

PER CITY OF MT. HOLLY - HUNTERSVILLE
ULTIMATE CROSS SECTION WILL BE
40' ROAD CENTER LINE OF EXISTING
LANES + 8' BUREAU OF PLANNING
STANDARD CROSS SECTION. THE
ULTIMATE R/W WILL BE 60' TOTAL
WIDTH FROM THE EXISTING R/W
ACROSS THE STREET.

EXISTING DRAINAGE
FIELD COORDINATED
FIELD LOCATION TO BE
END AT PROPERTY LINE
AT PROPERTY LINE

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
By Brent Wilkinson JULY 22, 2013
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

DEVELOPMENT SUMMARY:

1. TAX PARCEL NUMBER
-081-376-15
2. SITE JURISDICTION
CITY OF CHARLOTTE
3. TOTAL SITE AREA
-4.69 ACRES AS SURVEYED
-4.23 ACRES PROPOSED SITE
-4.33 ACRES PROPOSED SITE
-R-17 MF (MULTI-FAMILY DISTRICT)
4. EXISTING
-CATAWBA RIVER / LAKE WYLE PROTECTED WATERSHED
-MULTI-FAMILY ELDERLY APARTMENTS (SENIOR/ELDERLY HOUSING)
5. PROPOSED
-30' SETBACK FROM FUTURE ROW (SECTION 9.3.06(1))
-50' REAR YARD
6. DIMENSIONAL REQUIREMENTS
-TOTAL RESIDENTIAL UNITS
8. DENSITY
17 UNITS / ACRES
14.32 UNITS / ACRES (2 UNITS / 1.33 ACRES)
9. BUILDING HEIGHT
10. BUILT UPON AREA
11. OPEN SPACE
12. TREE SHADE
13. NATURAL AREA
14. VEHICLE PARKING
15. OFF STREET SERVICES

LAYOUT NOTES:

1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE
2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS
3. LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, FACE OF WALL AND BUILDING
5. ALL CURB RADI SHALL BE 50' UNLESS OTHERWISE NOTED.
6. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF
7. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT CHARLOTTE-MECKLENBURG LAND
8. DEVELOPMENT STANDARDS AND SPECIFICATIONS.
9. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED.
10. SHALL BE COORDINATED WITH DUNE POWER, AIR, AND TIME WARNER
11. MUTED STANDARDS AND SPECIFICATIONS.
12. THIS PROJECT TO ADHERE TO CURRENT CITY OF CHARLOTTE ZONING ORDINANCE. UNLESS
13. OTHERWISE STATED IN THE APPROVED RECORDING DOCUMENTS.
14. NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK
15. PAVING, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A
16. PER SECTION 18-176(b) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION
17. CONSTRUCTION CONTROLS REPERT'S PROCS) MUST BE RECORDED PRIOR TO THE
18. PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMPs AND
19. DETENTION SYSTEMS MUST BE PROVIDED.
20. SHALL BE STAKED IN THE FIELD AND VERIFIED BY THE LANDSCAPE ARCHITECT.
21. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
22. REFER TO UTILITY PLAN FOR ADDITIONAL INFORMATION. ALL UTILITIES SHALL BE PLACED
23. REFER TO SITE DETAILS FOR ADDITIONAL INFORMATION.
24. REFER TO SIGN DRAWINGS FOR ADDITIONAL INFORMATION.
25. REFER TO DRAINAGE PLAN FOR MT. HOLLY-HUNTERSVILLE RD IMPROVEMENTS.

GENERAL NOTES:

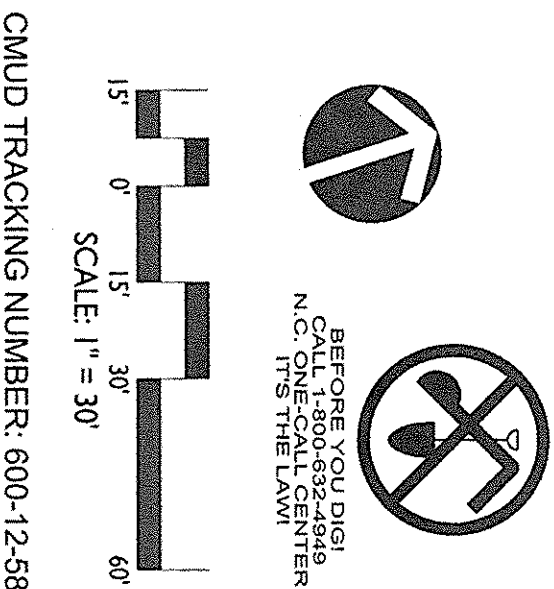
1. SITE SURVEY INFORMATION PROVIDED BY:
NORTHSTAR LAND SURVEYING, INC.
DATED NOVEMBER 20, 2012
2. PROJECT ESTIMATED DATE OF COMPLETION: 2015

CATAWBA SENIOR HOUSING
MT. HOLLY-HUNTERSVILLE ROAD
Charlotte, NC | Charlotte-Mecklenburg Housing Partnership, Inc.
LAYOUT PLAN

DATE: March 5, 2013
DESIGNED BY: YJ/HEK
DRAWN BY: YJ/HEK
CHECKED BY: ST
Q.C. BY: ST
SCALE: 1" = 30'
PROJECT #1011314

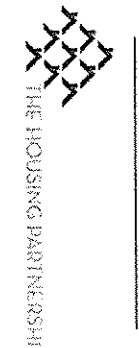
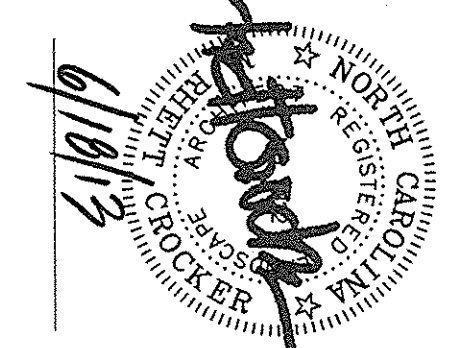
REVISIONS:
05/13/13 PER CITY / NCDOT COMMENTS
06/14/13 PER CITY / NCDOT COMMENTS

SHEET #:
C-2.0



CMUD TRACKING NUMBER: 600-12-587

NarmourWright



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