

Development Data:

Tax Parcel #.....	187-151-01
Address.....	6920 Sardis Road
Gross Site Area.....	4.47 ac.
Zoning Jurisdiction.....	City of Charlotte
Zoning.....	R-3
Permitted Number of Lots (Base Zoning).....	4.77 ac x 3 du/ac = 14
Proposed Number of Lots.....	8
Total Density Proposed.....	1.68 du/ac (8 units/4.77 ac)
Minimum Lot Size.....	12,000 SF
Minimum Lot Width at Front Setback.....	70'
Minimum Front Setback.....	32' BOC
Minimum Rear Yard.....	45'
Minimum Side Yard.....	6'

Impervious Area Calculation:

Total Site Area.....	4.47 ac. (194,876 sf)
Total Impervious Area.....	1.42 ac. (61,653 sf)
Roads and Sidewalks.....	0.38 ac. (16,465 sf)
Pads, Driveways, Patio, Etc.....	1.04 ac. (45,188 sf)
Percent Impervious.....	31.8%
Required Natural Area.....	0.78 ac. (33,977 sf) 17%
Provided Natural Area.....	0.90 ac. (39,410 sf) 20.2%

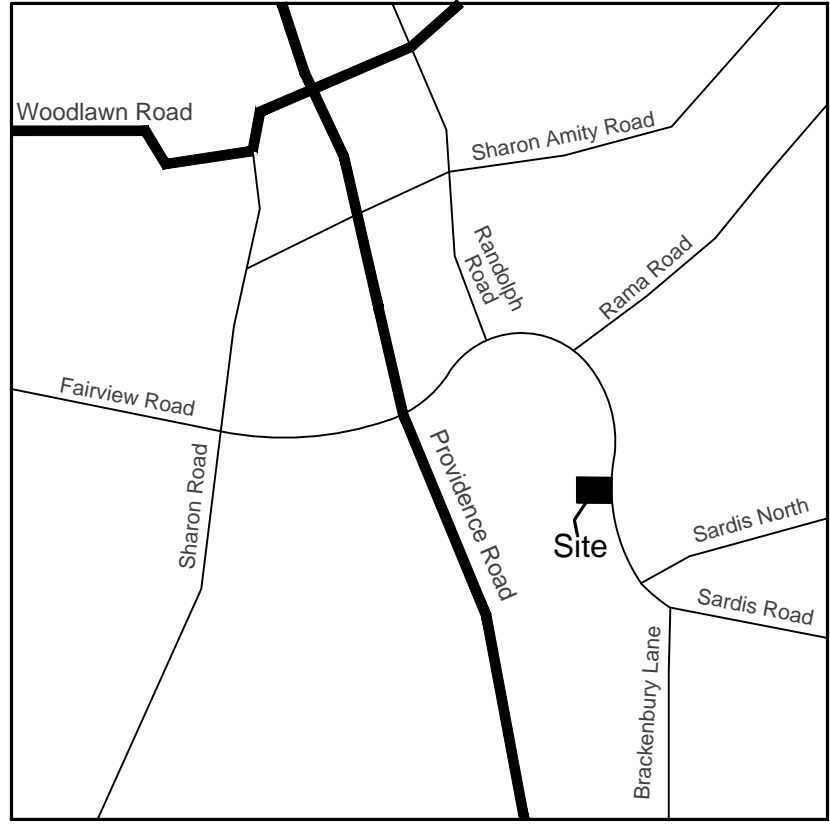
Tree-save Calculation:

Total Site Area.....	4.47 ac. (194,876 sf)
Total Tree-save Required.....	0.447 Ac. (19,488 sf, 10% Site Area)
Total Tree-save Provided.....	0.537 Ac. (23,375 sf, 12.0% Site Area)

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson August 7, 2013

Legend:

SYMBOL	DETAIL
	Right of Way - / -
	Proposed Tree Save - / -
	Proposed Natural Area - / -
	Storm Drain Easement - / -

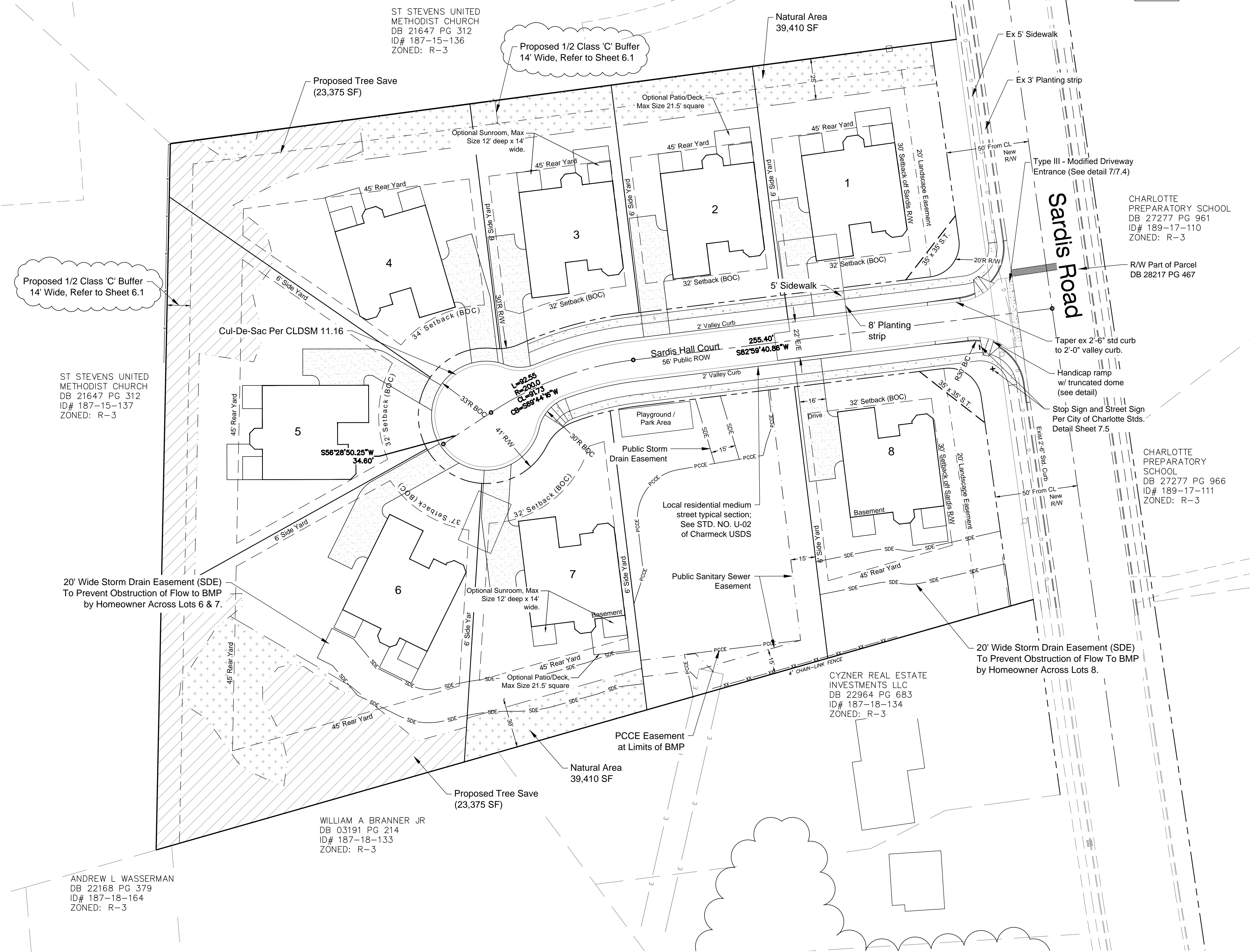


Vicinity Map
Not to Scale

General Notes:

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements along Sardis Road & Sardis Hall Ct are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CLDSM# 50.05 (9" signs only)
- Sight triangles shown are the minimum required.
- In rolling and hilly terrains, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
- Curb and gutter shown on plans along may be adjusted based upon field staking by City Engineering. Associated storm drainage may also require modification based upon field conditions.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- "As-built" drawings and plans of the Storm Water BMP, storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with the City/County Subdivision Ordinance.
- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the (Charlotte Department of Transportation/North Carolina Department of Transportation) before installation.
- Prior to plat recordation, Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "Offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jorci, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60- 90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/developer.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing for permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/Home.htm>
- Per Section 18-175(e) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCes) must be recorded prior to the issuance of the Certificate of Occupancy.
- There shall be no demolition landfills on site.
- Direct vehicular access from lots to Sardis Road is prohibited.
- The purpose of the Post-Construction Controls Easement (PCCe) is to provide storm water conveyance and control and treatment of storm water runoff. Buildings or any other objects which impede storm water flow, system performance, or system maintenance are prohibited. This easement also provides for unrestricted access for inspection and maintenance purposes to be performed on the BMP as required by the City of Charlotte Post-Construction Stormwater Ordinance.

LOT	Permitted Impervious Area (sqft)
1	5400
2	5400
3	5510
4	5540
5	5670
6	5850
7	5475
8	5400



MERRICK & COMPANY
1001 MOREHEAD SQUARE DRIVE, SUITE 150
CHARLOTTE, NC 28203
PHONE: 704.529.8600
FAX: 704.529.8601
WWW.MERRICK-AND-COMPANY.COM
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Ryland Homes
3600 Aco Corporate Drive
Suite 200
Charlotte, NC 28273

REVISIONS	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
1	06/28	RET	Per City Review Comments	06/28	RET	
2	08/05	RET	Rev Buler West	08/05	RET	

DATE	DESIGN BY	DRAWN BY	CHECKED BY	APPROVED BY
	JAM	JAM	BJM	BJM

The Enclave at Sardis Hall
Charlotte, North Carolina
Preliminary Subdivision Plan

Professional Engineer Seal
NORTH CAROLINA
SEAL
25505
ENGINEER
PROJECT
5 Aug 2013

JOB NO: 65117823
DATE: 05/1/13
SHEET 3.1