGS



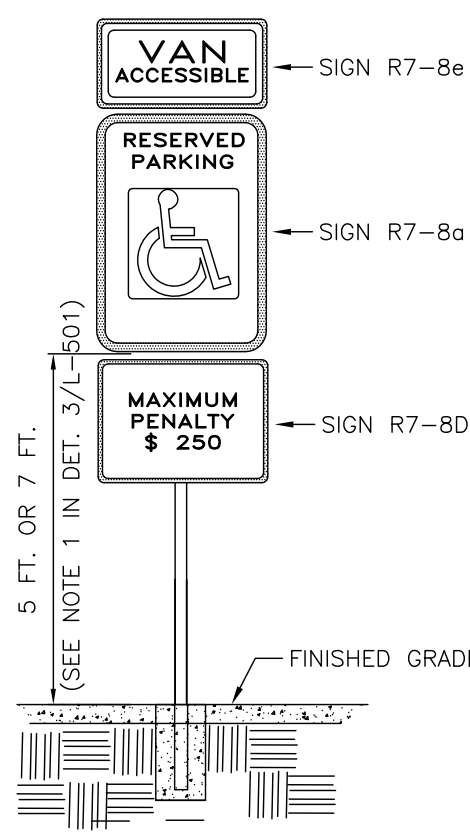
SEE STANDARD NO. 50.10B & 50.10C FOR
SUPPLEMENTAL SIGN DETAIL

CLDSM #50.10A

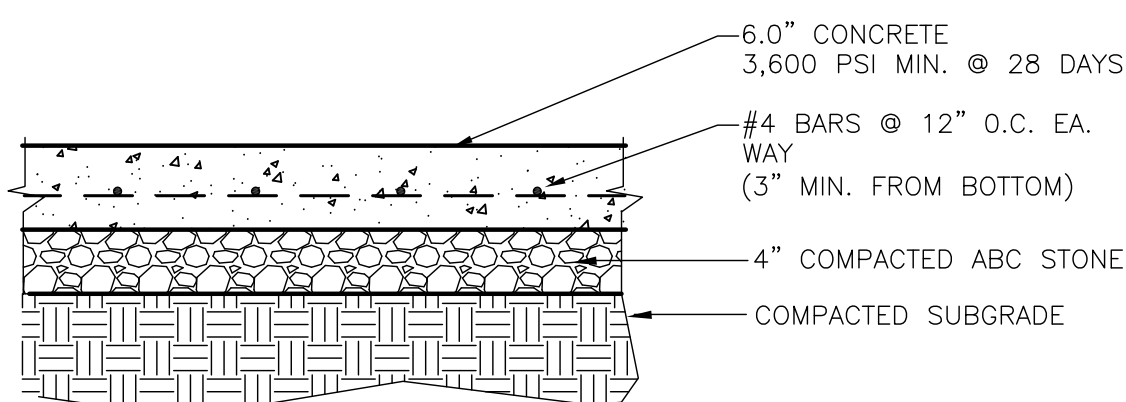


LEGEND AND BORDER - GREEN
BACKGROUND - WHITE

CLDSM #50.10B

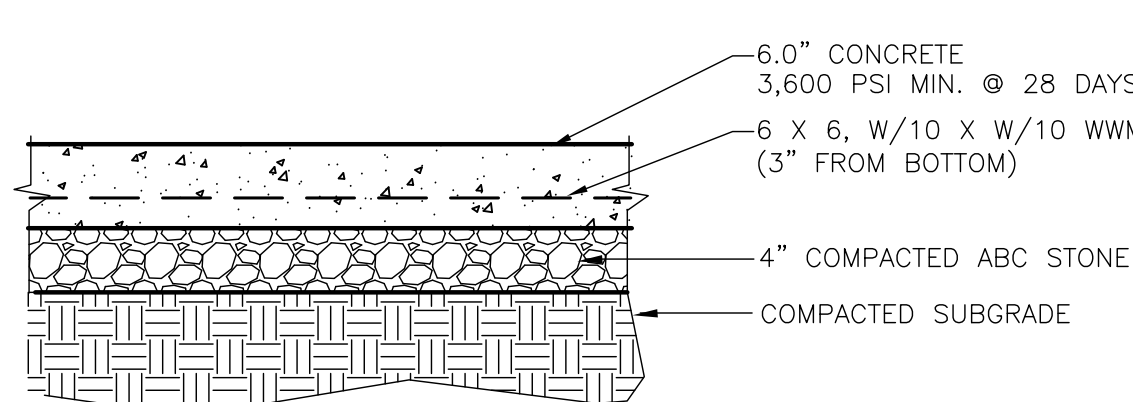


CLDSM #50.10C



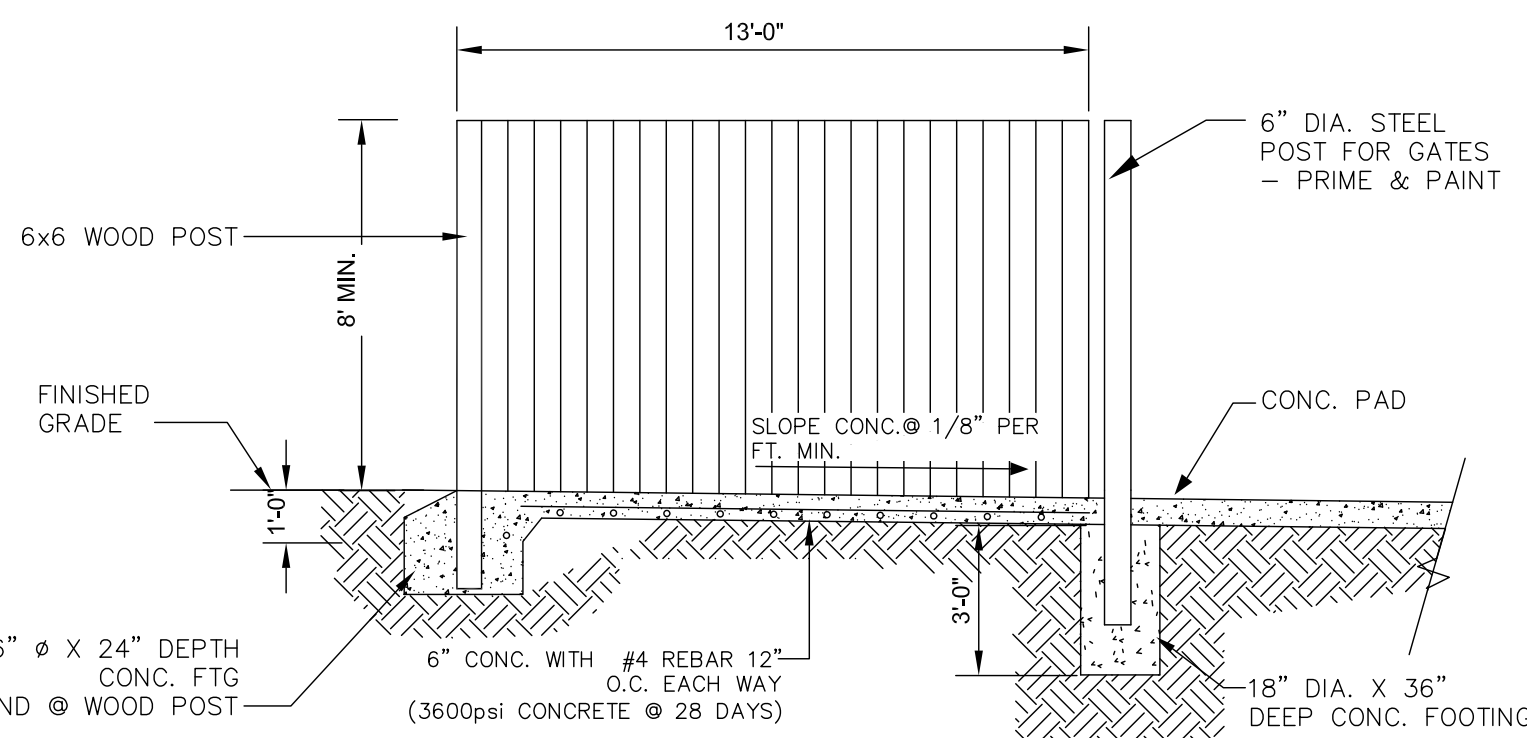
4 CONCRETE PAVEMENT - DUMPSTER PAD

SCALE: NTS



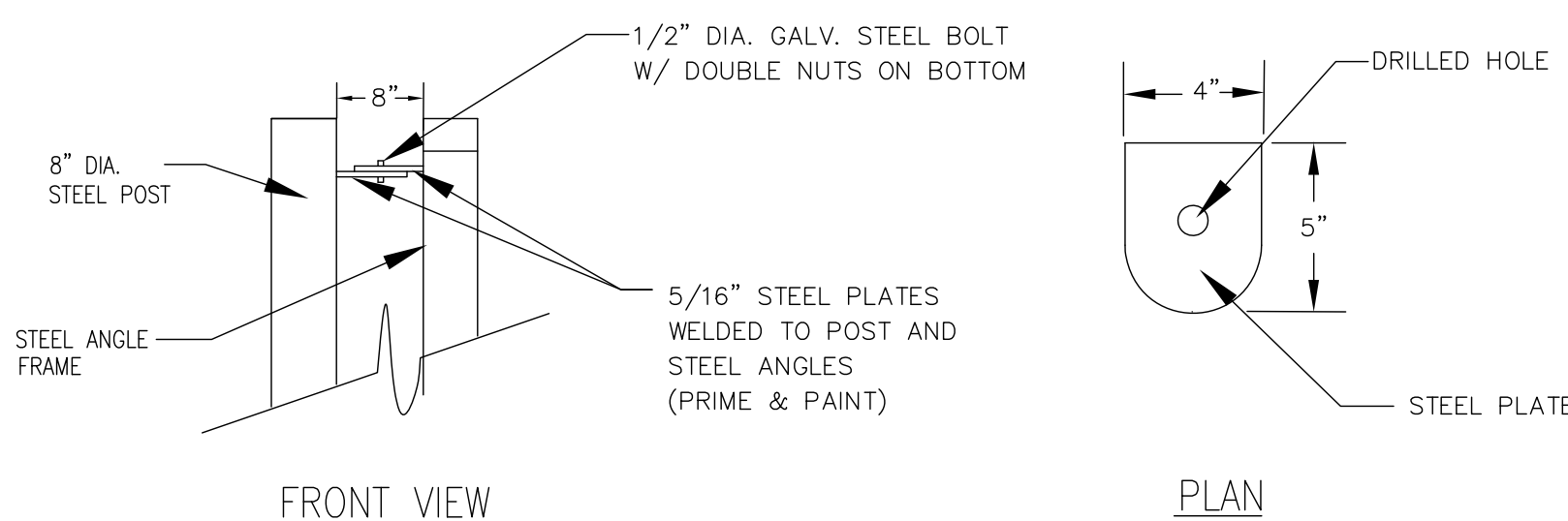
5 CONCRETE PAVEMENT - LOADING AREA

SCALE: NTS



SIDE VIEW OF ENCLOSURE

NOTE: DUMPSTER IS ENCLOSED ON TWO SIDES, PLUS
GATES (SEE PLANS FOR MORE INFORMATION).



HINGE DETAIL

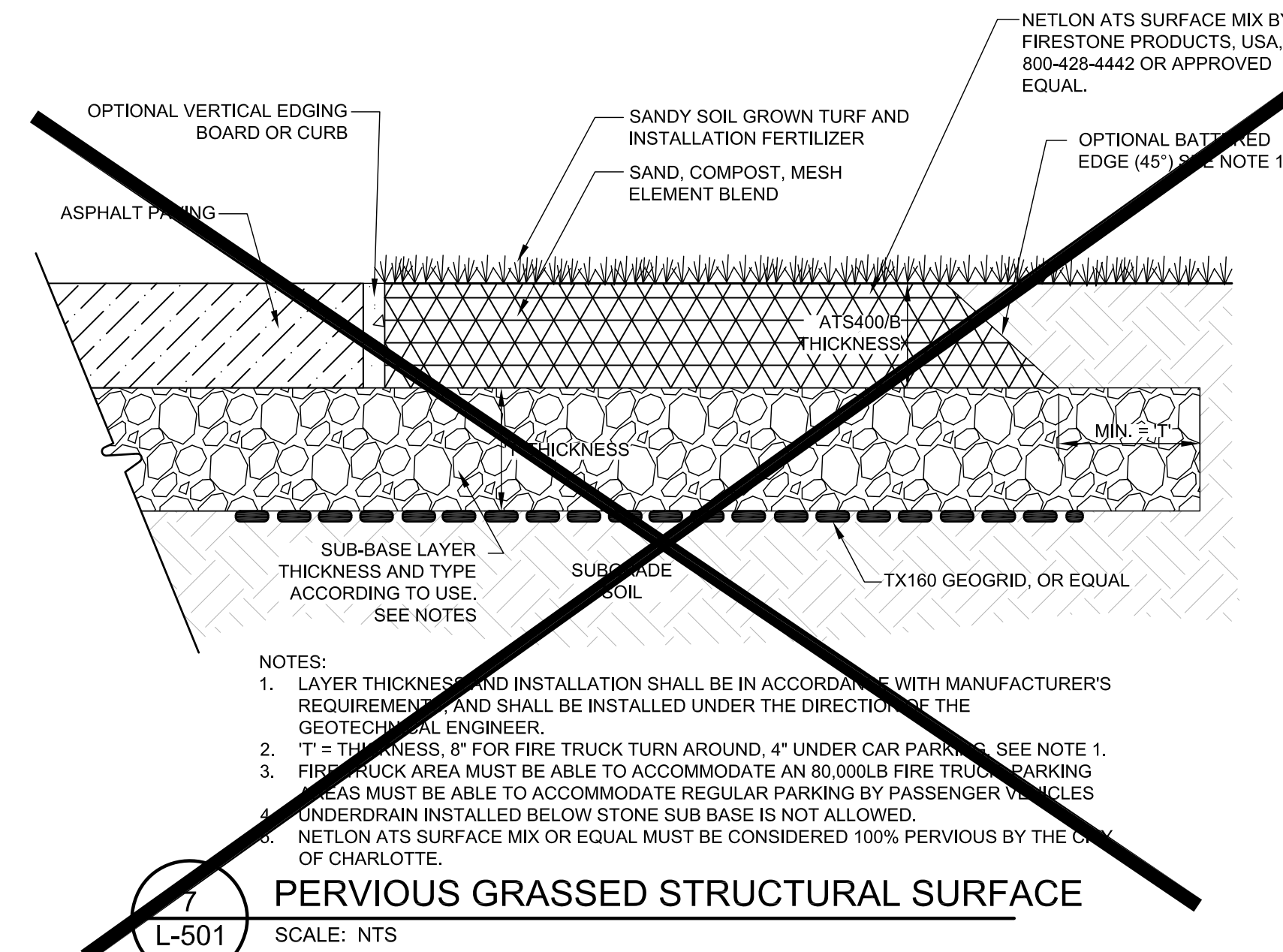
NOTE:

- CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR GATES TO LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL EXTERIOR WOOD SHALL BE PAINTED TO MATCH BUILDING COLOR.

FRONT VIEW

6 DUMPSTER ENCLOSURE WITH GATES

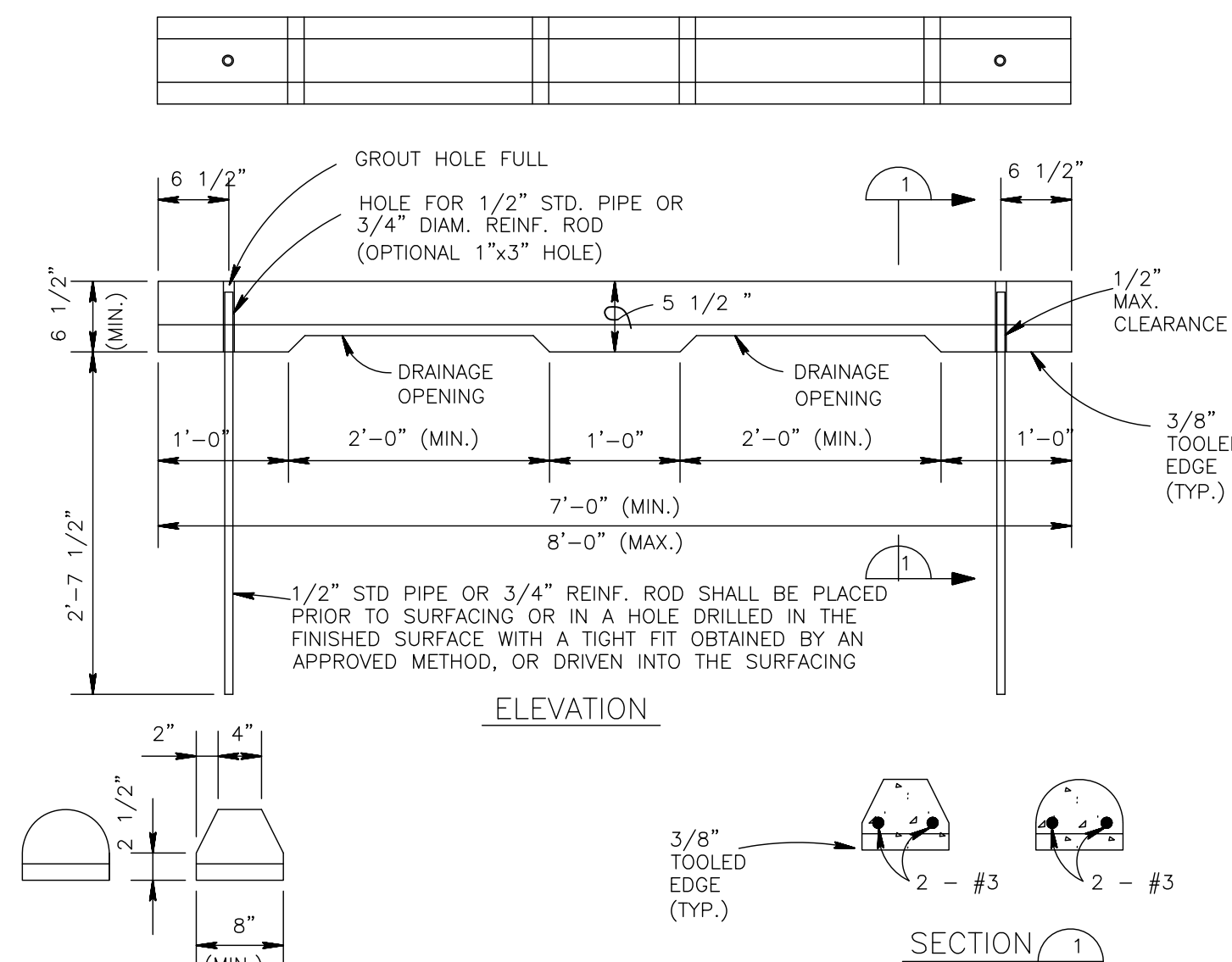
SCALE: NTS



- NOTES:
- LAYER THICKNESS AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND SHALL BE INSTALLED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
 - "T" = THICKNESS, 8" FOR FIRE TRUCK TURN AROUND, 4" UNDER CAR PARKING. SEE NOTE 1.
 - FIRE TRUCK AREA MUST BE ABLE TO ACCOMMODATE AN 80,000LB FIRE TRUCK PARKING. AREAS MUST BE ABLE TO ACCOMMODATE REGULAR PARKING BY PASSENGER VEHICLES. UNDERDRAIN INSTALLED BELOW STONE SUB-BASE IS NOT ALLOWED.
 - NETLON ATS SURFACE MIX OR EQUAL MUST BE CONSIDERED 100% PERVIOUS BY THE CITY OF CHARLOTTE.

PERVIOUS GRASSED STRUCTURAL SURFACE

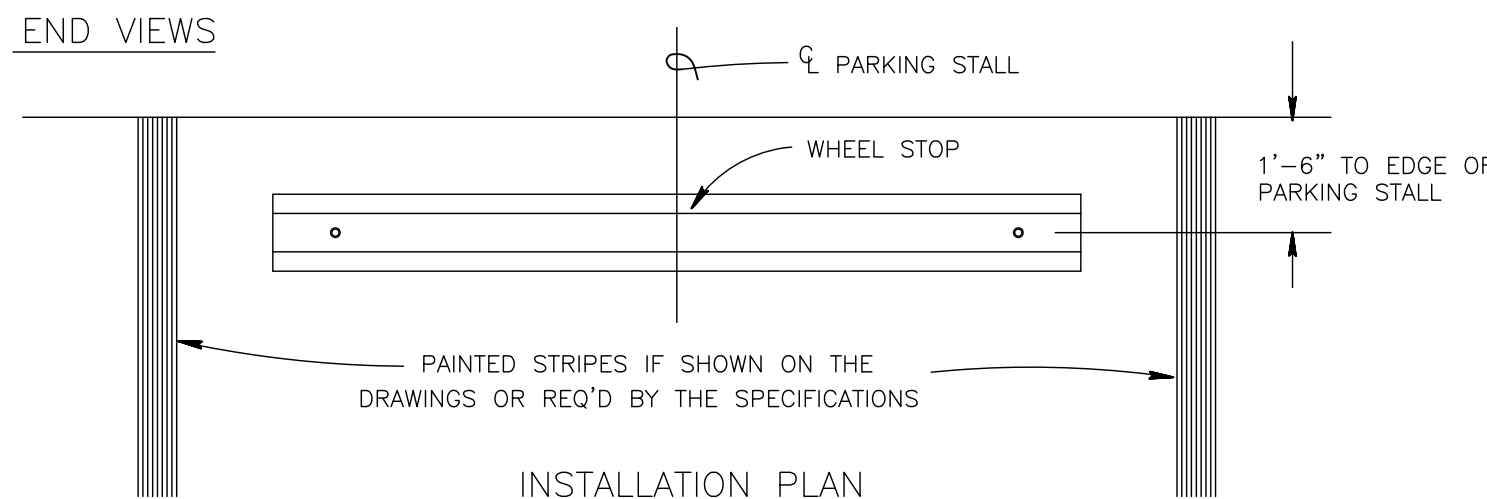
SCALE: NTS



ELEVATION

END VIEWS

SECTION 1



INSTALLATION PLAN

8 PRECAST CONCRETE WHEELSTOP

SCALE: NTS

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Initials
DATE:

REVISIONS:			
No.	Date	By	Description

DETAILS

seals



Project Manager:

MDL

Drawn By:

AMC

Checked By:

MDL

Date:

2/15/13

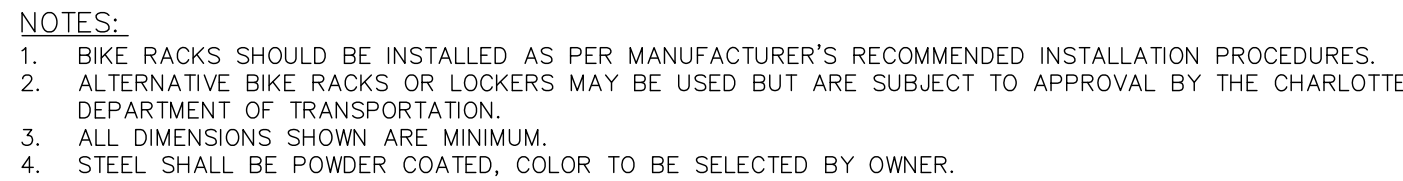
Project Number:

12011

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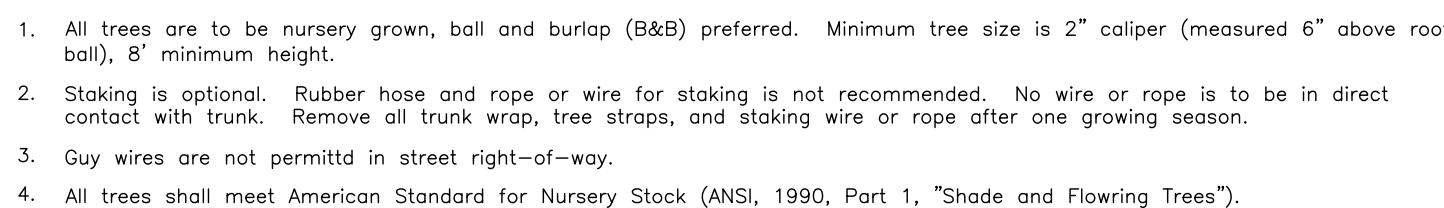
L-501

SHEET # 17 OF 20

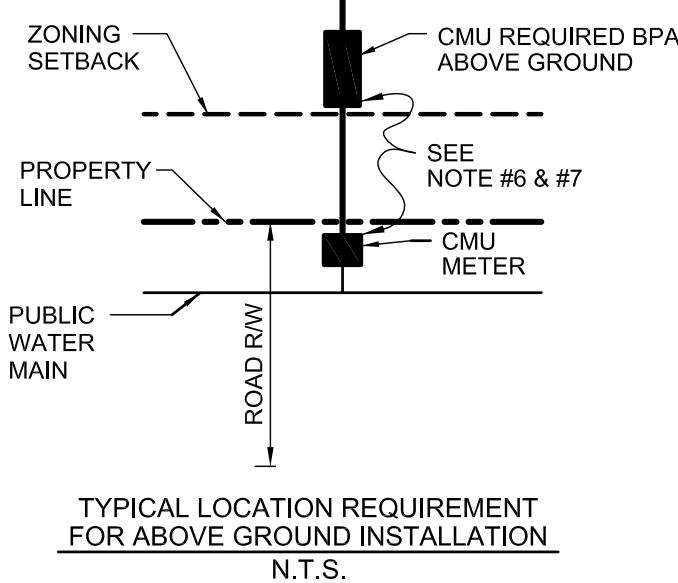


L-502 / SCALE: NTS CLDSM # 50.20

1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.



1-502 SCALE: NTS CLDSM # 40.01



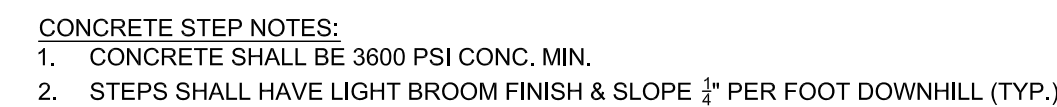
-502 CHARLOTTE-MECKLENBURG UTILITIES



1. BACKFLOW PREVENTION ASSEMBLIES (BPAs) SHALL CONFORM TO CMU SPECIFICATIONS. SHUT-OFF VALVES ARE SPECIFIC TO EACH APPROVED BPA AND NO SUBSTITUTIONS OF SHUT-OFF VALVES ARE PERMITTED. REFER TO CMU APPROVED LIST OF BPAs.
2. FIRE LINE SERVICES SHALL HAVE OUTSIDE STEM AND YOKE (OS & Y) HANDWHEEL OPERATORS. IF SERVING FIRE SPRINKLERS, TAMPER SWITCHES ARE REQUIRED.
3. PIPE MATERIALS AND FITTINGS SHALL BE AS SPECIFIED IN CMU STANDARDS SPECIFICATION. ALL JOINTS SHALL BE RESTRAINED WITH MEGALUG RESTRAINTS OR APPROVED EQUAL.
4. SUPPORT OF ASSEMBLY SHALL BE DESIGNED BY OWNER. 8" - 12" SHALL BE SUPPORTED AT EACH VALVE AND SHALL NOT BLOCK RELIEF VALVE OR MAIN PORT.
5. INSULATED ENCLOSURE SHALL BE AS SPECIFIED IN CMU ENCLOSURE INFORMATION. HEATED INSULATED ENCLOSURE ARE REQUIRED FOR FIRE LINE SERVICES. NO INSULATION SHALL BE WRAPPED AROUND BPA.
6. ALL LOCATIONS FOR BPAs REQUIRE CMU APPROVAL AND MUST BE OUTSIDE OF ZONING SET-BACK.
7. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER USER - OPERATING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CMU - REQUIRED BACKFLOW PREVENTER.
8. EACH CMU-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CMU - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.
9. ALL BACKFLOW PREVENTERS INTENDED FOR ADDRESSING CHARLOTTE-MECKLENBURG UTILITIES REQUIREMENTS, REQUIRE PRIOR APPROVAL FROM THE APPROVED CHARLOTTE-MECKLENBURG UTILITIES BACKFLOW INSPECTOR.



SCALE: NTS



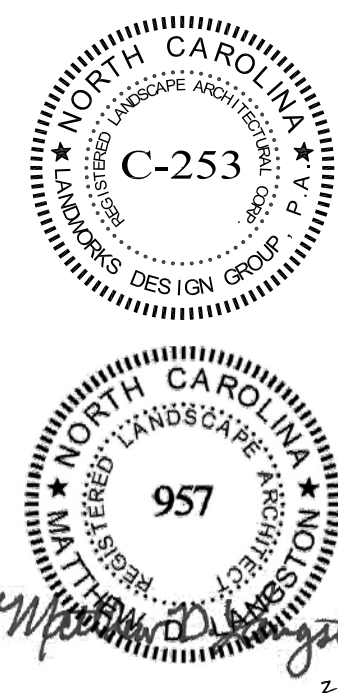
- HANDRAIL NOTES:
1. GRIND WELD JOINTS SMOOTH
 2. RAILING SHALL BE STEEL, HOT-DIP GALVANIZED AFTER FABRICATION, PRIMED AND PAINTED WITH TWO COATS OF SEMI-GLOSS ENAMEL, COLOR TO BE SELECTED BY THE LANDSCAPE ARCHITECT.
 3. ALL POSTS SHALL BE PLUMB TO THE GROUND.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR HANDRAIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION

SCALE: NOT TO SCALE

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Initials

DATE:

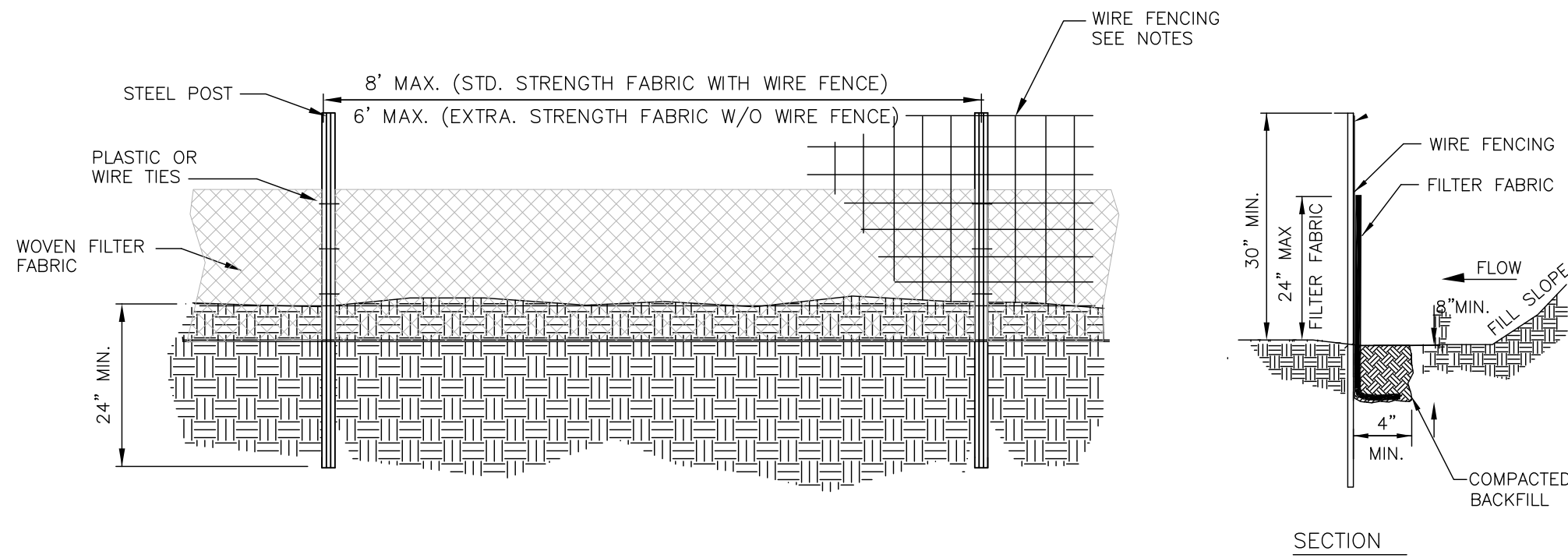
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Sheet Number:

SHEET 18 OF 20

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GENERAL NOTES:

1. FENCE MAY BE INSTALLED USING THE "SLICING METHOD", REFER TO THE NORTH CAROLINA EROSION & SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (NCESOPDM).
2. FILTER FABRIC PER SECTION 6.62 IN THE NCESOPDM.
3. FILTER FABRIC SHALL BE SECURELY FASTENED DIRECTLY TO POSTS USING WIRE OR PLASTIC ZIP TIES WITH A MINIMUM 50 LB TENSILE STRENGTH.
4. EXTRA STRENGTH FILTER FABRIC WITH 6" POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE.
5. STEEL POSTS SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND COMPLY WITH THE NCESOPDM.
6. TURN SILT FENCE UP SLOPE AT ENDS.
7. DRAINAGE AREA CANNOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
8. WIRE FENCING SHALL BE MIN. 14 GAGE WITH MAX. 6" OPENINGS.

MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE PROMPTLY REPLACED.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

1 TEMPORARY HIGH HAZARD SILT FENCE

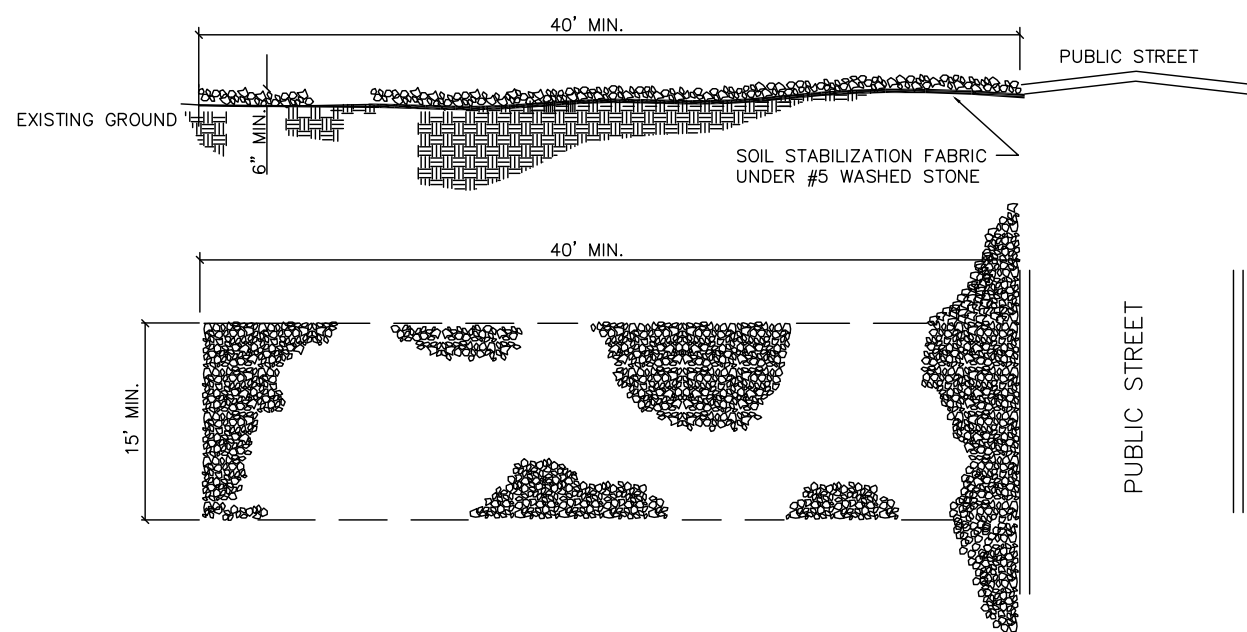
L-503

NOT TO SCALE

CLDSM #30.06B

NOTES:

1. A STABILIZED ENTRANCE PAD OF #5 WASHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS TO AN APPROVED SILT FENCE.



3 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

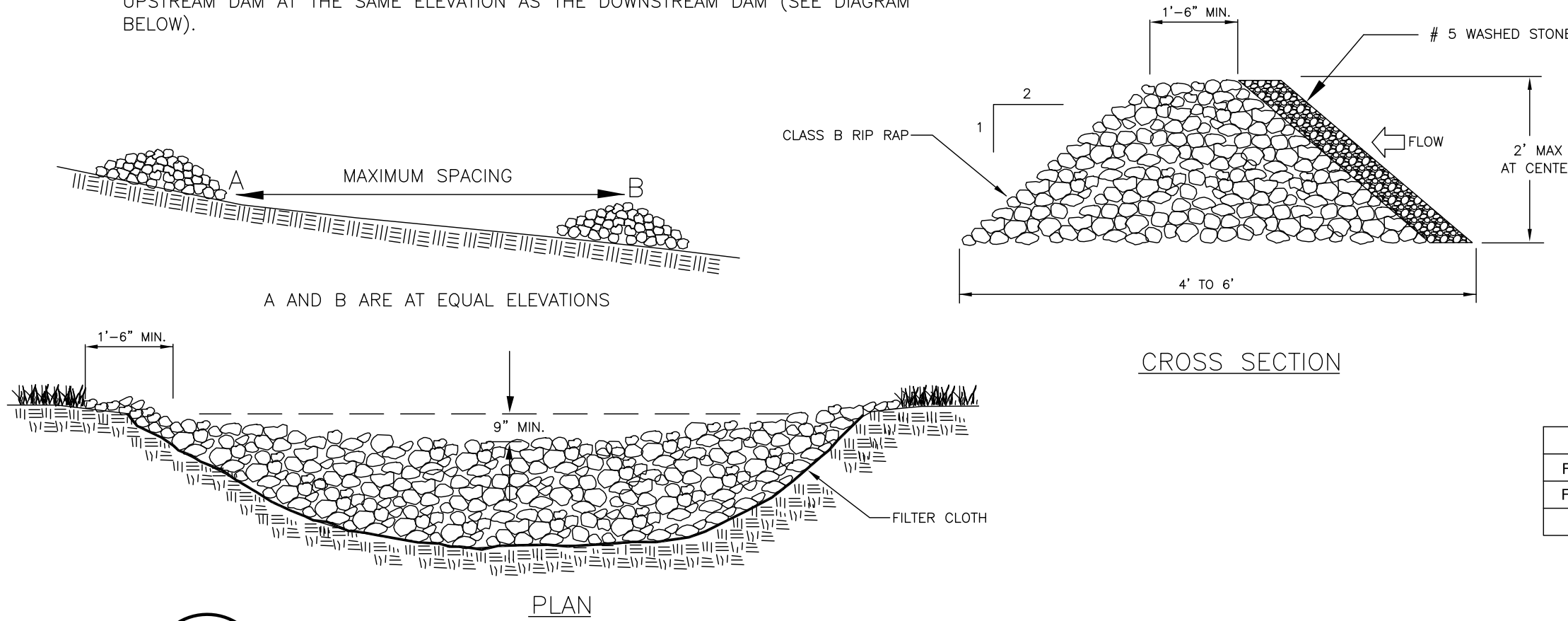
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NOT TO SCALE

CLDSM #30.11A

GENERAL NOTES:

1. RIPRAP SIZE TO BE DESIGNED BY ENGINEER.
2. CHECK DAMS MAY BE USED IN SLOPING DITCHES OR CHANNELS TO SLOW VELOCITY OR TO CREATE SEDIMENT TRAPS.
3. ENSURE THAT MAXIMUM SPACING BETWEEN DAMS PLACES THE TOE OF THE UPSTREAM DAM AT THE SAME ELEVATION AS THE DOWNSTREAM DAM (SEE DIAGRAM BELOW).

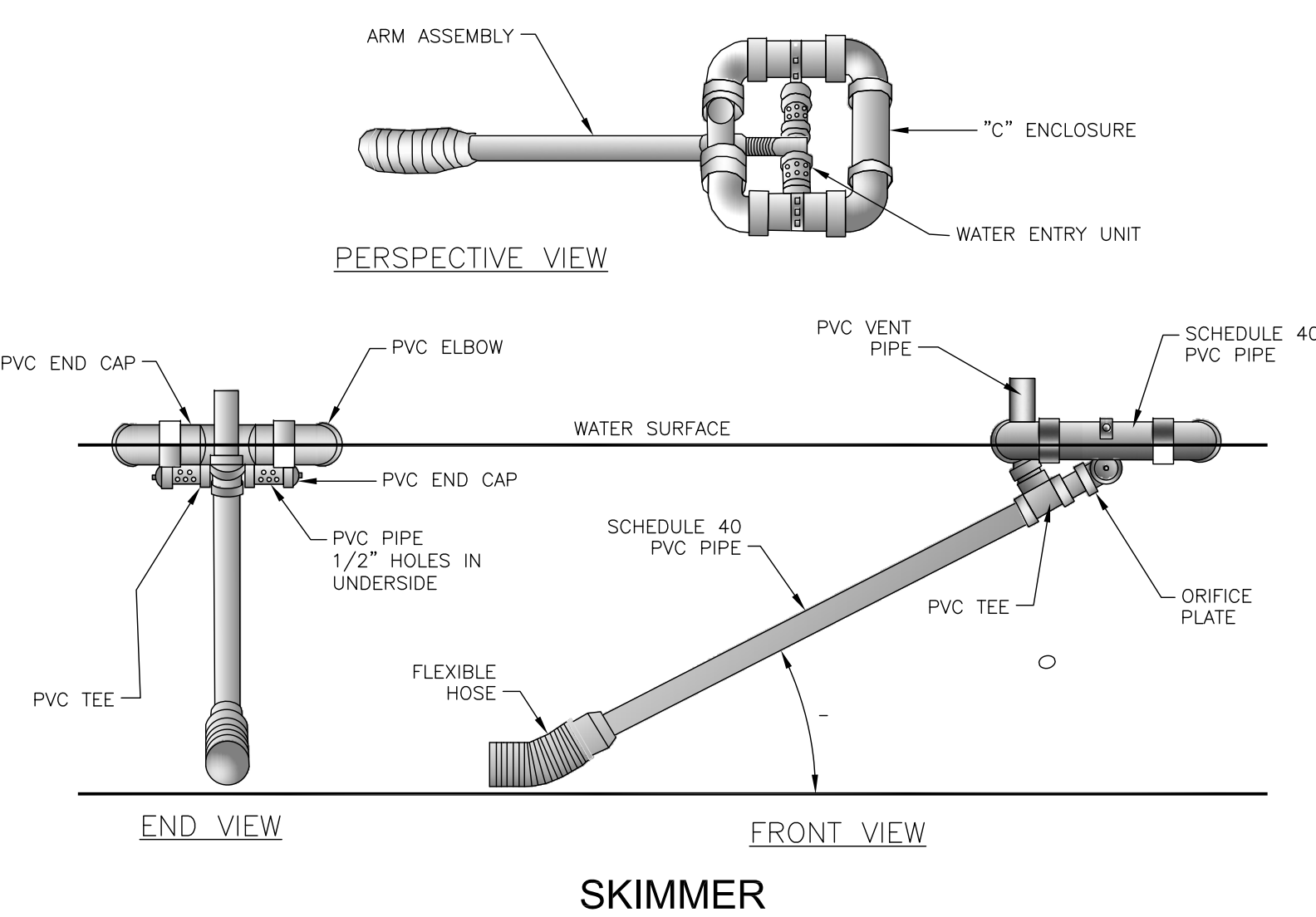


3 TEMPORARY ROCK CHECK DAM

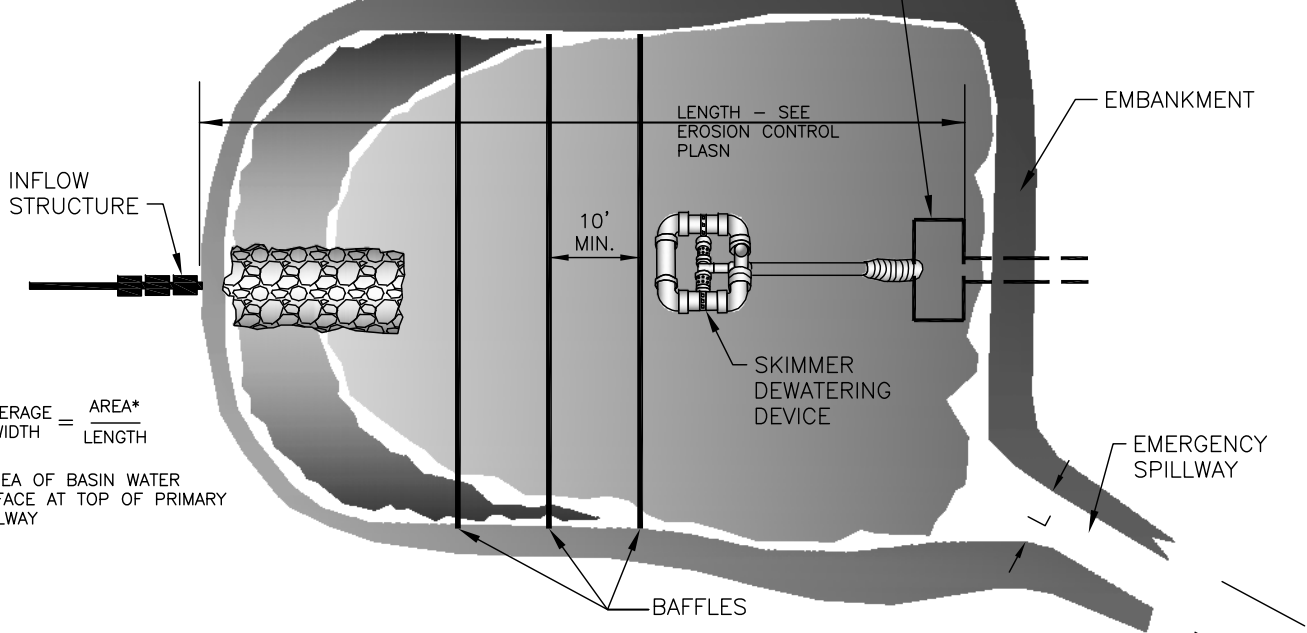
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SCALE: NTS

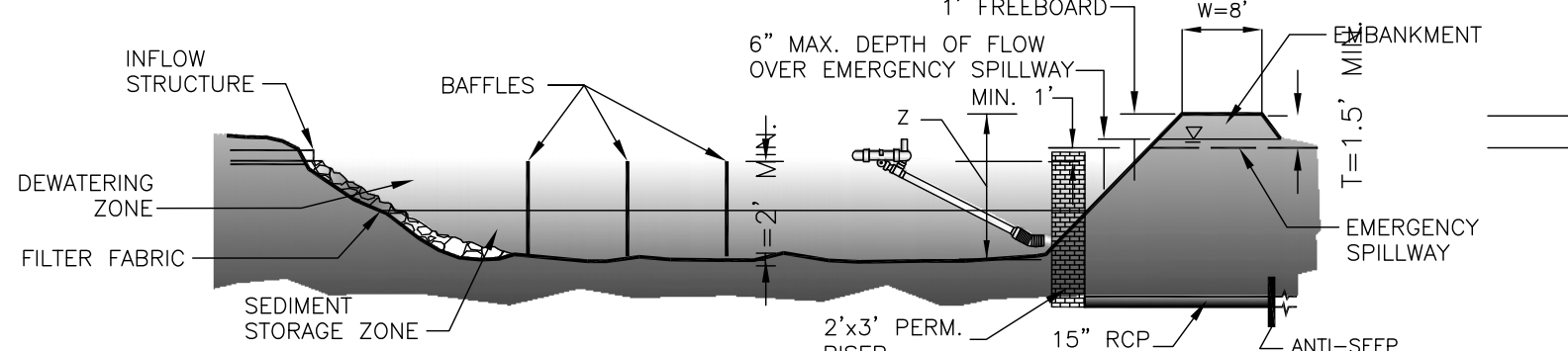
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PLAN VIEW



CROSS-SECTION VIEW



DATA BLOCK

BASIN	DRAINAGE AREA (ACRES)	DENURED AREA (ACRES)	Q10	BASIN VOLUME REQUIRED (CU YD)	BASIN SURFACE AREA REQUIRED (SQ FT)	CLEANOUT DEPTH (FT.)	H (FEET)	Z (FEET)	L (FEET)	T (FEET)	W (FEET)	SKIMMER PIPE DIAMETER	SKIMMER ORIFICE DIAMETER	RISER SIZE	BARREL SIZE
1	SEE EROSION CONTROL PLAN SHEET					1.5	3	6	20	1.8	8	2"	1"	36"	24"
2						1.9	3.7	5.6	20	1.5	8	3"	1.8"	4' X 4'	18"

NOTE: BARREL AND RISER FOR SKIMMER BASIN #2 ARE TO BE THE PERMANENT CONCRETE STRUCTURES

4 SKIMMER SEDIMENT BASIN

L-503

NOT TO SCALE

CLDSM #30.02 A&B

NOTES:

1. CLASS OR MEDIAN SIZE OF RIPRAP AND LENGTH, WIDTH AND DEPTH OF APRON TO BE DESIGNED BY THE ENGINEER.
2. REFER TO THE CHARLOTTE-MECKLENBURG STORM WATER DESIGN MANUAL FOR RIPRAP APRON DESIGN STANDARDS.
3. RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 2:1 AND A HEIGHT NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
4. THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
5. THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL: 5:1
6. ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
7. THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
8. NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
9. FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
10. ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.

USE USDA NOMOGRAPH FROM NC SEDIMENT AND EROSION CONTROL MANUAL OR CHARLOTTE-MECKLENBURG STORM WATER DESIGN MANUAL FOR DESIGN DATA.

OUTLET	La (ft)	W1(ft)	W2(ft)	H1(ft)	H2(ft)	Q10 (CFS)	PIPE DIAM	PIPE SLOPE %	VEL (FPS)
FES 44	16	19	10	18	24	21.7	30	0.50	6.9
FES 51	10	12	6	12	12	5.9	18	0.62	5.4
RB-1	10	12	6	12	12	12.6	24	0.50	3.8

ALL RIP RAP TO BE CLASS 1

* d50 (see fig 8.06 o&b "NC SEDIMENT AND EROSION CONTROL MANUAL")
dmax = 1.5 x d50
T = 1.5 x dmax

5 RIP RAP APRON AT PIPE OUTFALLS

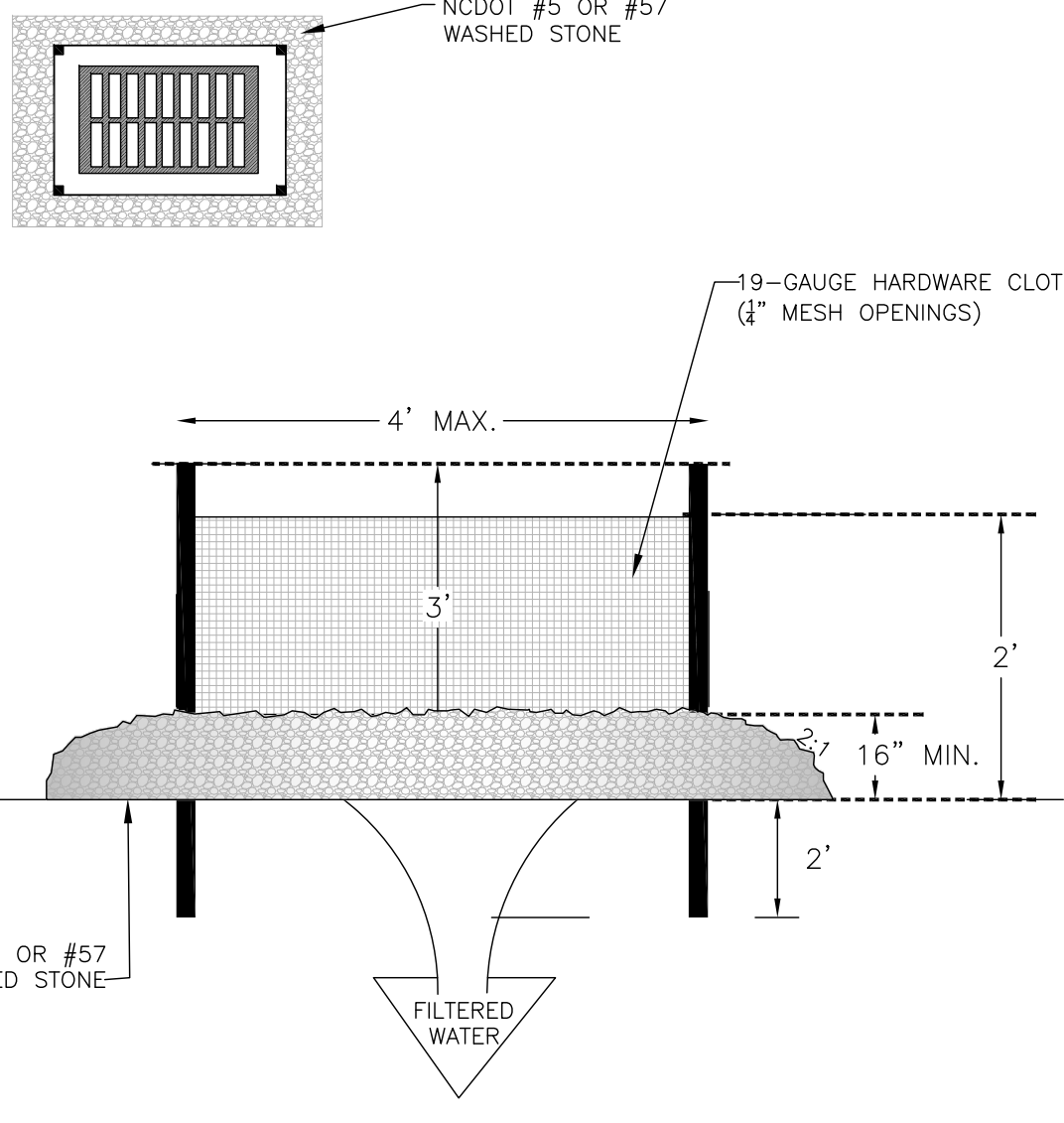
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NOT TO SCALE

CLDSM #20.23

GENERAL NOTES:

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2'-FOOT LAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.



6 HARDWARE CLOTH AND GRAVEL INLET PROTECTION

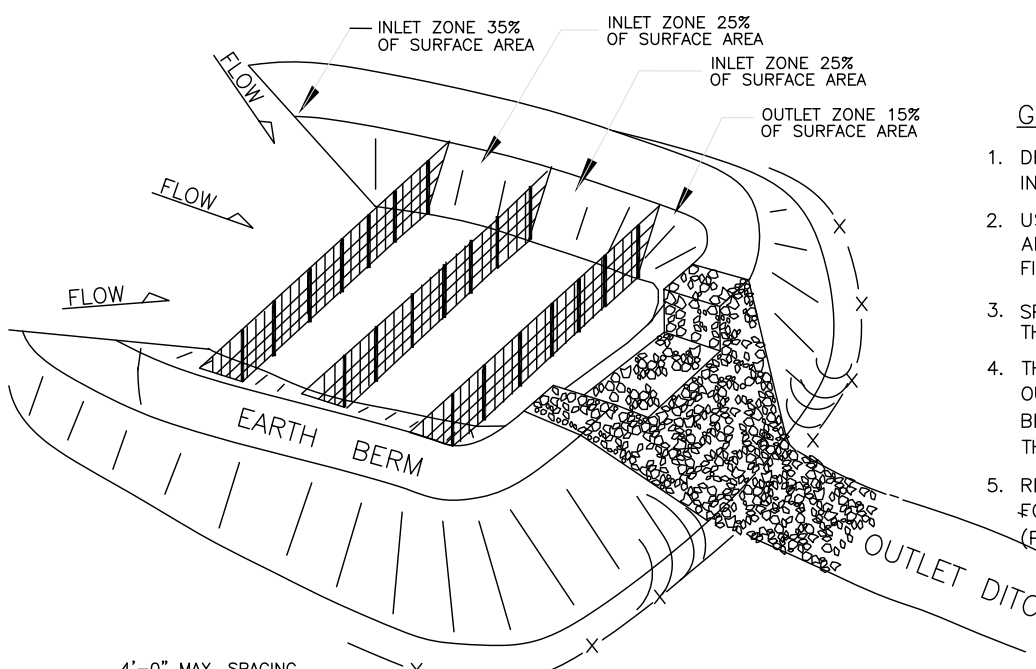
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CLDSM #30.09

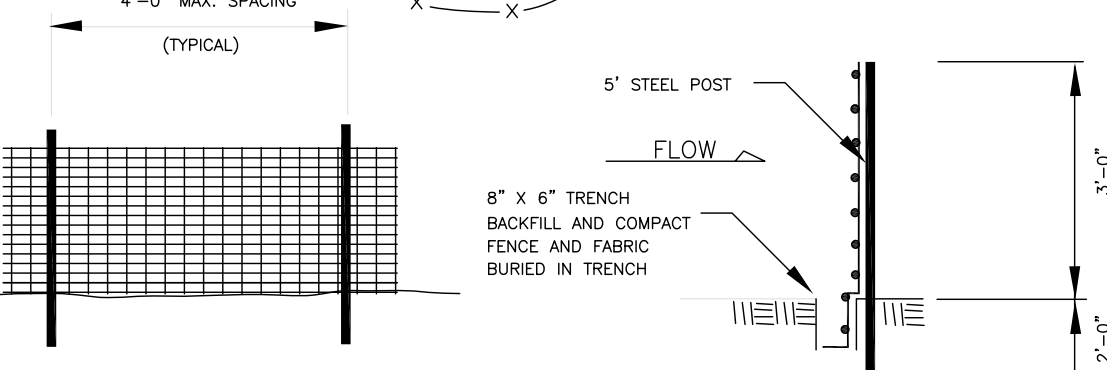
NOTES:

1. REFER TO NCESOPDM SECTION #6.64 FOR ADDITIONAL DESIGN SPECIFICATIONS REGARDING SKIMMER SEDIMENT BASINS.
2. REFER TO STD. #30.19 FOR BAFFLE SPACING AND INSTALLATION.



GENERAL NOTES:

1. DRIVE 5' STEEL POST AT LEAST 24" INTO SOLID GROUND.
2. USE STAPLES 1" APART HORIZONTALLY AND VERTICALLY TO ATTACH THE FILTER FABRIC TO THE WIRE FENCE.
3. SPACE THE BAFFLES ACCORDING TO THE APPROVED PLAN.
4. THE FLOOR OF THE BASIN IN THE OUTLET ZONE AND BERMS SHOULD BE SEEDED IMMEDIATELY AFTER THE BASIN IS CONSTRUCTED.
5. REFER TO DETAIL 6.65 OF NCESOPDM FOR ADDITIONAL SPECIFICATIONS (POROUS BAFFLES @ SEDIMENT BASIN)



7 BAFFLE INSTALLATION (AT SEDIMENT BASIN)

L-503

NOT TO SCALE

CLDSM #30.19

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL. THE BASIN AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE BEING CONSTRUCTED. SPILLWAYS SHOULD NOT BE CONSTRUCTED THROUGH FILL SECTIONS. ALL SPILLWAYS SHOULD BE LINES AND/OR RIPRAPPED.
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO DEPTH SHOWN ON STANDARD.
4. THE TRAP SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
5. CONSTRUCTION OPERATION SHALL BE CARRIED OUT IN SUCH A MANNER THAN EROSION AND WATER POLLUTION IS MINIMIZED.
6. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER, UNLESS CERTIFIED BY REGISTERED GEOTECHNICAL ENGINEER.
7. SEDIMENT BASIN EMBANKMENTS SHOULD BE PROVIDED WITH EROSION CONTROL AND STABILIZATION.
8. STORAGE AREA MAY BE CONSTRUCTED IN ANY SHAPE, PROVIDED THE MINIMUM STORAGE VOLUME REQUIREMENT IS MET. THE BASIN SHOULD ALSO BE ORIENTED SUCH THAT THE FILTER AND THE MAIN FLOW OF WATER AND SEDIMENT ARE ON OPPOSITE ENDS ON THE LONGER BASIN DIMENSIONS.
9. THE LENGTH OF THE STONE OUTLET (SPILLWAY) IS TO BE BASED ON A 10 YEAR STORM.
10. WHENEVER TOPOGRAPHY ALLOWS, THE BASIN LENGTH SHOULD BE TWICE (2X) THE BASIN WIDTH, TO ALLOW FOR SETTLING.BAFFLES SHALL BE INSTALLED IN ALL BASINS.
11. CLEANOUT STAKES SHALL BE PLACED IN ALL SEDIMENT BASINS AT THE LOW POINT IN THE BASIN. THE STAKES SHALL BE MARKED SHOWING THE HALF FULL, CLEANOUT POINT, OF THE BASIN.
12. SAFETY FENCING 3' HIGH SHOULD BE PLACED AROUND ALL SEDIMENT BASINS.
13. FOR DESIGN OF SEDIMENT BASINS, REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
14. FOR SLOPES GREATER THAN 10' IN LENGTH AND PROTECTED BY SILT FENCE AT THE TOE OF THE SLOPE, SLOPE TERRACING WILL BE REQUIRED.
15. THE BERM ON SEDIMENT BASINS SHALL BE SEEDED ONCE FINAL GRADE HAS BEEN REACHED. THE SILT FENCE MAY BE REMOVED IF PERMISSION HAS BEEN GRANTED BY THE CITY LAND DEVELOPMENT INSPECTOR AFTER THE GRASS HAS GERMINATED AND STABLE GROUND HAS BEEN ESTABLISHED.
16. WASHED STONE AND WIRE BACKING SHALL BE USED WITH SILT FENCE WHENEVER SILT FENCE IS PLACED AT THE TOE OF A SLOPE >10' VERTICAL OR ALONG ANY CHANNEL OR WATER COURSE WHERE 50' OF BUFFER IS NOT PROVIDED.

8 SEDIMENT BASINS - GENERAL NOTES

L-503

NOT TO SCALE

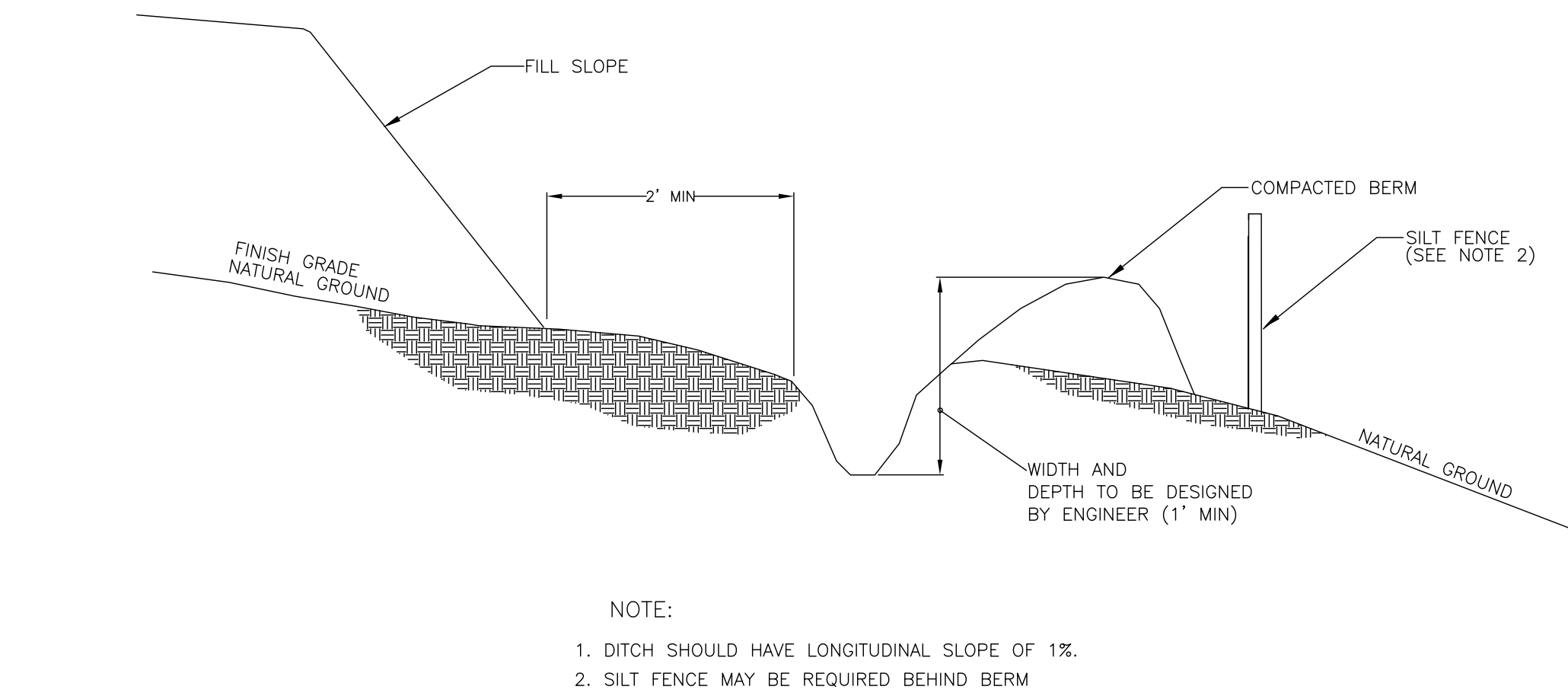
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REVISIONS:

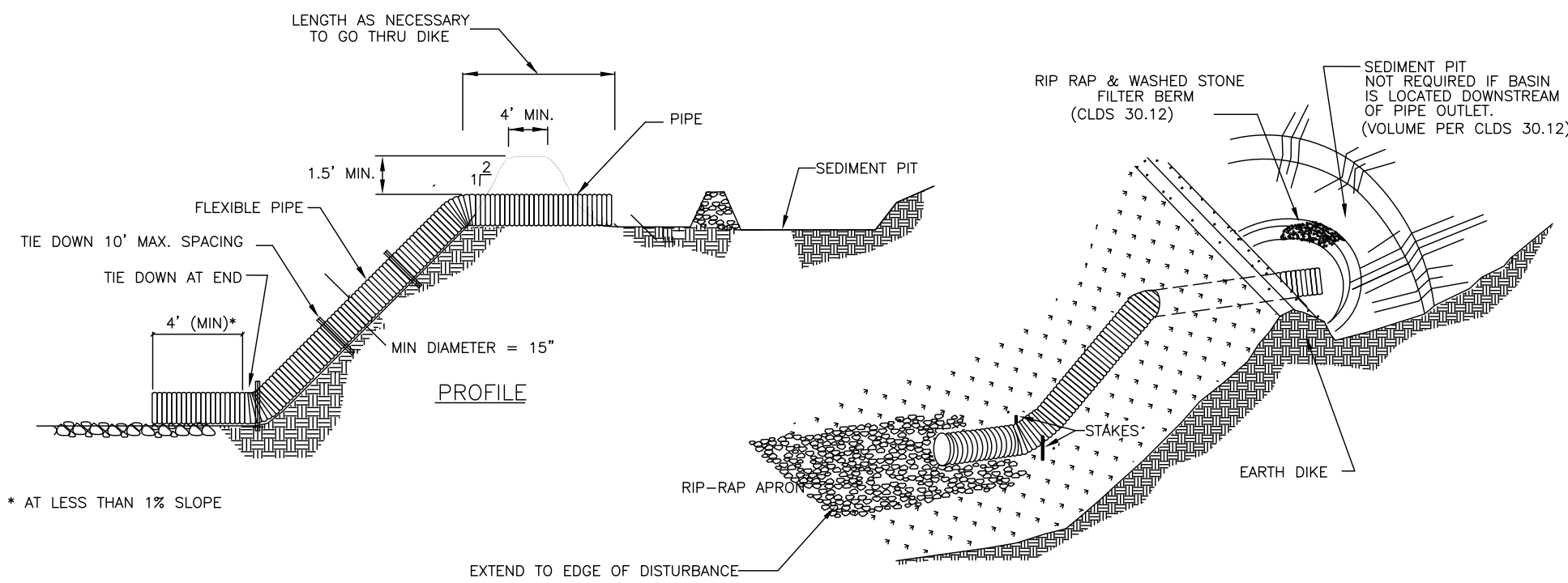
No.	Date	By	Description

This Plan Is A Final Design.
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Unless Initialed & Dated As
Approved:
APPROVED: _____
DATE: _____

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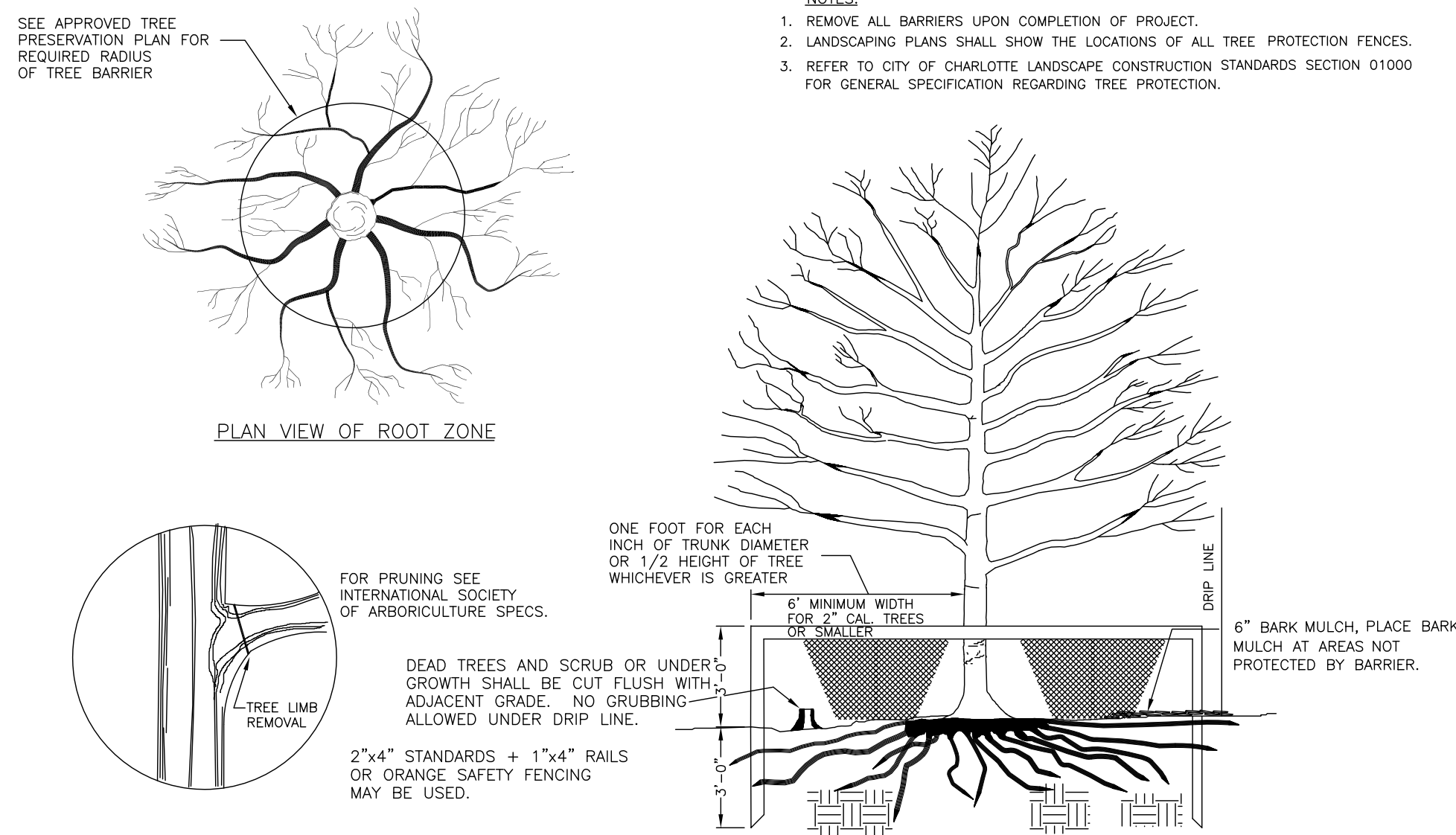
1
L-504
TEMPORARY SILT DITCH
SCALE: NTS
CLDSM #30.05



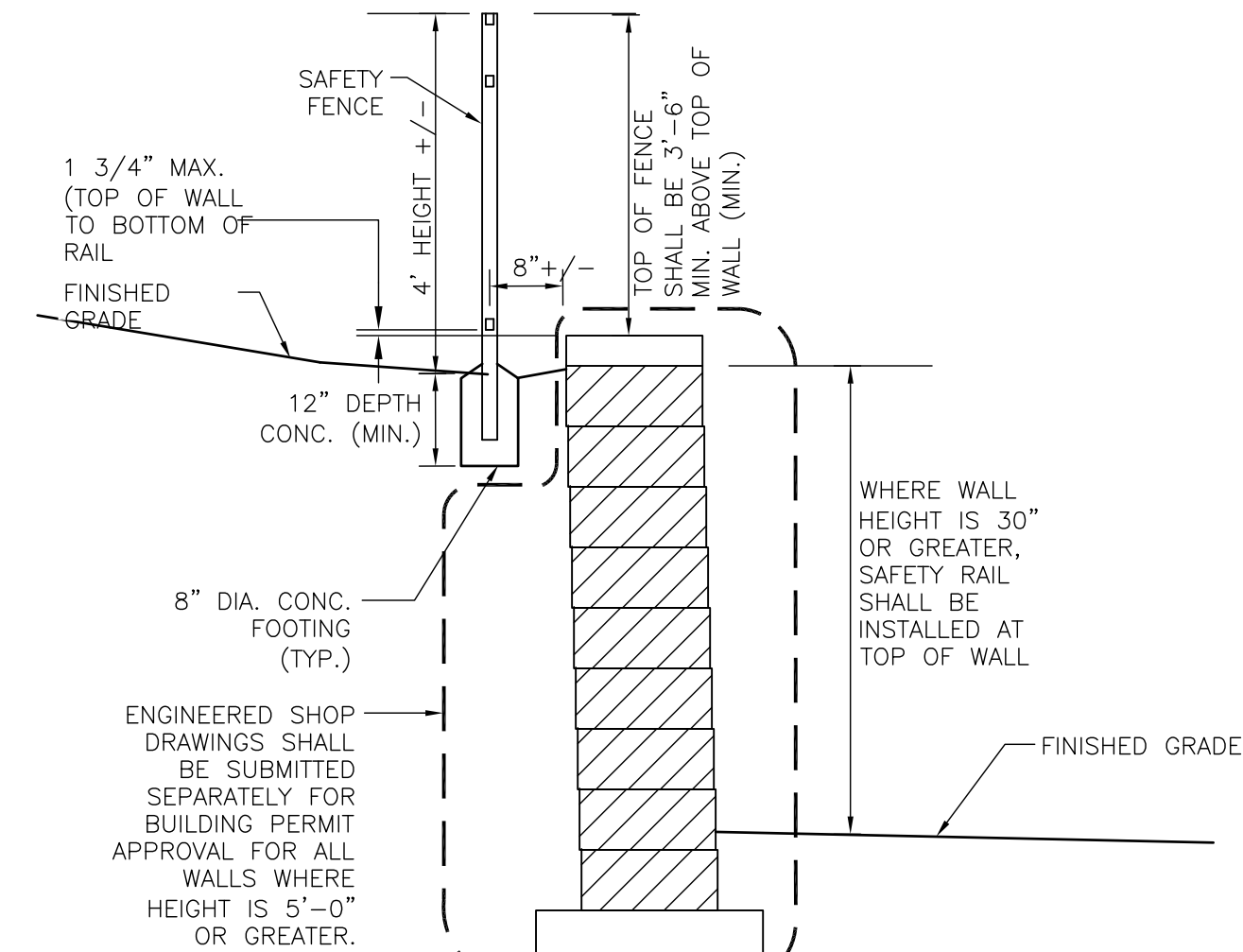
CONSTRUCTION SPECIFICATIONS:

1. THE TOP OF THE EARTH DIKE OVER THE INLET PIPE AND THOSE DIKES CARRYING WATER TO THE PIPE SHALL BE AT LEAST 1.5 FEET HIGHER AT ALL POINTS THAN THE TOP OF THE INLET PIPE.
2. THE PIPE SHALL BE FLEXIBLE WITH WATER TIGHT CONNECTING BANDS. FLEXIBLE PIPE SHOULD BE STAKED ON EITHER SIDE.
3. A RIP RAP APRON SHALL BE PROVIDED AT THE OUTLET, IF EMPTYING INTO A DISTURBED AREA.
4. THE SOIL AROUND AND UNDER THE INLET PIPE AND ENTRANCE SECTION SHALL BE HAND TAMPED IN 4" LIFTS TO THE TOP OF THE EARTH DIKE.
5. FOLLOW-UP INSPECTION AND ANY NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT.
6. OUTLET PIPE SHOULD BE TAKEN OVER OR THROUGH ANY SILT FENCE, TAKING CARE NOT TO VOID THE EFFECTIVENESS OF THE SILT FENCE.

2
L-504
FLEXIBLE PIPE SLOPE DRAIN
SCALE: NTS
CLDSM #30.04

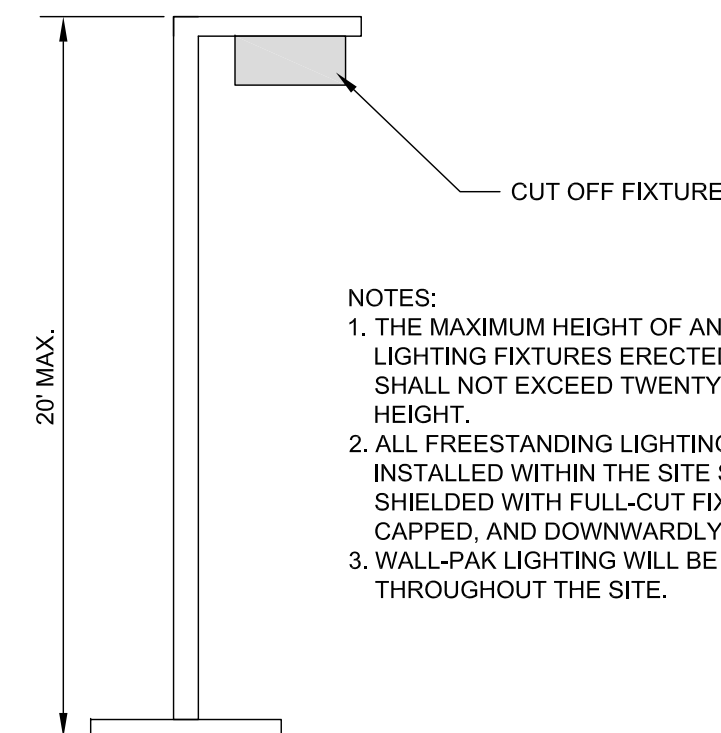


3
L-504
TREE PROTECTION DETAIL
SCALE: NTS
CLDSM #40.02

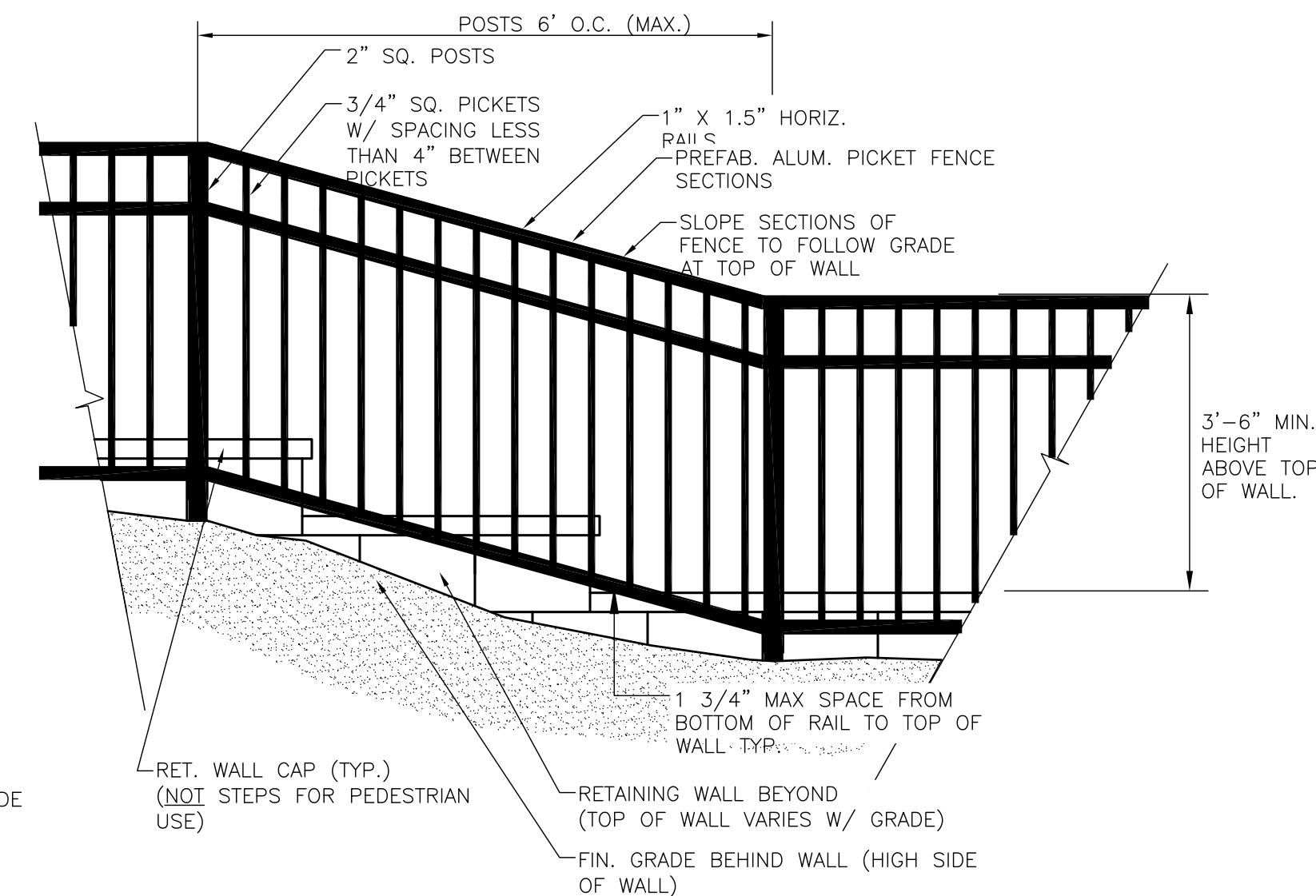


SECTION
SCALE: 1/2" = 1'-0"

4
L-504
SAFETY RAIL @ RETAINING WALL
(TO BE USED AT MODULAR CONC. WALLS WHERE WALL HEIGHT IS 30" OR GREATER)

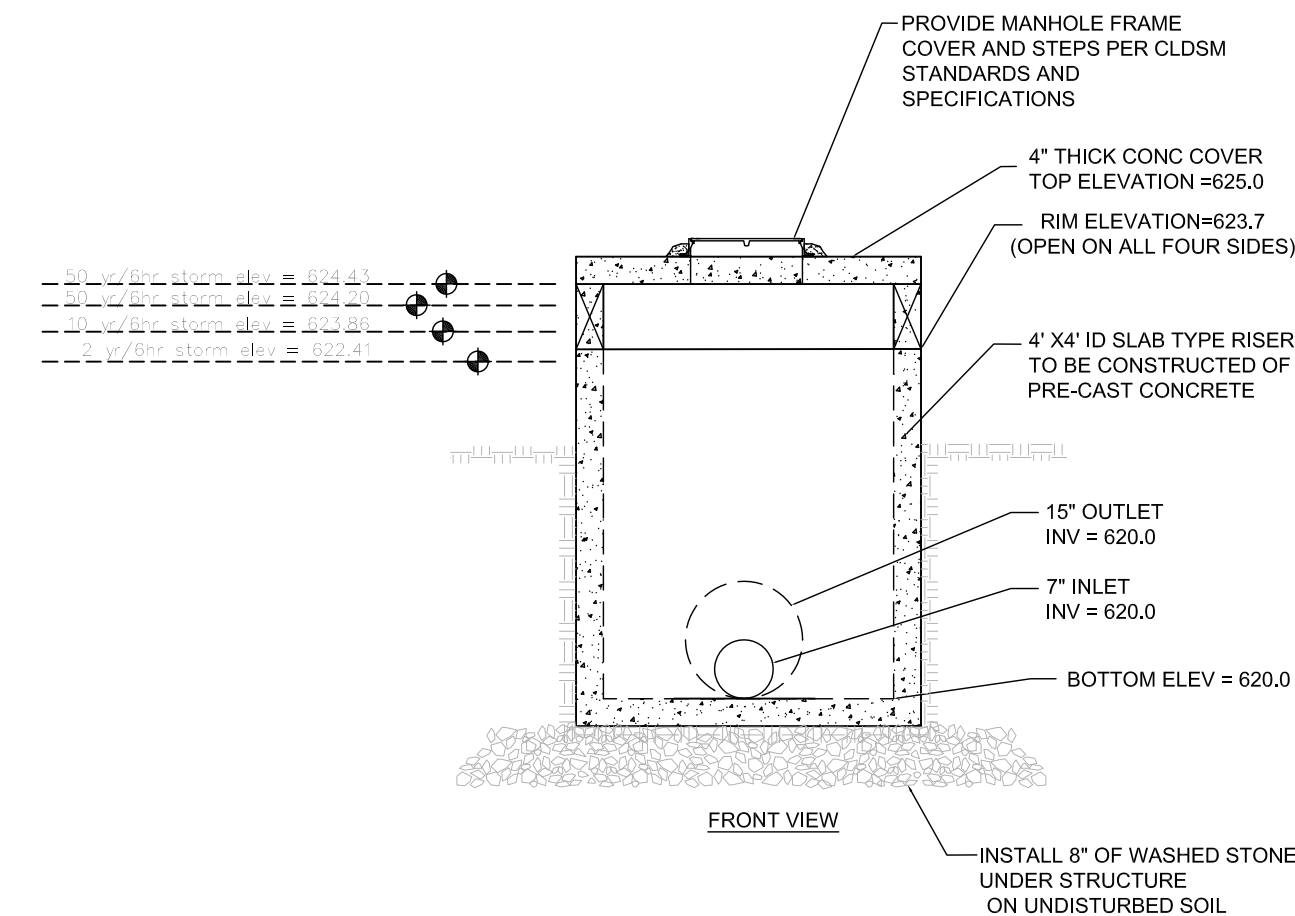


7
L-504
TYPICAL SITE LIGHTING
NTS

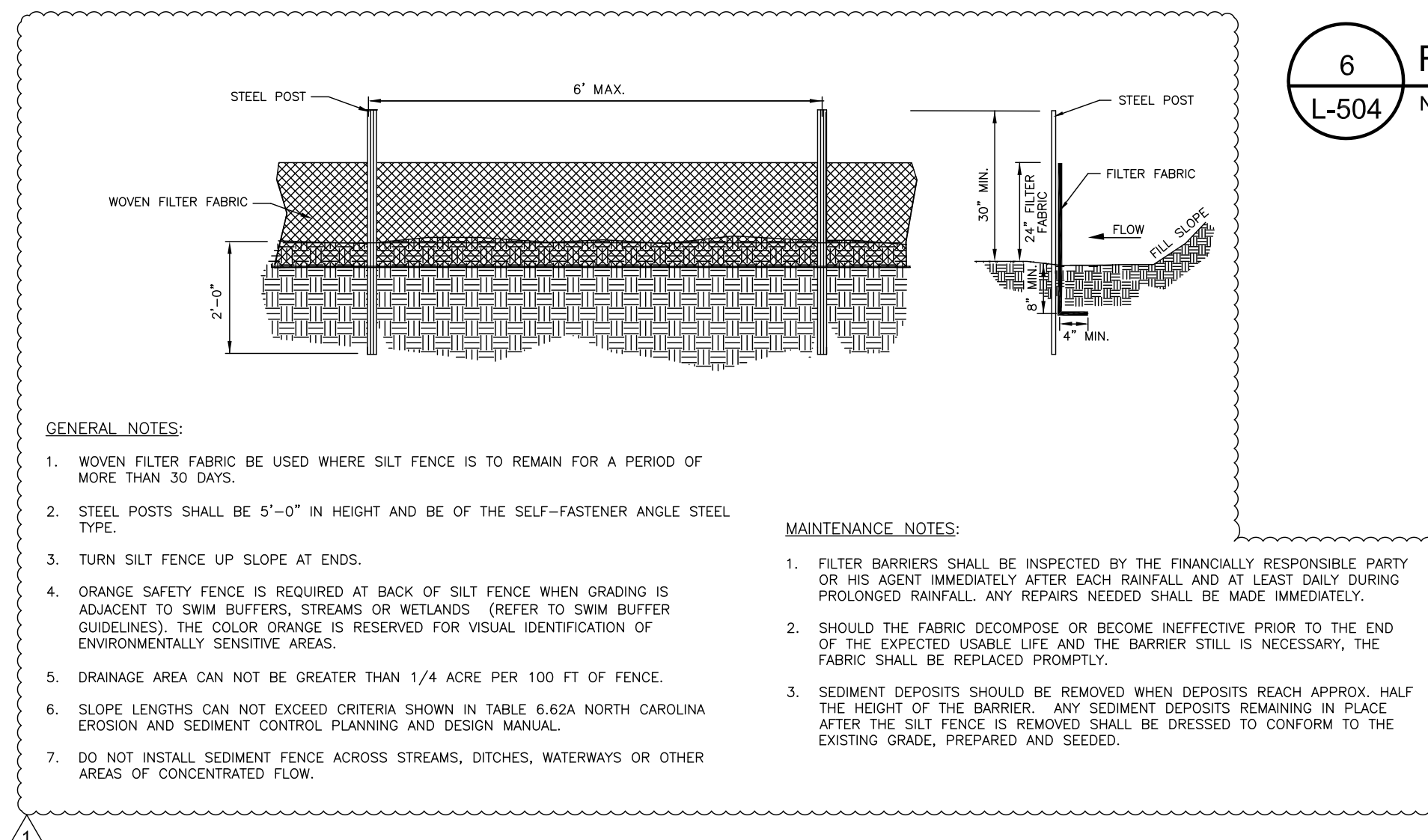


ELEVATION
SCALE: 3/4" = 1'-0"

- NOTES:
1. FENCE SHALL BE PRE-FABRICATED ALUMINUM, WITH FOLLOWING METAL THICKNESS (UNLESS APPROVED OTHERWISE):
POSTS: .06"
HORIZ. RAILS: TOP 0.55", SIDES .082"
PICKETS: .05"
 2. COLOR SHALL BE BLACK.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 4. RAIL ASSEMBLY AND ATTACHMENT SHALL MEET THE REQUIREMENTS OF 2009 NCBC 1607.7 LOADS ON GUARDRAILS. PER 1607.1 GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. PER 1607.7.1.1 GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING ON GROUND. PER 1607.7.1.1 INTERMEDIATE RAILS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SF, INCLUDING OPENINGS AND SPACE BETWEEN RAILS.



6
L-504
RISER OUTLET
NTS



GENERAL NOTES:

1. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
2. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
3. TURN SILT FENCE UP SLOPE AT ENDS.
4. ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
5. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT. OF FENCE.
6. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
7. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

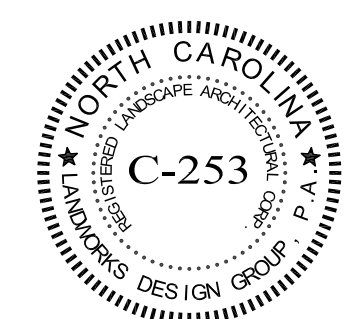
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APPROVED: _____
DATE: _____

REVISIONS:

No.	Date	By	Description
1	04/02/13	AMC	REVISIONS PER CITY COMMENTS

DETAILS

seals



Project Manager:

MDL

Drawn By:

AMC

Checked By:

MDL

Date:

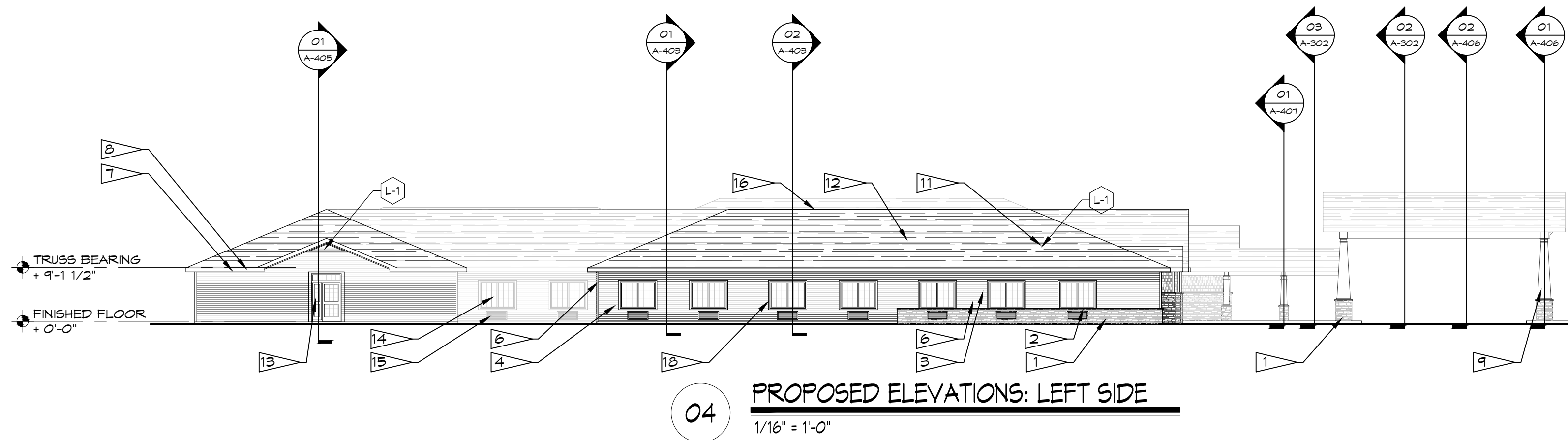
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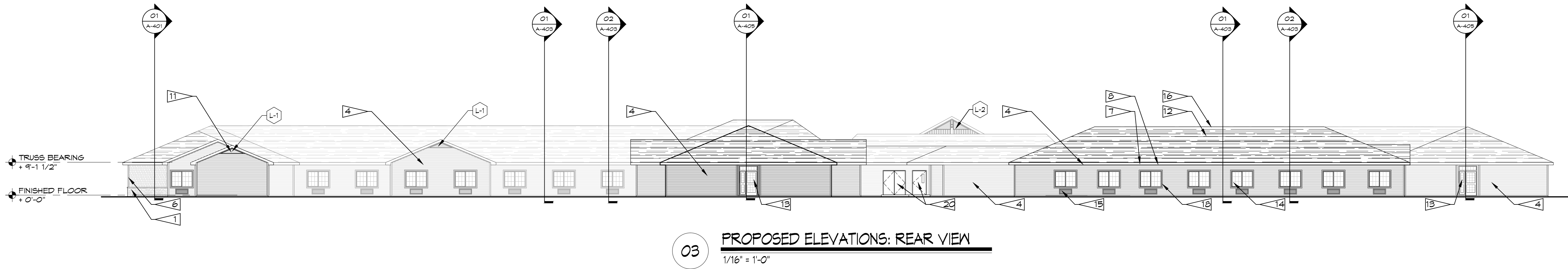
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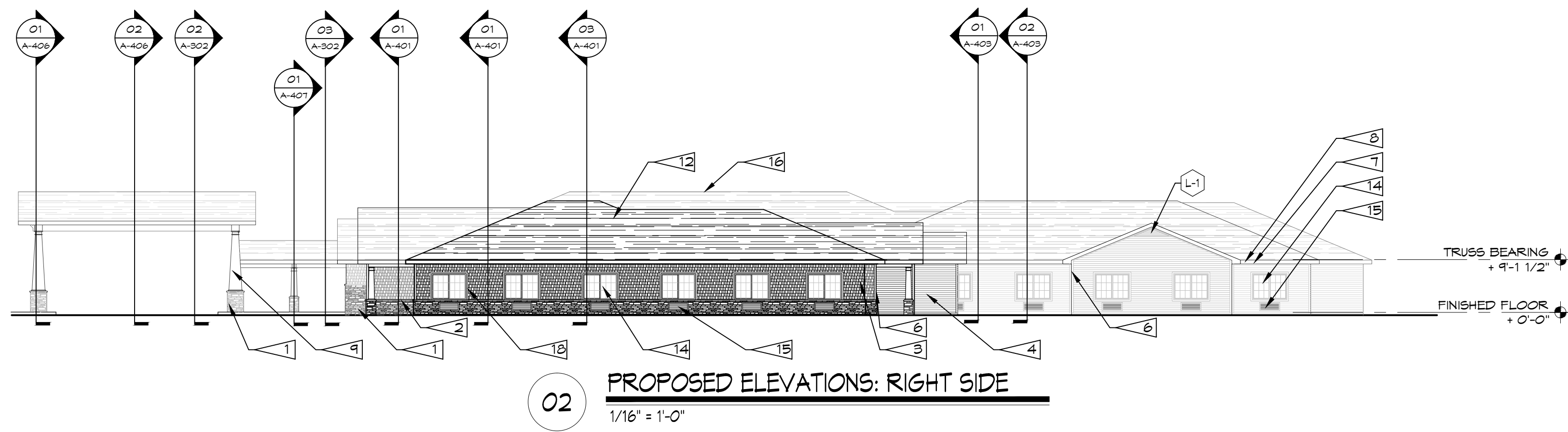
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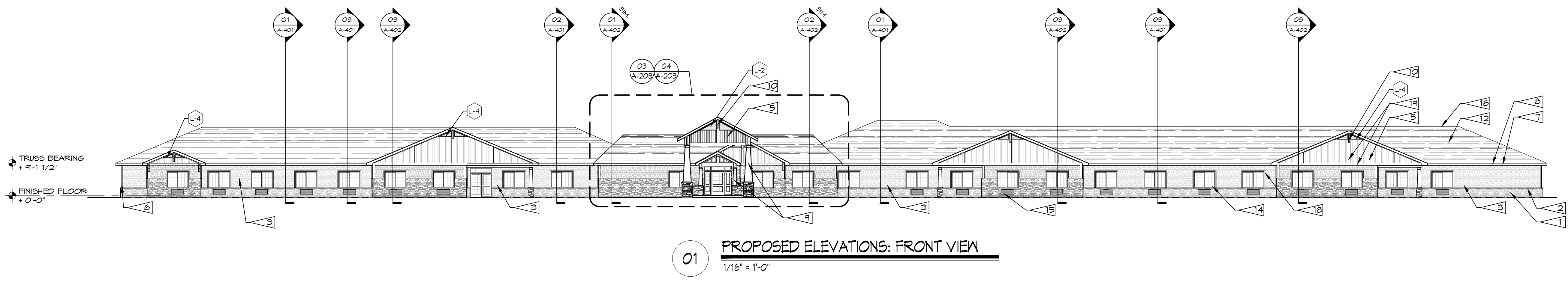
04 PROPOSED ELEVATIONS: LEFT SIDE
1/16" = 1'-0"



03 PROPOSED ELEVATIONS: REAR VIEW
1/16" = 1'-0"



02 PROPOSED ELEVATIONS: RIGHT SIDE
1/16" = 1'-0"



01 PROPOSED ELEVATIONS: FRONT VIEW
1/16" = 1'-0"

KEYED NOTES :

- 1. ENGINEERED STONE VENEER
- 2. ENGINEERED STONE SILL
- 3. HORIZONTAL VINYL SIDING (SIDING #1)
- 4. HORIZONTAL VINYL SIDING (SIDING #2)
- 5. VERTICAL VINYL SIDING
- 6. 4" VERTICAL VINYL SIDE CORNER POST
- 7. PRE-FINISHED ALUMINUM GUTTERS & LEADERS
- 8. PRE-FINISHED ALUMINUM FASCIA & VENTED SOFFIT PANELS
- 9. PRE-FINISHED PVC COLUMN WRAP
- 10. 2" H x 25" D ORNAMENTAL BRACKET BY FYPON (BKT 27X25X3) OR SIMILAR
- 11. PRE-FINISHED LOUVER W/ 50% FREE AIR
- 12. ASPHALT SHINGLES CLASS "A"
- 13. H.M. DOOR W/ METAL & GLASS INFILL PANELS
- 14. VINYL COMPOSITE SLIDING WINDOW
- 15. PTAC UNIT LOUVER, CENTER ON WINDOW TYPICAL
- 16. SHINGLED RIDGE VENT TYP.
- 17. NOT USED
- 18. 3 1/2" VINYL WINDOW TRIM
- 19. PRE-FINISHED HORIZONTAL & VERTICAL METAL TRIM (1 1/2" x 1 1/4" &)
- 20. H.M. DOOR, REFER TO DOOR SCHEDULE OF VISION LIGHT AND/OR LOUVER REQUIREMENTS

GENERAL NOTES :

1. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIALS
2. REFER TO THE 600 SERIES SHEET OF ADDITIONAL INFORMATION ON WINDOWS AND LOUVERS
3. REFER TO ENLARGED FLOOR PLANS FOR WINDOW TAGS