

- INDEX OF SHEETS**
- SHEET 1 COVER SHEET
 - SHEET 2 SITE PLAN
 - SHEET 3 DRAINAGE PLAN #1
 - SHEET 4 DRAINAGE PLAN #2
 - SHEET 5 DRAINAGE AREA PLAN
 - SHEET 6 PRE-DEVELOPMENT PLAN
 - SHEET 7 EROSION CONTROL PLAN
 - SHEET 8 EROSION GRADING PHASE #1
 - SHEET 9 EROSION GRADING PHASE #2
 - SHEET 10 EROSION GRADING PHASE #3
 - SHEET 11 EROSION GRADING PHASE #4
 - SHEET 12 EROSION GRADING PHASE #5
 - SHEET 13 EROSION GRADING PHASE #6
 - SHEET 14 EROSION GRADING PHASE #7
 - SHEET 15 EROSION GRADING PHASE #8
 - SHEET 16 EROSION GRADING PHASE #9
 - SHEET 17 EROSION GRADING PHASE #10
 - SHEET 18 EROSION GRADING PHASE #11
 - SHEET 19 EROSION GRADING PHASE #12
 - SHEET 20 EROSION GRADING PHASE #13
 - SHEET 21 EROSION GRADING PHASE #14
 - SHEET 22 EROSION GRADING PHASE #15
 - SHEET 23 EROSION GRADING PHASE #16
 - SHEET 24 EROSION GRADING PHASE #17
 - SHEET 25 EROSION GRADING PHASE #18
 - SHEET 26 EROSION GRADING PHASE #19
 - SHEET 27 EROSION GRADING PHASE #20
 - SHEET 28 EROSION GRADING PHASE #21
 - SHEET 29 EROSION GRADING PHASE #22
 - SHEET 30 EROSION GRADING PHASE #23
 - SHEET 31 EROSION GRADING PHASE #24
 - SHEET 32 EROSION GRADING PHASE #25
 - SHEET 33 EROSION GRADING PHASE #26
 - SHEET 34 EROSION GRADING PHASE #27
 - SHEET 35 EROSION GRADING PHASE #28
 - SHEET 36 EROSION GRADING PHASE #29
 - SHEET 37 EROSION GRADING PHASE #30
 - SHEET 38 EROSION GRADING PHASE #31
 - SHEET 39 EROSION GRADING PHASE #32
 - SHEET 40 EROSION GRADING PHASE #33
 - SHEET 41 EROSION GRADING PHASE #34
 - SHEET 42 EROSION GRADING PHASE #35
 - SHEET 43 EROSION GRADING PHASE #36
 - SHEET 44 EROSION GRADING PHASE #37
 - SHEET 45 EROSION GRADING PHASE #38
 - SHEET 46 EROSION GRADING PHASE #39
 - SHEET 47 EROSION GRADING PHASE #40
 - SHEET 48 EROSION GRADING PHASE #41
 - SHEET 49 EROSION GRADING PHASE #42
 - SHEET 50 EROSION GRADING PHASE #43
 - SHEET 51 EROSION GRADING PHASE #44
 - SHEET 52 EROSION GRADING PHASE #45
 - SHEET 53 EROSION GRADING PHASE #46
 - SHEET 54 EROSION GRADING PHASE #47
 - SHEET 55 EROSION GRADING PHASE #48
 - SHEET 56 EROSION GRADING PHASE #49
 - SHEET 57 EROSION GRADING PHASE #50
 - SHEET 58 EROSION GRADING PHASE #51
 - SHEET 59 EROSION GRADING PHASE #52
 - SHEET 60 EROSION GRADING PHASE #53
 - SHEET 61 EROSION GRADING PHASE #54
 - SHEET 62 EROSION GRADING PHASE #55
 - SHEET 63 EROSION GRADING PHASE #56
 - SHEET 64 EROSION GRADING PHASE #57
 - SHEET 65 EROSION GRADING PHASE #58
 - SHEET 66 EROSION GRADING PHASE #59
 - SHEET 67 EROSION GRADING PHASE #60
 - SHEET 68 EROSION GRADING PHASE #61
 - SHEET 69 EROSION GRADING PHASE #62
 - SHEET 70 EROSION GRADING PHASE #63
 - SHEET 71 EROSION GRADING PHASE #64
 - SHEET 72 EROSION GRADING PHASE #65
 - SHEET 73 EROSION GRADING PHASE #66
 - SHEET 74 EROSION GRADING PHASE #67
 - SHEET 75 EROSION GRADING PHASE #68
 - SHEET 76 EROSION GRADING PHASE #69
 - SHEET 77 EROSION GRADING PHASE #70
 - SHEET 78 EROSION GRADING PHASE #71
 - SHEET 79 EROSION GRADING PHASE #72
 - SHEET 80 EROSION GRADING PHASE #73
 - SHEET 81 EROSION GRADING PHASE #74
 - SHEET 82 EROSION GRADING PHASE #75
 - SHEET 83 EROSION GRADING PHASE #76
 - SHEET 84 EROSION GRADING PHASE #77
 - SHEET 85 EROSION GRADING PHASE #78
 - SHEET 86 EROSION GRADING PHASE #79
 - SHEET 87 EROSION GRADING PHASE #80
 - SHEET 88 EROSION GRADING PHASE #81
 - SHEET 89 EROSION GRADING PHASE #82
 - SHEET 90 EROSION GRADING PHASE #83
 - SHEET 91 EROSION GRADING PHASE #84
 - SHEET 92 EROSION GRADING PHASE #85
 - SHEET 93 EROSION GRADING PHASE #86
 - SHEET 94 EROSION GRADING PHASE #87
 - SHEET 95 EROSION GRADING PHASE #88
 - SHEET 96 EROSION GRADING PHASE #89
 - SHEET 97 EROSION GRADING PHASE #90
 - SHEET 98 EROSION GRADING PHASE #91
 - SHEET 99 EROSION GRADING PHASE #92
 - SHEET 100 EROSION GRADING PHASE #93

GENERAL NOTES

1. PRIOR TO PLANT RELOCATION, OFF-SITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFF-SITE R/W ACQUISITION PROCESS". THESE REQUIRED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

2. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (DOT) (704-336-1000) TO VERIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELATIONSHIP RESPONSIBILITY FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

3. IF THE OWNER WISHES TO SAVE CERTAIN TREES ON THE SITE, PLACE TREE BARRICADES AS SHOWN ON THE PLAN OR AS SPECIFIED BY THE OWNER BEFORE CONSTRUCTION. IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON CURB.

4. ALL ROAD IMPROVEMENTS AT ALEXANDER ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

5. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

6. ANY BUILDING WITHIN THE 100' STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE) ACQUISITION OF EASEMENTS ACT, SECTION 7.200A.

7. ALL OPENINGS (E.G. DOORS, WINDOWS, ETC.) IN STRUCTURES BUILT ON LOTS SHOULD BE LOCATED A MINIMUM OF ONE (1) FOOT ABOVE FINISHED GRADE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100' FLOOD ANALYSIS).

8. THE DEVELOPER SHALL MAINTAIN THE BED OF EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNDISTURBED STATE AND SHALL REMOVE ANY OBSTACLES TO THE CHANNEL, INCLUDING LOGS, TRUNKS, LIMBS, AND OTHER ACCUMULATIONS.

9. SUBSIDIARY DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

10. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD STAKING.

11. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOUR NOTICE PRIOR TO START.

12. APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES WHEN FIELD CONDITIONS WARRANT. EROSION GRADING, POSSESSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

13. PROPOSED GRADING SUBJECT TO CHANGE BASED ON FIELD CONDITIONS.

14. ALL STORM PIPE TO BE CLASS II RCP UNLESS OTHERWISE NOTED.

15. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBMISSION OF FINAL INSPECTION TO THE CITY/ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ENGINEERING DEPARTMENT ORDINANCE.

16. IN ROLLING AND HILLY TERRAINS, SLOPING OF STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

17. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

18. DEVELOPER WILL PROVIDE STREET SIGNS PER CHDS 50.05 (9" SIGNS ONLY).

19. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.

20. GRADE SLOPES SHALL BE NO STEEPER THAN 2:1.

21. ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CHDS 10.31 THRU 10.35.

22. C.O.S. - COMMON OPEN SPACE

23. C.M. - CONCRETE MONUMENT

24. S.D.E. - STORM DRAINAGE EASEMENT

25. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (S.D.E.) IS TO PROVIDE STORMWATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED WITHIN THE EASEMENT AREA. ANY OTHER OBSTACLES WHICH IMPED STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

26. ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DESIGNATED PUBLIC ROADSWAYS.

27. DIRECT ACCESS FROM ANY LOTS 1,2,4,5,7,6,7,7,7,8, & 79 TO ALEXANDER ROAD IS PROHIBITED.

28. CURB - MIN. 20" RADIUS, R/W MIN. 20" RADIUS UNLESS SHOWN OTHERWISE.

29. COMMON OPEN SPACE AND MEDIANS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

30. SIDEWALKS ARE TO MEET ALL A.D.A. REQUIREMENTS FOR SLOPE AND SPACING BETWEEN TURNAROUND AREA.

31. STREETS AND SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

32. ALL RIGHT-OF-WAY AND CURB TAPERS ARE 20:1 UNLESS OTHERWISE NOTED.

33. ALL TOPOGRAPHY IS FROM AERIAL SURVEY.

34. TAX PARCELS: 213-041-13, 213-041-25, 213-041-23, 213-041-22, 213-041-20, 213-041-19, 213-041-18, 213-041-21, 213-041-24.

35. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4225) OR VISIT <http://www.charlotte.org/Department/Transportation/Street-Maintenance/Forms.htm>

36. PER SECTION 16-172(a) OF CITY CODE AND SECTION 16.0 OF THE CITY'S POST CONSTRUCTION CONTROLS. CONSTRUCTION WILL BEGIN IN SEPTEMBER OF 2013 AND WILL BE COMPLETED WITHIN TWO YEARS.

37. CONTACT BOB STALEY AT 704-432-1562 FOR RIGHT OF WAY USE PERMIT AND LINDA POSSANT FOR NON-STANDARD ENCROACHMENT PERMITS AT 800-722-5461.

DEVELOPMENT DATA

EXISTING ZONING: R-3 WITH THREE SAVE INCENTIVES

TOTAL SITE AREA: 78.82 AC. (PHASE 1 AND PHASE 2)

NET SITE AREA: 13.28 AC./PHASE 1, 42.32 AC./PHASE 2

LESS DEDICATED R/W: 1.23 AC.

TOTAL TREE SAVE/NATURAL AREA: 2.33 AC./PHASE 1 + 10.85 AC./PHASE 2 = 13.28 AC. (17.55%)

COMMON OPEN SPACE: 1.88 ACRES

CONVENTIONAL DENSITY ALLOWED (3/ACRE): 227 LOTS

PROPOSED # LOTS: 79 (11 LOTS/PHASE 1, 68 LOTS/PHASE 2)

LOT CRITERIA ALLOWED:

- MIN. LOT AREA: 10,000 S.F.
- MIN. LOT WIDTH: 30' FROM BOC
- MIN. FRONT SETBACK: 30' FROM BOC
- MIN. SIDEYARD CORNER LOT: 10'
- MIN. REAR YARD: 40'
- MAXIMUM BUILDING COVERAGE 30% (15,000 OR GREATER)

PCCO Summary						
Original Parcel ID Number(s):	213-041-19					
Development Type:	Single Family					
Subject to PCCO? Y/N	Yes					
If NO, why?:	Central Catowba					
Watershed:	Central Catowba					
Disturbed Area (ac.):	4.65 + 21.69 = 26.34					
Site Area (ac.):	13.28 + 62.36 = 75.64					
	DA#1A	DA#1B	DA#1C	DA #2	DA#3	DA#4
Total on-site Drainage Area (ac.):	28.43	1.82	8.67	2.17	14.12	14.55
Existing Built-upon-area (SF):	20,200	0	8,712	875	13,425	5,358
Existing BUA to be removed (SF):	20,200	0	0	0	2,970	5,358
Existing BUA to remain (SF):	0	0	8,712	875	10,455	0
Proposed new BUA (SF):	238,077	10,144	104,501	0	170,302	181,279
Proposed % BUA:	19.2%	12.8%	27.7%	0	24%	24%
Density (High/Low)	Low	Low	Low	Low	Low	Low
Total Post-Project BUA for site:	704,303 SF					
Development or Redevelopment?	Development					
Natural Area Required (ac.):	13.24 Ac. (17.55%)					
Natural Area Provided (ac.):	2.33 + 10.95 Ac. = 13.28 Ac. (17.55%)					
Total Stream Buffer protected on-site (ac.):	N/A					
Transit Station Area? Y/N	No					
Distressed Business District? Y/N	No					
Mitigation Type (if applicable)	N/A					
Natural Area Mitigation? Y/N	No					
Buffer Mitigation? Y/N	No					
Total Phosphorus Mitigation? Y/N	No					

CHARLOTTE

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

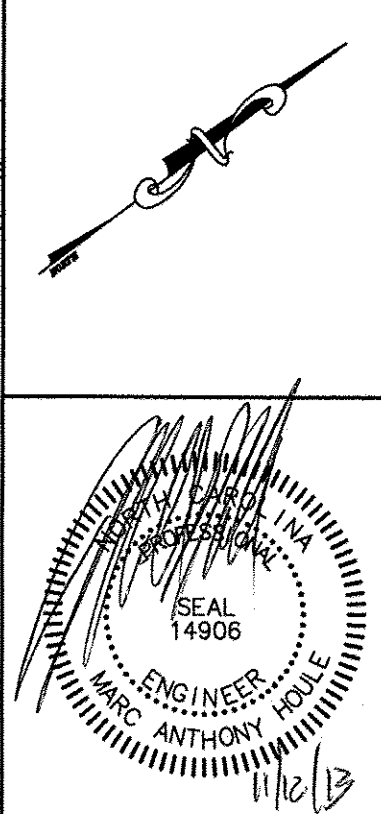
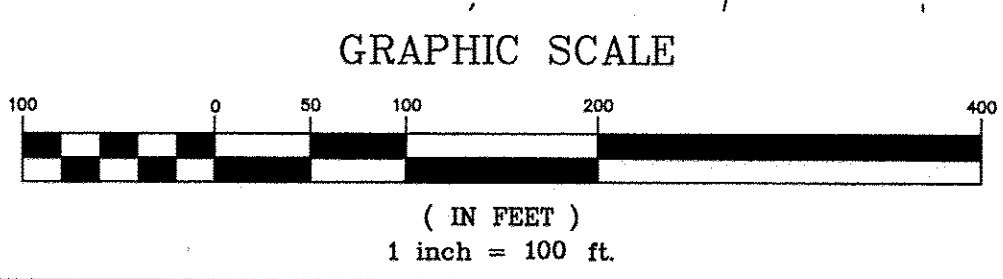
EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

- APPROVED**
By Brendan Smith at 12:31 pm, Dec 13, 2013
- APPROVED**
By Brendan Smith at 12:31 pm, Dec 13, 2013
- APPROVED**
By Gary Turner (704-336-4330) at 10:45 am, Dec 16, 2013
- APPROVED**
By Candice Leonard at 4:20 pm, Dec 13, 2013

APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 12-13-2013



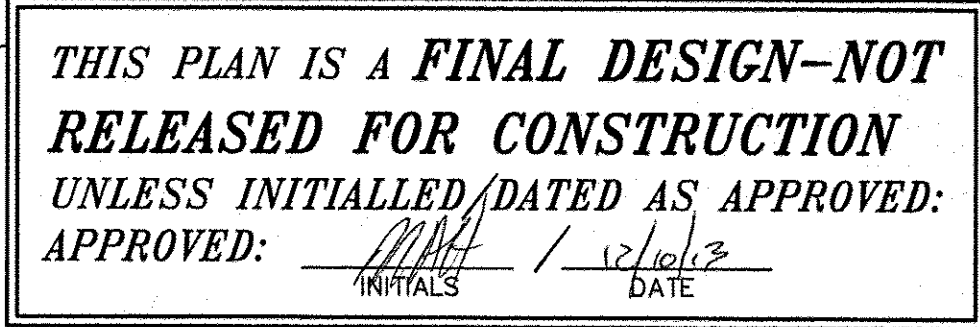
2		11/7/13	PER CITY COMMENTS	WFO
1		9/18/13	PER CITY COMMENTS	BY
ND.	DATE	REVISION		
SHEET TITLE				
COVER SHEET				
PROJECT				
DEERFIELD PHASE 2				
CITY OF CHARLOTTE, MECK. CO., N.C.				
FOR: KEN DOWD				
DRAWING NO.				
230-94				
SHT 1 OF 32 SHTS				

YARBROUGH-WILLIAMS & HOULE, INC.
Planning • Surveying • Engineering
780 Windsor Oak Court Charlotte, NC 28273
704.558.1890 704.558.0506(ext)

THIS PLAN IS A FINAL DESIGN-NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED:

APPROVED: _____

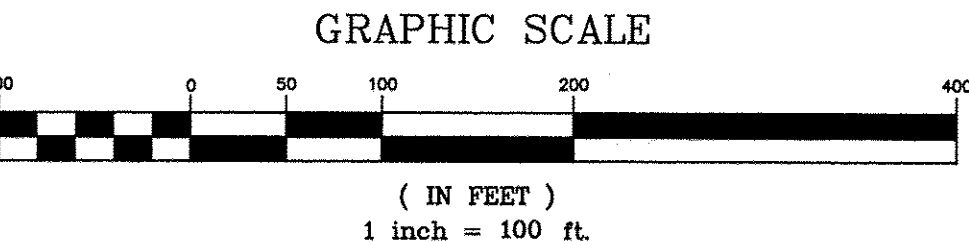
INITIALS DATE

[illegible]

LINE TABLE		
LINE	LENGTH	BEARING
L1	842.48	S69°32'57"E
L2	84.59	S63°44'42"W
L3	100.56	N85°56'56"W
L4	2618	N39°40'24"E
L5	110.04	N61°43'28"E
L6	723.09	N39°59'56"E
L7	7318	S65°34'27"W
L8	192.62	S50°00'04"E
L9	101.05	N35°56'03"W
L10	214.08	S51°15'27"E
L11	559.22	N50°19'34"E
L12	50.00	N50°19'34"E
L13	28.23	N47°03'45"E
L14	93.68	N34°19'36"W
L15	60.88	N38°44'33"E
L16	199.77	N19°55'22"E
L17	365.45	N32°43'36"W
L18	133.80	N32°43'36"W
L19	53.00	N14°32'45"E
L20	387.98	N50°19'36"W
L21	162.72	S14°18'17"E

CURVE TABLE						
CURVE	BEARING	CHORD	RADIUS	LENGTH	PC	PT
C1	N87°50'52"E	198.20	250.00	205.79	7+29.34	9+31.13
C2	S24°18'56"E	139.07	400.00	139.78	3+56.97	4+46.75
C3	N16°22'49"E	158.19	355.00	166.01	+0+28.23	3+54.62
C4	S12°42'52"E	158.19	355.00	166.01	2+44.32	3+54.62
C5	S78°33'53"E	156.84	300.00	156.68	1+01.71	2+71.29
C6	N66°51'44"E	274.15	300.00	284.72	12+76.55	15+61.67
C7	S50°41'56"E	87.97	230.00	88.52	+6+37.86	7+26.38
C8	N50°51'42"E	122.50	325.00	123.23	18+36.42	19+59.65
C9	S52°47'12"E	132.80	300.00	133.31	22+66.26	28+16.57
C10	N45°58'04"E	144.13	700.00	171.86	1+56.62	3+64.48
C11	N44°44'55"E	47.66	125.00	47.55	1+56.62	2+29.17
C12	S76°09'50"E	188.71	350.00	204.15	+6+28.23	9+72.43
C13	N44°22'49"E	44.06	150.00	44.22	+3+85.45	+4+29.67
C14	N33°41'04"E	98.37	150.00	100.23	+5+40.90	+6+13.61
C15	S32°26'04"E	98.31	160.00	99.59	+3+87.98	+4+37.91
C16	S10°01'16"E	136.91	150.00	142.17	+19+31.70	+20+78.97
C17	S33°49'44"E	305.08	534.00	309.58	+20+73.87	+23+83.25
C18	N29°19'57"E	81.75	250.00	82.12	+1+56.39	+1+21.89

NOTE: 32' O/S BC = 32' OFFSET
FROM BACK OF CURB



SITE PLAN

PROJECT
DEERFIELD PHASE 2
CITY OF CHARLOTTE, MECK. CO., N.C.
FOR: KEN DOWD

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2 OF 32 PAGES