

VICINITY MAP  
N.T.S.

TBM 1  
NAIL IN POWER POLE  
ELEV.=661.24

TBM 2  
NAIL IN POWER POLE  
ELEV.=651.551

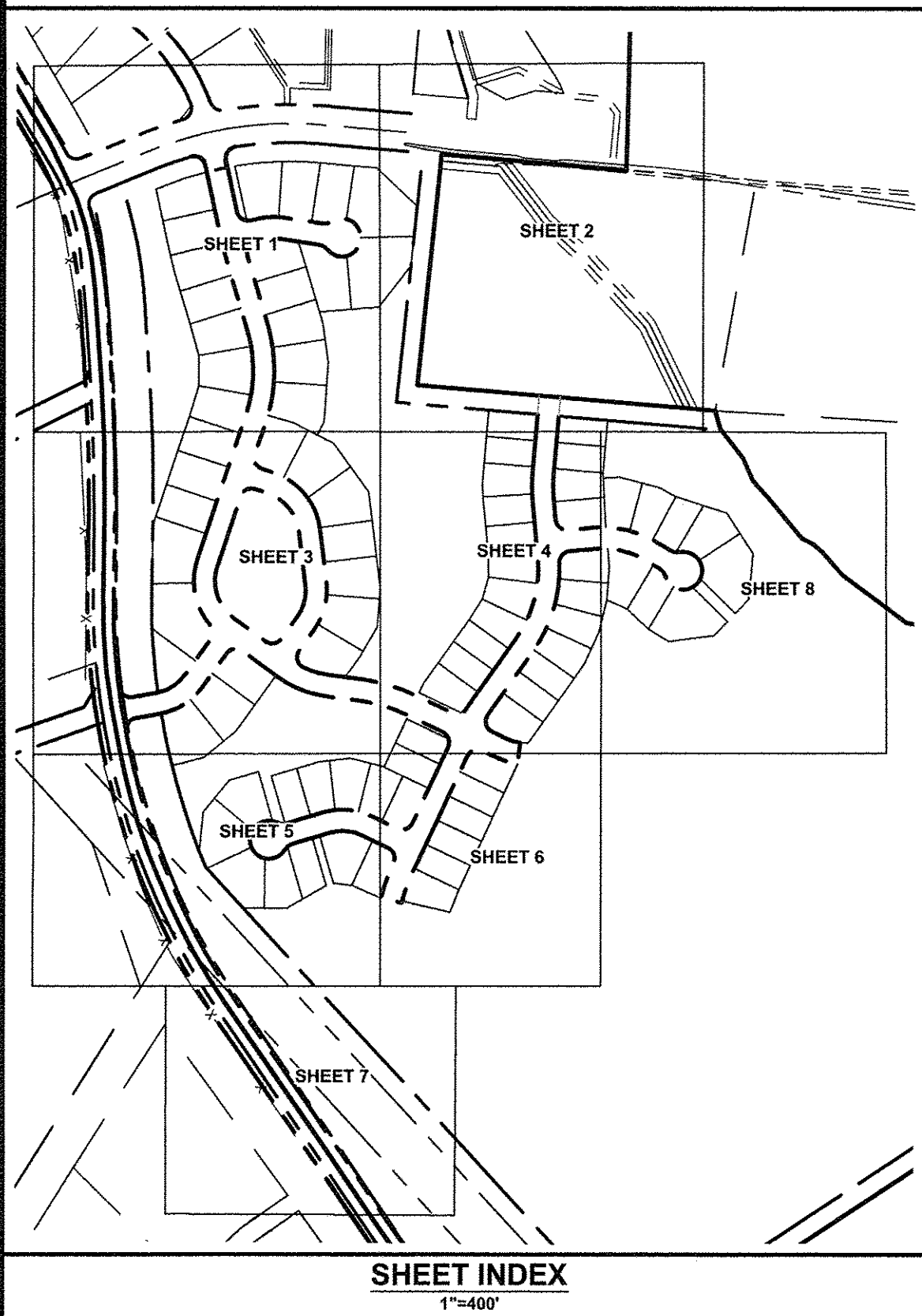
TBM 3  
RR SPIKE IN POWER POLE  
ELEV.=658.38

SEE APPROVED PLANS BY  
ESP ASSOCIATES, P.A.  
TITLED "GLENATE AT THE  
SANCTUARY PHASE 1" FOR  
CAROWINDS BLVD. EXTENSION  
INFORMATION

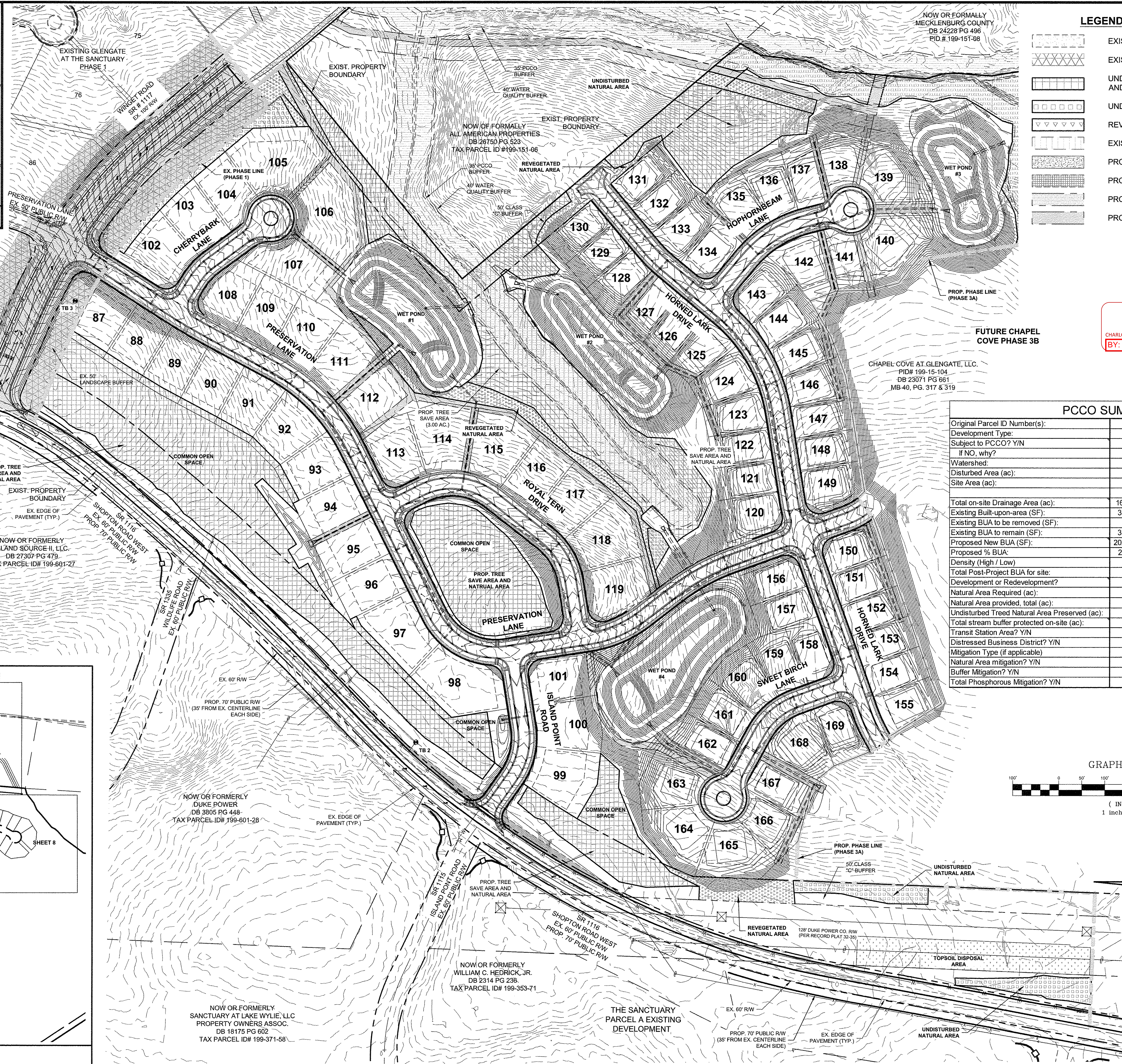
NOW OR FORMERLY  
SANCTUARY AT LAKE WYLIE, LLC  
DB 16493 PG 360  
TAX PARCEL ID# 199-161-09

PROP. TREE  
SAVE AREA AND  
NATURAL AREA

NOW OR FORMERLY  
ISLAND SOURCE II, LLC  
DB 27307 PG 479  
TAX PARCEL ID# 199-601-27



SHEET INDEX  
1"=400'



NOW OR FORMERLY  
MECKLENBURG COUNTY  
DB 24228 PG 496  
PID# 199-151-08

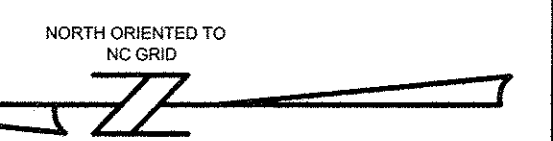
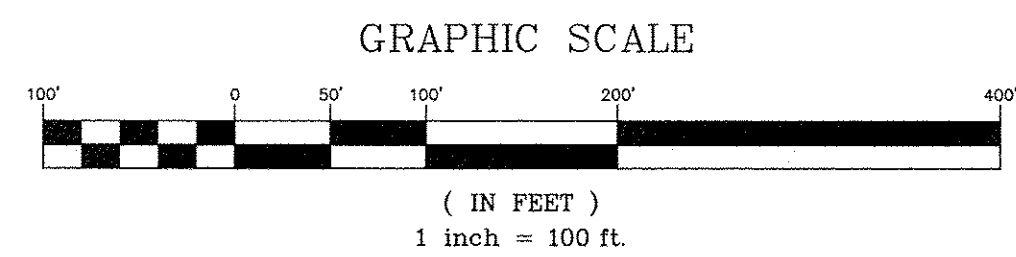
#### LEGEND

- EXIST. SIDEWALK
- EXIST. LANDSCAPE BUFFER
- UNDISTURBED NATURAL AREAS  
AND TREE SAVE AREAS
- UNDISTURBED NATURAL AREAS
- REVEGETATED NATURAL AREAS
- EXIST. PCCO BUFFER
- PROP. SIDEWALK
- PROP. SIGHT TRIANGLE
- PROP. STORM DRAINAGE EASEMENT (SDE)
- PROP. SANITARY SEWER EASEMENT

**APPROVED FOR  
CONSTRUCTION**  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
BY: Joshua Weaver 5-3-2013 10f 2

#### PCCO SUMMARY

Original Parcel ID Number(s):	199-151-04
Development Type:	Single-Family
Subject to PCCO? Y/N	Yes
If NO, why?	N/A
Watershed:	Western Catawba
Disturbed Area (ac):	47.16 ac.
Site Area (ac):	59.89 ac.
	DA#1 DA#2 DA#3 DA#4
Total on-site Drainage Area (ac):	16.14 ac. 6.28 ac. 5.69 ac. 17.47 ac.
Existing Built-upon-area (SF):	3,892 sf 0 sf 0 sf 16,218 sf
Existing BUA to be removed (SF):	0 sf 0 sf 0 sf 0 sf
Existing BUA to remain (SF):	3,892 sf 0 sf 0 sf 16,218 sf
Proposed New BUA (SF):	202,575 sf 118,850 sf 77,779 sf 166,794 sf
Proposed % BUA:	28.97% 43.45% 31.40% 22.39%
Density (High / Low):	High High High High
Total Post-Project BUA for site:	14.03 ac.
Development or Redevelopment?	Development
Natural Area Required (ac):	14.97 ac.
Natural Area provided, total (ac):	14.97 ac.
Undisturbed Treed Natural Area Preserved (ac):	10.03 ac.
Total stream buffer protected on-site (ac):	3.13 ac.
Transit Station Area? Y/N	NO
Distressed Business District? Y/N	NO
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N/A
Buffer Mitigation? Y/N	N/A
Total Phosphorous Mitigation? Y/N	N/A



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**ESP**

NORTH CAROLINA  
LICENSE NO.:  
C-0587  
ESP ASSOCIATES, P.A.

NORTH CAROLINA  
REGISTERED  
CIVIL ENGINEER  
025775  
JAMES E. SIMMONS  
5-27-13

NO.	DATE	REVISION	REVISED PER AGENCY COMMENTS	REVISED PER CITY OF CHARLOTTE AND NC DOT COMMENTS
1	01/21/2013			
2	03/27/2013			

OVERALL PHASE 3A GRADING PLAN

CHAPEL COVE PHASE 3A

CHARLOTTE ETI, NC

PROJECT INFORMATION	
PROJECT MANAGER:	DES
DESIGNED BY:	APG
DRAWN BY:	MUS
PROJECT NUMBER:	U116.463
ORIGINAL DATE:	10/11/2012

SHEET: **C5.0**