

# SITE NOTES

- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A SURVEY PREPARED BY R.B. PHARR & ASSOCIATES, DATED NOV. 9, 2011.
- ALL ROAD IMPROVEMENTS AT EUCLID AVE. ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- NON-STANDARD ITEMS (E: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION. PLEASE CONTACT LINDA POISSANT (704-336-4025) FOR COORDINATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT <http://www.charmeck.org/Departments/Transportation/StreetMaintenance/home.htm>
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING BENCHMARKS AND OTHER REFERENCE POINTS THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL CONSTRUCTION ELEMENTS. ALL DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SHOWN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

# SITE NOTES CONT.

- WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
- ALL IMPROVEMENTS AND WORK SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL STANDARDS. IN THE ABSENCE OF SPECIFIC PRODUCT SPECIFICATIONS OR CONSTRUCTION PROCEDURE, CONTRACTOR SHALL REFER TO THE 2008 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS ON THESE PLANS AND SPECIFICATIONS REFERENCED ON THESE PLANS, CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
- IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS AND DETAILS ON THESE PLANS AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERIMETER FENCING AS APPROVED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
- ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY NCDOT AND CDOT.
- UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS SHALL BE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1205.
- UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
- CONTRACTOR SHALL VERIFY THAT ALL REQUIRED ENCROACHMENT PERMITS ARE IN PLACE BEFORE WORKING IN ANY EASEMENTS AND RIGHT-OF-WAYS. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE ENCROACHMENT DOCUMENTS.

# SITE NOTES CONT.

- CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO DRIVEWAY PERMITS AND "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND CONSTRUCTION DOCUMENTS TO ENGINEER AND OWNER.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
- CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITY AND IRRIGATION BEING INSTALLED AFTER PAVING OPERATIONS COMMENCE. COORDINATE WITH EACH UTILITY AND IRRIGATION INSTALLER FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED.
- THE PURPOSE OF THE POST CONSTRUCTION CONTROLS EASEMENT (PCCOE) IS TO PROVIDE STORM WATER CONVEYANCE AND CONTROL AND TREATMENT OF STORM WATER RUNOFF. BUILDINGS OR ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW, SYSTEM PERFORMANCE OR SYSTEM MAINTENANCE ARE PROHIBITED. THIS EASEMENT ALSO PROVIDES FOR UNRESTRICTED ACCESS FOR INSPECTION AND MAINTENANCE PURPOSES TO BE PERFORMED ON THE BMP AS REQUIRED BY THE CITY OF CHARLOTTE STORM WATER POST CONSTRUCTION CONTROLS ORDINANCE.
- ALL UTILITIES WITHIN PROJECT LIMITS SHALL BE UNDERGROUND.

# ZONING CODE SUMMARY

PROJECT NAME: THE COTTAGES ON EUCLID

PROJECT ADDRESS: — TAX PARCEL: 12106704

OWNER: EUCLID, LLC (CONTACT WENDY FIELD) PHONE # (704) 468-4486

OWNER ADDRESS: PMB 196, 336 S. SHARON AMITY RD. CHARLOTTE, NC 28211

PLANS PREPARED BY: ORSBORN ENGINEERING GROUP PHONE # (704) 749-1432

ZONING: O-2 JURISDICTION: CHARLOTTE

**PROPOSED USE: SINGLE FAMILY ATTACHED**

MAXIMUM BUILDING HEIGHT: 40 FEET PROPOSED MAXIMUM HEIGHT: 3 STORIES, <40 FEET

BUILDING COVERAGE: 15,798 SQ. FT. GROSS FLOOR AREA: 34,259 DENSITY: 18 UNITS/ACRE

**BUILDING SEPARATION: 16 FT. MIN.**

LOT SIZE: 1.01 SQ. FT./ACRES NUMBER OF BUILDINGS: 4 NUMBER OF UNITS: 18 SINGLE FAMILY ATTACHED FOR SALE

YARD REQUIREMENTS: REQUIRED BUFFERS:

SETBACK (FRONT): 27 FT. FROM B.O.C. FRONT: NO / YES — FT.

SETBACK (SIDE): — FT. REAR: NO / YES — FT.

SIDE YARD: 5 FT. SIDE (L): NO / YES — FT.

REAR YARD: 20 FT. SIDE (R): NO / YES — FT.

REQUIRED SCREENING:

FRONT: NO / YES

REAR: NO / YES

SIDE (L): NO / YES

SIDE (R): NO / YES

PARKING ONLY: NO / YES

**IMPERVIOUS COVERAGE: 31,919 (SQ. FT.) / ACRES**

**INTERIOR LANDSCAPING:**

REQUIRED: 3,192 SQ. FT. REQUIRED: 17,584 SQ. FT. (40%)

PROVIDED: 12,043 SQ. FT. PROVIDED: 17,883 SQ. FT. (40.7%)

**PARKING DATA:**

AUTOMOBILE: 1.5 SPACES/UNIT = 27 SPACES REQUIRED, 31 PROVIDED, 5 PARALLEL ON-STREET 18 GARAGE/CARPOT SPACES 8 PARKING PADS

BICYCLE: 2 SHORT TERM SPACES REQUIRED, 6 PROVIDED

LOADING: NONE REQUIRED

**SOLID WASTE:**

< 30 UNITS

RESIDENTS WILL UTILIZE CONVENTIONAL ROLLOUT CONTAINERS TO BE STORED IN GARAGES. COLLECTION WILL BE BY CITY OF CHARLOTTE AND WILL BE ALONG EUCLID AVE. ONLY.

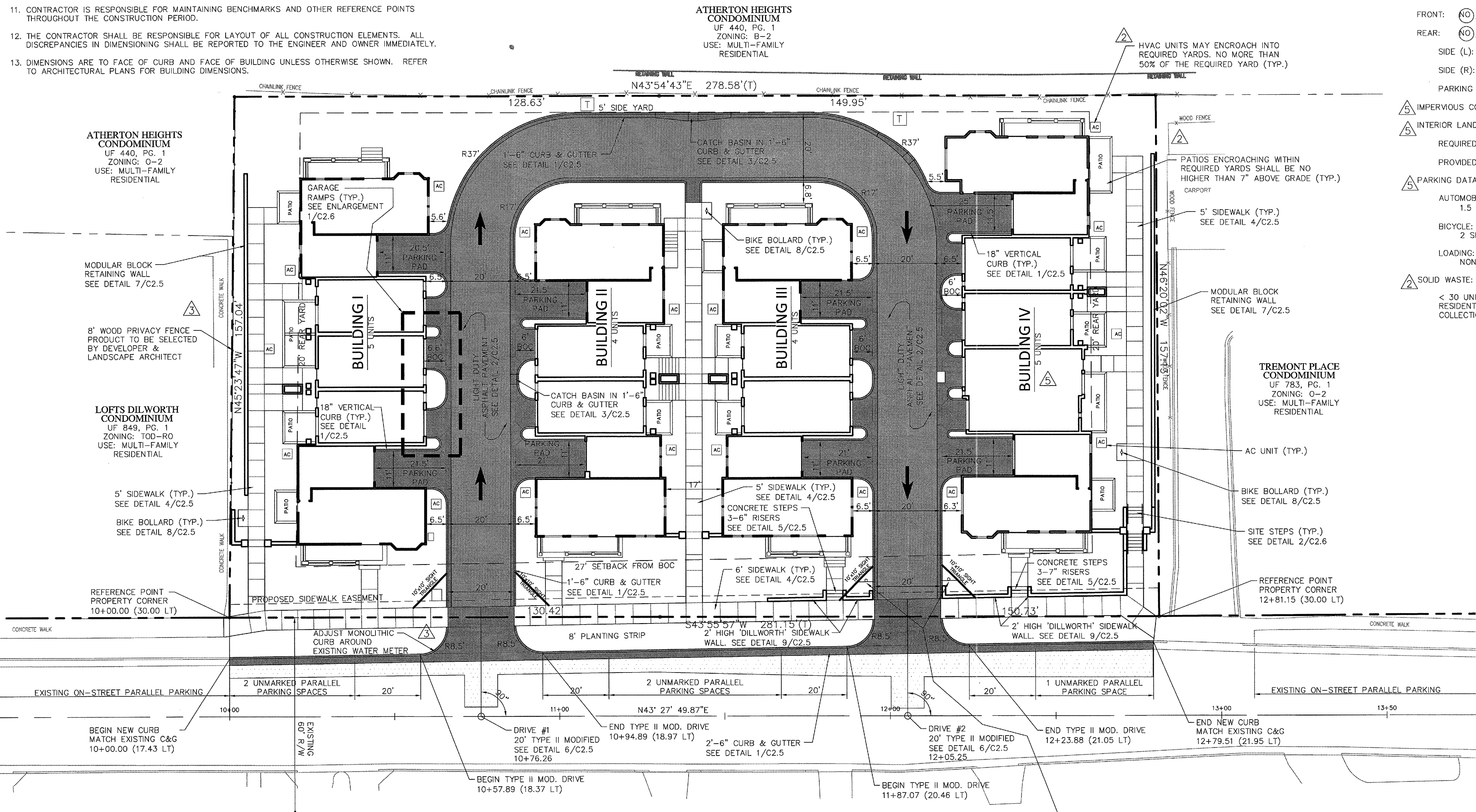
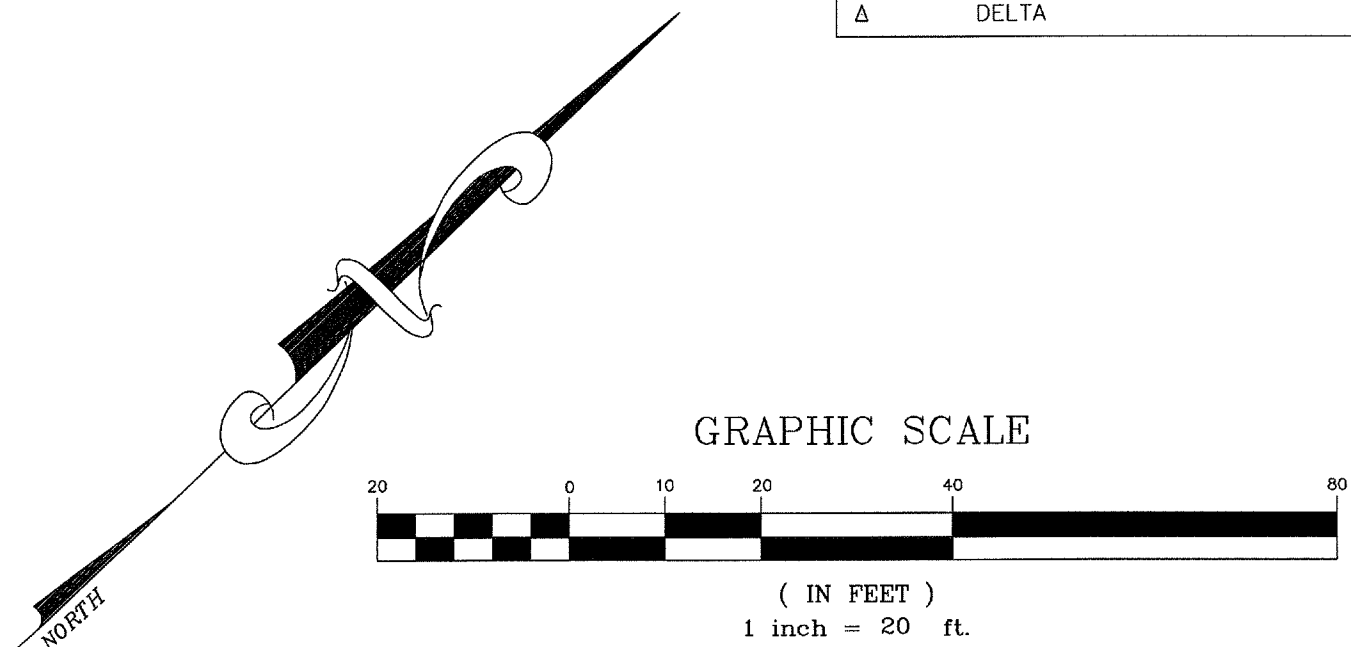
PCCO SUMMARY		
ORIGINAL PARCEL ID NUMBER	12106704	
DEVELOPMENT TYPE:	MULTI-FAMILY	
SUBJECT TO PCCO? Y/N	NO	
WATERSHED:	CENTRAL CATAWBA	
DISTURBED AREA (AC):	0.87 AC	
SITE AREA (AC):	1.01 AC	
	ON-SITE (MINUS S/W EASEMENT)	PUBLIC R/W (INCLUDING S/W EASEMENT)
TOTAL ON-SITE AREA (AC):	0.97 AC	
EXISTING BUILT-UPON-AREA (SF):	21,472 SF	
EXISTING BUA TO BE REMOVED (SF):	9,843 SF	5,044 SF
EXISTING BUA TO REMAIN (SF):	11,629 SF	
PROPOSED NEW BUA (SF):	18,987 SF	4,756 SF
PROPOSED % BUA	44.97%	
DENSITY (HIGH/LOW)	HIGH	
TOTAL POST-PROJECT BUA FOR SITE:	30,616 SF	N/A
DEVELOPMENT OR REDEVELOPMENT?	DEVELOPMENT	
NATURAL AREA REQUIRED (AC):	0	
NATURAL AREA PROVIDED (AC):	0	
TOTAL STREAM BUFFER PROTECTED	0	
ON-SITE (AC):	0	
TRANSIT STATION AREA? Y/N	YES	
DISTRESSED BUSINESS DISTRICT? Y/N	NO	
MITIGATION TYPE (IF APPLICABLE)	NO	
NATURAL AREA MITIGATION? Y/N	NO	
BUFFER MITIGATION? Y/N	NO	
TOTAL PHOSPHOROUS MITIGATION? Y/N	NO	

# PROJECT CONSTRUCTION SCHEDULE

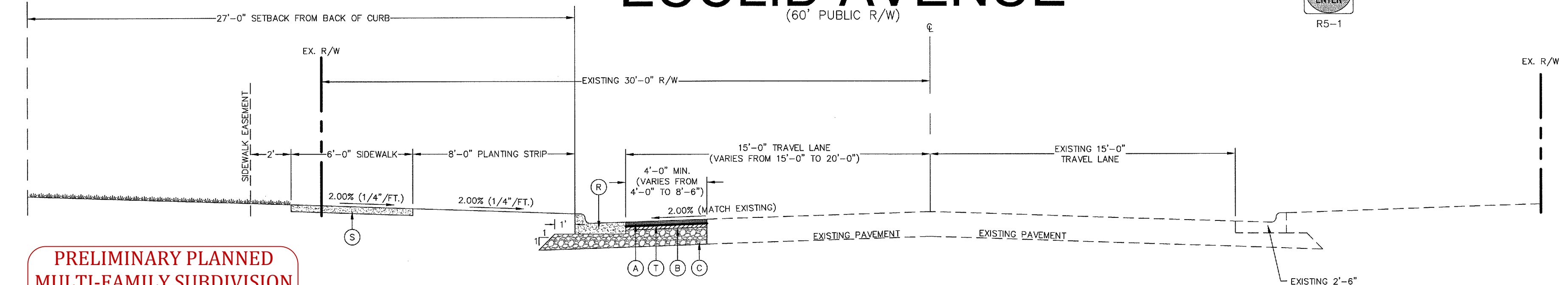
PHASE	ESTIMATED COMPLETION
BUILDING 1 & SITE INFRASTRUCTURE	JANUARY 2013
BUILDING 2	DECEMBER 2013
BUILDING 3	DECEMBER 2013
BUILDING 4	AUGUST 2014

# TYPICAL MINIMUM PAVEMENT SCHEDULE

- SURFACE COURSE**  
1" SF9.5A  
REFER TO CLDSM SPECIFICATIONS FOR MORE INFORMATION
- INTERMEDIATE COURSE**  
1 1/2" S9.5B OR SF9.5A  
REFER TO CLDSM SPECIFICATIONS FOR MORE INFORMATION
- BASE COURSE**  
8" COMPACTED AGGREGATE BASE COURSE.  
REFER TO CLDSM SPECIFICATIONS FOR MORE INFORMATION
- ASPHALT TACK COAT (IF NECESSARY)**  
REFER TO NCDOT STANDARD SPECIFICATION SECTION 605
- 2'-6" CONCRETE CURB & GUTTER**  
REFER TO DETAIL 0/C2.
- 4" CONCRETE SIDEWALK**  
REFER TO DETAIL 0/C2.



# EUCLID AVENUE (60' PUBLIC R/W)



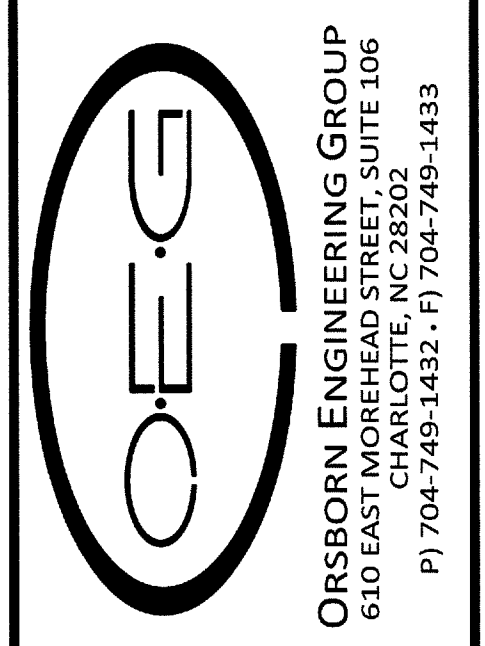
**PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 2/20/13

**A** EUCLID AVE. TYPICAL SECTION  
NTS

BASED ON CLDSM TYPICAL SECTION U-5A

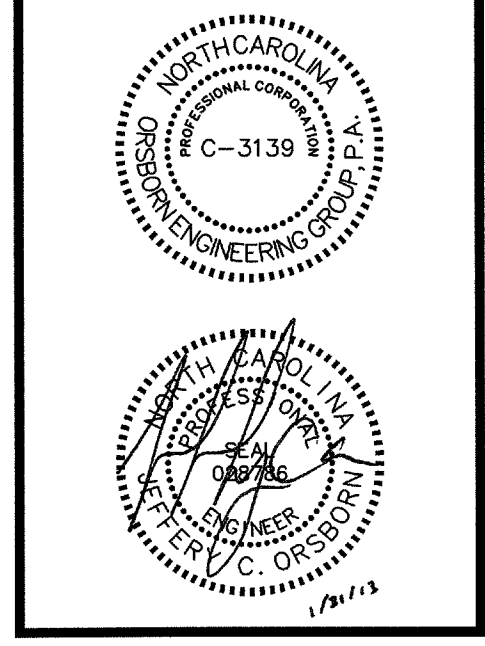
# ABBREVIATIONS

AC	ACRES
ALT	ALTERNATE
APPROX	APPROXIMATE
ASPH	ASPHALT
AV	AVENUE
AVG	AVERAGE
BFP	BACKFLOW PREVENTER
BLDG	BUILDING
BM	BENCHMARK
BO	BLOWOUT
BOC	BACK OF CURB
BOT	BOTTOM
CATV	CABLE TELEVISION
CB	CATCH BASIN
CDOT	CHARLOTTE DEPARTMENT OF TRANSPORTATION
CF	CUBIC FEET
C&G	CURB AND GUTTER
CJ	CONSTRUCTION JOINT
CLDSM	CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONST	CONSTRUCT(ION)
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DI	DROP INLET
DM	DIMENSION
DIP	DUCTILE IRON PIPE
DWG	DRAWING
E	EAST
ELEC	ELECTRIC
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
EXIST	EXISTING
EX	EXPANSION JOINT
FG	FINISHED GRADE
PH	FIRE HYDRANT
FT	FOOT/FEET
GALV	GALVANIZED
GV	GATE VALVE
HDPPE	HIGH DENSITY POLYETHYLENE
HW	HEADWALL
HORIZ	HORIZONTAL
ID	INSIDE DIAMETER
IN	INCHES
INVT	INVERT
JB	JUNCTION BOX
JCT	JUNCTION
L	LENGTH
LAT	LATITUDE
LB	POUND
LF	LINEAR FOOT/FEET
LP	LIGHT POLE
LONG	LONGITUDE
LT	LEFT
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
MPH	MILES PER HOUR
N	NORTH
NCENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NO OR #	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OCES	OUTLET CONTROL STRUCTURE
OD	OUTSIDE DIAMETER
OEG	ORSBORN ENGINEERING GROUP
OVDH	OVERHEAD
PED	PEDESTAL
P/L	PROPERTY LINE
PP	POWER POLE
REQD	REQUIRED
REV	REVISION
RR	RAILROAD
RT	RIGHT
R/W	RIGHT-OF-WAY
S	SOUTH
SAN	SANITARY SEWER
SCH	SCHEDULE
SECT	SECTION
SPEC	SPECIFICATION
STD	STANDARD
STS	STORM SEWER
TC	TIME OF CONCENTRATION
TCE	TEMPORARY CONSTRUCTION EASEMENT
TDH	TOTAL DYNAMIC HEAD
TEMP	TEMPORARY
TOB	TOP OF BANK
TOC	TOP OF CURB
TP	TYPICAL
UD	UNDERDRAIN
UG	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
YR	YEAR
&	AND
@	AT
Δ	DELTA



**SITE PLAN**  
FOR  
**THE COTTAGES ON EUCLID**  
CHARLOTTE, NORTH CAROLINA

**EUCLID, LLC**  
PMB 196  
336 S. SHARON AMITY RD.  
CHARLOTTE, NC 28211



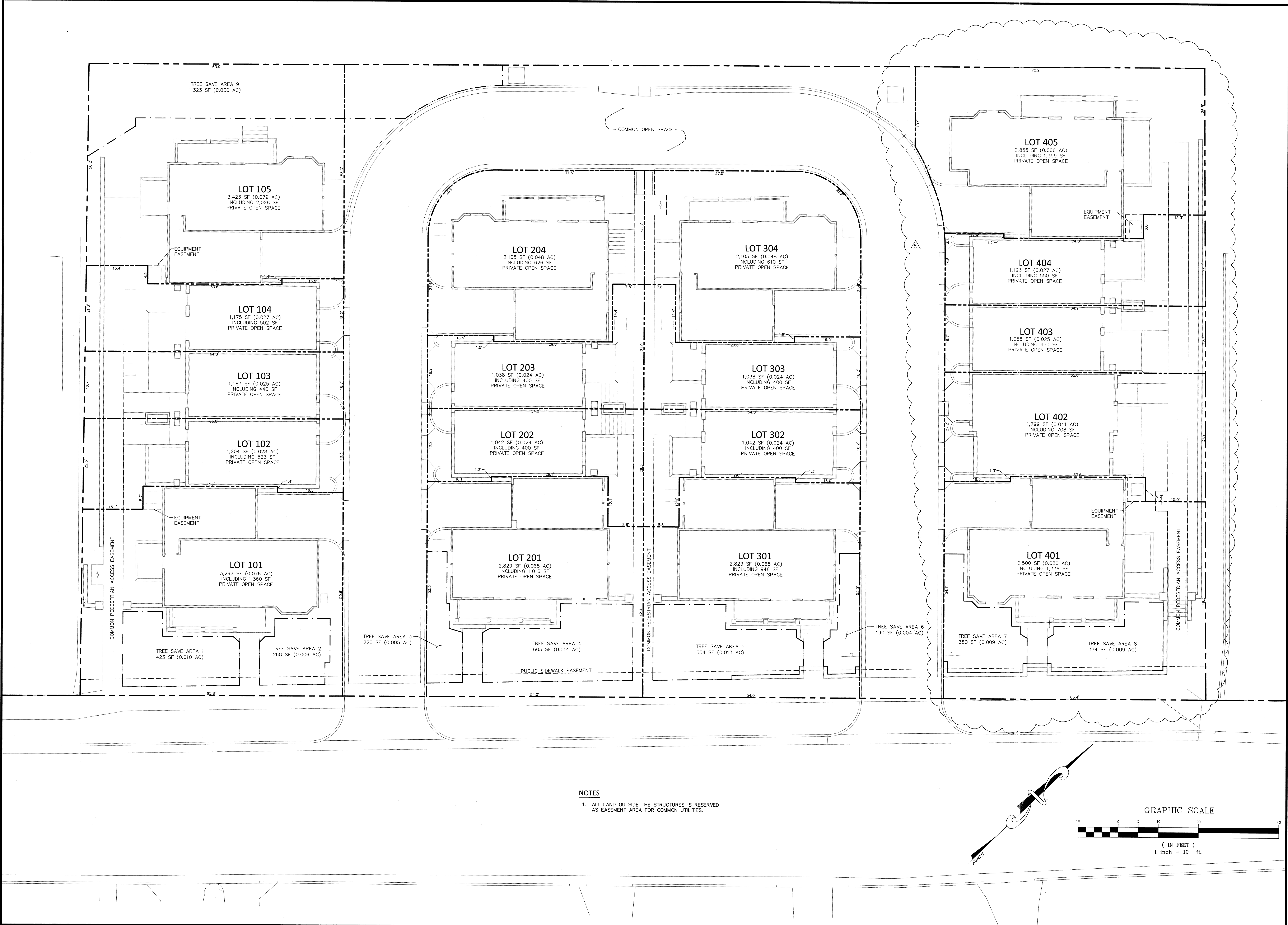
REVISIONS	DATE	BY	REVISIONS
1	01/31/13	REVISED PER CITY COMMENTS	
2	02/17/12	REVISED BUILDING 4	
3	08/07/12	FINAL COORDINATION FOR CONSTRUCTION	
4	07/27/12	PLANNED MULTI-FAMILY REVISION	
5	05/14/12	REVISED BUILDINGS	

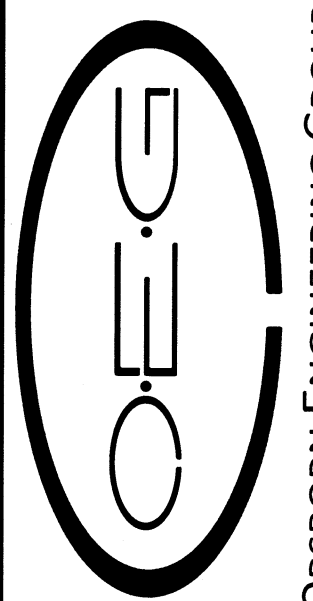
JOB # 11015  
DATE: 03/23/12  
SCALE: 1" = 20'  
DRAWN BY: JAW  
APPROVED BY: JCO

**C2.1**



December 10, 2012 2:28pm Rev: Initial  
P:\11015 2020 Euclid\DWG\11015 C2.1A LOT PLAN.dwg

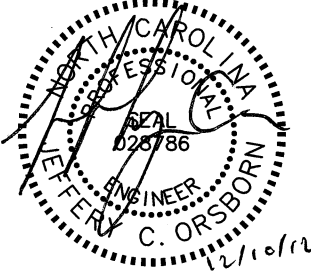
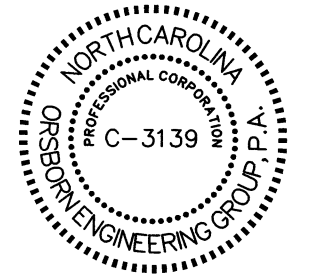




ORSBORN ENGINEERING GROUP  
PA  
610 EAST MOREHEAD STREET, SUITE 106  
CHARLOTTE, NC 28202  
P) 704-749-1432 • F) 704-749-1493

SUBDIVISION PLAN  
FOR  
THE COTTAGES ON EUCLID  
CHARLOTTE, NORTH CAROLINA

EUCLID, LLC  
PMB 196  
336 S. SHARON AMITY RD.  
CHARLOTTE, NC 28211



NO.	REVISIONS	DATE
1	REVISED BUILDING 4	12/10/12
2	FINAL COORDINATION FOR CONSTRUCTION	08/07/12

JOB # 11015  
DATE: 07/27/12  
SCALE: 1" = 10'  
DRAWN BY: JAW  
APPROVED BY: JCO

C2.1A