

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
BY: Joshua Weaver 11-18-2013

SEE SHEET
C-2.3

SEE SHEET
C-2.2

SEE SHEET
C-2.1

SEE SHEET
C-2.4

SEE SHEET
C-2.5

S.W.I.M. BUFFER NOTES

1. THE MECKLENBURG COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION WILL BE NOTIFIED OF ANY CHANGES TO THIS APPROVED BUFFER PLAN.
2. THE SWIM BUFFER IS THE BUFFER BETWEEN THE SWIM BUFFER SECTION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
3. THE SWIM BUFFER IS MEASURED HORIZONTALLY ON A LINE PERPENDICULAR TO THE STREAM SURFACE, LANDWARD FROM THE TOP OF BANK ON EACH SIDE OF THE STREAM.
4. THE SIDE ZONE OF THE SWIM BUFFER SHALL BE PERMANENTLY "UNDISTURBED," NO FILL OR GRADING IS ALLOWED IN THE STREAM SIDE BUFFER ZONE.
5. WITHIN THE UPLAND ZONE, GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED PROVIDED NO FILL IS BROUGHT INTO THE ZONE. THESE ACTIVITIES MUST BE PERMANENT IN SUCH A MANNER AS TO PROVIDE PERMANENT COVER OF THE EXISTING TREES, GRASS OR OTHER SUITABLE COVER CAN BE APPLIED TO THE UPLAND ZONE. TEMPORARY SEDIMENT BASIN MAY EXTEND INTO THE UPLAND ZONE PROVIDED THAT NO EXISTING TREES ARE DAMAGED AND THAT THE EXCESS SOIL IS REMOVED BEFORE PROJECT COMPLETION.
6. NO OCCUPIED STRUCTURES CAN BE PLACED IN ANY OF THE THREE BUFFER ZONES. NON-COMMERCIAL BUILDINGS FOR STORAGE CAN BE PLACED IN THE UPLAND ZONE PROVIDED THEY DO NOT EXCEED 150 SQUARE FEET.
7. EXISTING OR IMPROVED CHANNELS OR CANALS CANNOT FORM WATER ARE NOT ALLOWED IN OR THROUGH THE BUFFER. TEMPORARY SEDIMENT BASINS CAN NOT BE PLACED IN THE STREAM SIDE OR MANAGED USE ZONES. DRAINAGE AREAS WILL BE DESIGNED TO ALLOW WATER TO SHEET FLOW ACROSS THE BUFFER TO FILTER OUT POLLUTANTS. PLUNGE Pools, SWIMMING POOLS, WATERPARKS, OR OTHER STRUCTURES THAT ALLOW WATER TO BE USED, DESIGN DETAILS FOR THESE DEVICES CAN BE OBTAINED FROM THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
8. THE SWIM BUFFER SHALL BE PERMANENTLY CLEARLY MARKED BY ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES AT THE SITE. THIS FENCING WILL BE CALLED OUT ON PLANS. FOR THIS DEVELOPMENT, ORANGE TREE PROTECTION FENCING, SHOWN AT THE EDGE OF DISTURBED LINES ABOVE THE SWIM BUFFER LOCATION, WILL SUFFICE FOR THE SWIM BUFFER FENCING.
9. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH IRONS OR OTHER ACCEPTABLE PROPERTY CORNER MARKERS AT LOT LINES AND STREET CROSSINGS. THESE MARKERS MUST BE CALLED OUT ON PLANS.
10. THE SWIM BUFFER SHALL BE PERMANENTLY BOUNDARIED BY A DEDICATION OF EACH ZONE AND A DIMENSION FROM A SPECIFIC LOCATION. ARE SHOWN ON ALL SURVEYS AND RECORD PLANS, INCLUDING INDIVIDUAL DEEDS FOR LOTS AFFECTED.
11. BUFFER RESTRICTIONS WILL BE PLACED ON EACH INDIVIDUAL DEED. BUFFER RESTRICTIONS MUST BE REFERENCED TO THE DEED TO THE APPLICABLE DOCUMENTS.
12. ALL SUB-CONTRACTORS OF THE LAND DEVELOPER AND HOME BUILDER WILL BE NOTIFIED OF THE BUFFER REGULATIONS PRIOR TO DEVELOPMENT.

P.C.C.O. NOTES :

1. THIS SITE IS EXEMPT FROM PCCO, DUE TO FIRST SUBMITTAL DATE OCCURING IN 2006 (PRIOR TO PCCO ADOPTION), AND ACTIVE STATUS CONTINUED SINCE INITIAL SUBMITTAL.

SITE DEVELOPMENT DATA (PHASE 2)

TAX PARCEL NO:	027-17-110
PROPERTY OWNER:	<u>MATTAMY CAROLINA CORPORATION</u>
ZONING DISTRICT:	R-3
MINIMUM LOT WIDTH:	60' (R-3 CLUSTER PROVISIONS)
MINIMUM SETBACK (FRONT):	15' (TREE ORDINANCE INCENTIVE, SECTION 21-95, WITH 20' MIN. FROM GARAGE TO R/W)
MINIMUM SIDE YARD:	5' (TREE ORDINANCE INCENTIVE)
MINIMUM REAR YARD:	45' (ABUTTING EXTERIOR PERIMETER) 30' (INTERNAL LOTS NOT ABUTTING PERIMETER)
MINIMUM LOT AREA:	8,000 S.F. (R-3 CLUSTER PROVISIONS)
JURISDICTION:	CITY OF CHARLOTTE (E.U.)
TOTAL SITE AREA (GROSS):	90.73 AC. (PHASE 2)
TOTAL # LOTS PROPOSED:	236 (PHASE 2) 38 LOTS IN PHASE 2A 198 LOTS IN PHASE 2B
DENSITY ALLOWED:	3 DU/AC (MAXIMUM)
DENSITY PROPOSED:	2.60 DU/AC (236 DU / 90.73 AC.)

TREE SAVE CALCULATIONS

GROSS SITE ACREAGE:	90.73 AC
DEDICATED AREAS:	
SANITARY SEWER EASEMENT:	1.22 AC
TOTAL DEDICATED AREAS:	1.22 AC
NET AREA: 90.73 AC - 1.22 AC = 89.51 AC	
TREE SAVE REQUIRED (10%):	8.95 AC
TREE SAVE PROVIDED:	10.50 AC (11.7%)
1. NO HERITAGE TREES HAVE BEEN OBSERVED ON SITE 2. SEE SHEETS C-7.0 AND C-7.1 FOR ADDITIONAL TREE CALCULATIONS AND NOTES.	

STREET TREE CALCULATIONS

SEE SHEETS C-7.0 AND C-7.1 FOR REQUIRED STREET TREE CALCULATIONS.

GENERAL NOTES:

1. BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY AND TOPO SURVEY BY EAGLE ENGINEERING, NCLRS # 1-3661, DATED 11/16/06.
2. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
3. DETERMINE THE EXISTING STREET RIGHT-OF-WAY (R.O.W.) (SEE CALLOS 100.05 (9" SIGNS ONLY).
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. ADJACENT PROPERTIES ARE NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DRAINAGE OF THE STREET IS NOT TO THE INSPECTOR'S SATISFACTION.
8. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
9. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EASEMENT OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT OF WAY.
11. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
12. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. ANY BUILDING WITHIN THE 100+1 FLOOD RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE (MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
14. ANY CONSTRUCTION OR USE WITHIN THE "FUTURE CONDITIONS FLOOD FRINGE LINE" IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
15. ALL BUILDINGS WITHIN THE 100+1 FLOOD RESTRICTIONS IN STRUCTURES BUILT ON LOT #S 69-79, 88-95 AND 102-112 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOOD NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)
16. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY INSPECTOR PRIOR TO CONSTRUCTION.
17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
18. THE CITY/COUNTY DEPARTMENT OF PLANNING, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
19. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT), 704-376-3221, FOR A RIGHT-OF-WAY ENCROACHMENT AGREEMENT. THE DEVELOPER EQUIPMENT, 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
20. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
21. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR
22. APPROXIMATE TIME OF ESTIMATED COMPLETION OF INFRASTRUCTURE: 60 MONTHS

NOTE:

THIS SHEET IS FOR OVERALL SITE PLAN REFERENCE.
SEE SHEETS C-2.1 THROUGH C-2.5 FOR DETAILED SITE PLANS.

COMMON OPEN SPACE CALCULATIONS


GROSS SITE ACREAGE:	90.73 AC
COMMON OPEN SPACE REQUIRED (10%):	9.07 AC
COMMON OPEN SPACE PROVIDED:	10.70 AC (11.9%)

COMMON OPEN SPACE AREAS	% OF TOTAL AREA
Public Parks	15.2
Private Parks	8.7
Community Centers	3.5
Public Libraries	2.1
Public Schools	1.8
Public Health Centers	1.2
Public Museums	0.9
Public Art Installations	0.5
Public Performance Spaces	0.3
Public Markets	0.2
Public Transportation Stations	0.1
Public Restrooms	0.1
Public Drinking Fountains	0.1
Public Benches	0.1
Public Lighting	0.1
Public Security Cameras	0.1
Public Wi-Fi Hotspots	0.1
Public Charging Stations	0.1
Public Recycling Bins	0.1
Public Trash Cans	0.1
Public Fire Hydrants	0.1
Public Fire Extinguishers	0.1
Public First Aid Kits	0.1
Public Security Guards	0.1
Public Police Officers	0.1
Public Firefighters	0.1
Public Paramedics	0.1
Public Nurses	0.1
Public Doctors	0.1
Public Lawyers	0.1
Public Judges	0.1
Public Clergy	0.1
Public Teachers	0.1
Public Scientists	0.1
Public Artists	0.1
Public Musicians	0.1
Public Dancers	0.1
Public Actors	0.1
Public Writers	0.1
Public Journalists	0.1
Public Politicians	0.1
Public Business Owners	0.1
Public Employees	0.1
Public Customers	0.1
Public Neighbors	0.1
Public Friends	0.1
Public Family Members	0.1
Public Strangers	0.1
Public Animals	0.1
Public Plants	0.1
Public Weather	0.1
Public Time	0.1
Public Space	0.1
Public Everything	0.1

AREA A	411,100 SF (9.44 AC)	10.4%
AREA B	71,940 SF (1.65 AC)	1.8%
AREA C	75,010 SF (1.72 AC)	1.9%
AREA D	314,870 SF (7.23 AC)	8.0%
AREA E	27,930 SF (0.64 AC)	0.7%
AREA F	49,450 SF (1.13 AC)	1.3%
TOTAL	950,300 SF (21.82 AC)	24.1%

INTERSECTION STANDARDS (CURB RADII, R/W RADII, ACCESSIBLE RAMPS):

1. BACK OF CURB AND RIGHT-OF-WAY RADIUS:
30' RADIUS AT COLLECTOR STREET INTERSECTIONS TYPICAL.
25' RADIUS AT LOCAL RESIDENTIAL STREET INTERSECTIONS TYPICAL.
2. ACCESSIBLE RAMPS:
2 RAMPS ARE REQUIRED AT EACH COLLECTOR STREET CORNER RADIUS CURB; PROVIDE A FEET FULL CURB HEIGHT BETWEEN RAMP FLARES TYPICAL.
1 RAMP IS REQUIRED AT EACH LOCAL RESIDENTIAL STREET CORNER RADIUS CURB, CENTERED IN RADIUS.
3. AT INTERSECTIONS BETWEEN A COLLECTOR STREET AND A LOCAL RESIDENTIAL STREET, THE RADIUS DIMENSIONS AND RAMP STANDARDS LISTED ABOVE FOR COLLECTOR STREETS SHALL BE FOLLOWED.



0 150' 300' 600'

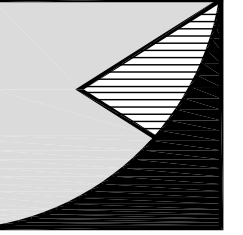
SCALE: 1"=150'

REVISIONS:

No.	Date	By	Description
1	06/25/13	PGJ	PER CITY OF CHARLOTTE REVIEW
2	09/6/13	TMM	UPDATE TOP OF BANK PER FIELD SURVEY

RESUBMITTAL SET
11/08/13

Landworks
Design Group, P.A.
7621 Little Avenue, Suite 111
Charlotte, NC 28226
704-841-1604 fax: 704-841-1604



MERIDALE - PHASE 2

CHARLOTTE, NC

MATTAMY CAROLINA CORPORATION
2401 WHITEHALL PARK DRIVE, SUITE 700
CHARLOTTE, NC 28273

SITE PLAN COMPOSITE & SITE DATA

seals



Project Manager: TMM

Drawn By: SJH

Checked By: TMM

Date: 03/19/13

Project Number: 12023

C-2.0

SHEET # 04 OF 64