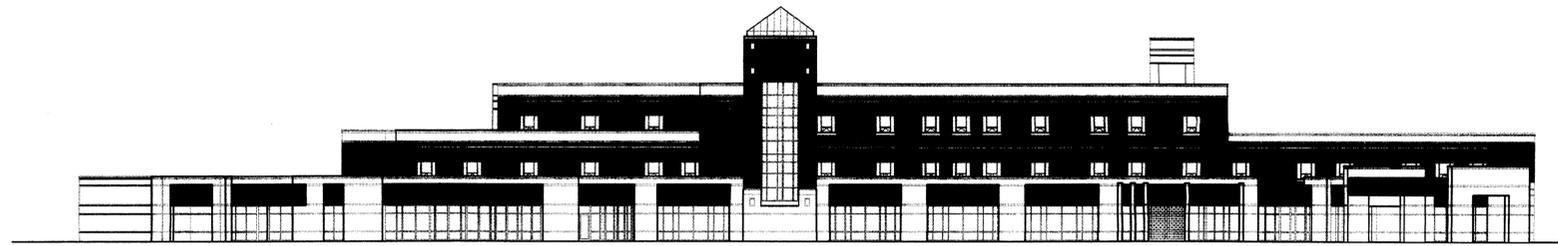


Presbyterian HOSPITAL

EAST CAMPUS MECKLENBURG COUNTY, NC



Project Number: H-0767
DHSR Project #HL-7874

VOLUME I
CON #F-7648-06

ARCHITECTURAL and INTERIORS:
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 Charlotte, NC 28204
 704-372-2740
 www.McCullochEngland.com



Meck. Co., North Carolina

Presbyterian HOSPITAL
EAST CAMPUS MECKLENBURG COUNTY, NC

CIVIL

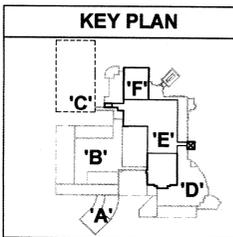
- TECHNICAL DATA SHEET
- SITE PLAN
- OFFSITE TRANSPORTATION IMPROVEMENTS PLAN
- BUILDINGS A & B CONCEPTUAL BUILDING ELEVATIONS
- SITE SURVEY
- L 1.1 INITIAL CLEARING DEMOLITION PLAN
- L 1.2 FINAL CLEARING DEMOLITION PLAN
- L 2.0 OVERALL SITE PLAN
- L 2.1 SITE PLAN SOUTH
- L 2.2 SITE PLAN NORTH
- L 2.3 SITE PLAN ENLARGEMENTS
- L 2.3A INTERSECTIONS TURNING TEMPLATES
- DA5 COMPONENT DRAINAGE AREA PLAN
- L 3.0 STORM WATER MANAGEMENT PLAN
- L 3.1 INITIAL EROSION CONTROL PLAN SOUTH
- L 3.2 INITIAL EROSION CONTROL PLAN NORTH
- L 3.3 MASS GRADING EROSION CONTROL PLAN SOUTH
- L 3.4 MASS GRADING EROSION CONTROL PLAN NORTH
- L 3.5 MASS GRADING PLAN SOUTH
- L 3.6 MASS GRADING PLAN NORTH
- L 3.7 FINAL EROSION CONTROL PLAN SOUTH
- L 3.8 FINAL EROSION CONTROL PLAN NORTH
- L 3.9 GRADING STORM DRAINAGE PLAN SOUTH
- L 3.10 GRADING STORM DRAINAGE PLAN WEST
- L 3.11 GRADING STORM DRAINAGE PLAN NORTH
- L 3.12 GRADING STORM DRAINAGE PLAN EAST
- 1 of 6 CMJ COVER SHEET
- 2 of 6 CMJ PERMIT SHEET
- 3 of 6 HEALTHCARE LOOP DRIVE (EX 55MH TO 55MH NO. 7)
- 4 of 6 HEALTHCARE LOOP DRIVE (55MH NO. 7 TO 55MH NO. 15)
- 5 of 6 HEALTHCARE LOOP DRIVE (55MH NO. 11 TO 55MH 15)
- 6 of 6 PRESBYTERIAN HOSPITAL DRIVE
- L 4.1 UTILITY PLAN SOUTH
- L 4.2 UTILITY PLAN NORTH
- L 4.3 SANITARY SEWER PROFILES
- L 5.1 PRESBYTERIAN HOSPITAL DRIVE PLAN & PROFILES
- L 5.2 PRESBYTERIAN PARKWAY ISD PLAN & PROFILES
- L 5.2A PRESBYTERIAN HOSPITAL TEMPORARY DRIVE ISD PLAN & PROFILE
- L 5.3 PRESBYTERIAN HOSPITAL DRIVE ISD PLAN & PROFILE
- L 5.4 HEALTHCARE LOOP DRIVE PROFILES - PRIVATE
- L 5.5 HEALTHCARE LOOP DRIVE PROFILES - PRIVATE
- L 5.6 PRESBYTERIAN HOSPITAL DRIVE OFFSITE PLAN & PROFILES
- L 5.6 EC PRESBYTERIAN HOSPITAL DR. & PRESBYTERIAN PKWY. EROSION CONTROL PLAN
- L 5.7 PRESBYTERIAN PARKWAY PLAN & PROFILES
- L 5.8 PRESBYTERIAN HOSPITAL DRIVE & PRESBYTERIAN PARKWAY PAVEMENT MARKING PLAN
- L 6.1 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.2 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.3 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.4 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.5 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.6 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.7 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.8 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS
- L 6.9 PRESBYTERIAN HOSPITAL DRIVE CROSS-SECTIONS

- L 6.10 PRESBYTERIAN PARKWAY CROSS-SECTIONS
- L 6.11 PRESBYTERIAN PARKWAY CROSS-SECTIONS
- L 6.12 PRESBYTERIAN PARKWAY CROSS-SECTIONS
- L 6.13 PRESBYTERIAN PARKWAY CROSS-SECTIONS
- L 6.14 WALL PROFILES
- L 7.0 OVERALL LANDSCAPE PLAN
- L 7.1 LANDSCAPE PLAN SOUTH
- L 7.2 LANDSCAPE PLAN NORTH
- L 7.3 LANDSCAPE DETAILS
- L 7.4 ENHANCED LANDSCAPE PLAN
- L 8.1 SITE CONSTRUCTION DETAILS
- L 8.2 SITE CONSTRUCTION DETAILS
- L 8.3 SITE CONSTRUCTION DETAILS
- L 8.4 SITE CONSTRUCTION DETAILS
- L 8.5 SITE CONSTRUCTION DETAILS
- L 9.1 BMP DETAILS
- L 9.2 BMP DETAILS
- S 1.0 STRUCTURAL DETAILS

NC HIGHWAY 24/27 ROADWAY IMPROVEMENTS

- SHEET 1
- SHEET 1-A
- SHEET 2 THRU 2-B
- SHEET 3 THRU 5
- SHEET 6 THRU 8
- SHEET EC-1 THRU EC-3
- SHEET FM-1 THRU FM-5
- SHEET X-1 THRU X-23
- TITLE SHEET
- STANDARD SYMBOLS
- TYPICAL SECTIONS
- PAVEMENT REMOVAL PLANS
- ROADWAY AND DRAINAGE PLANS
- EROSION CONTROL PLANS
- PAVEMENT MARKING PLANS
- CROSS-SECTIONS

8/23/2008
APPROVED FOR CONSTRUCTION
C M P C



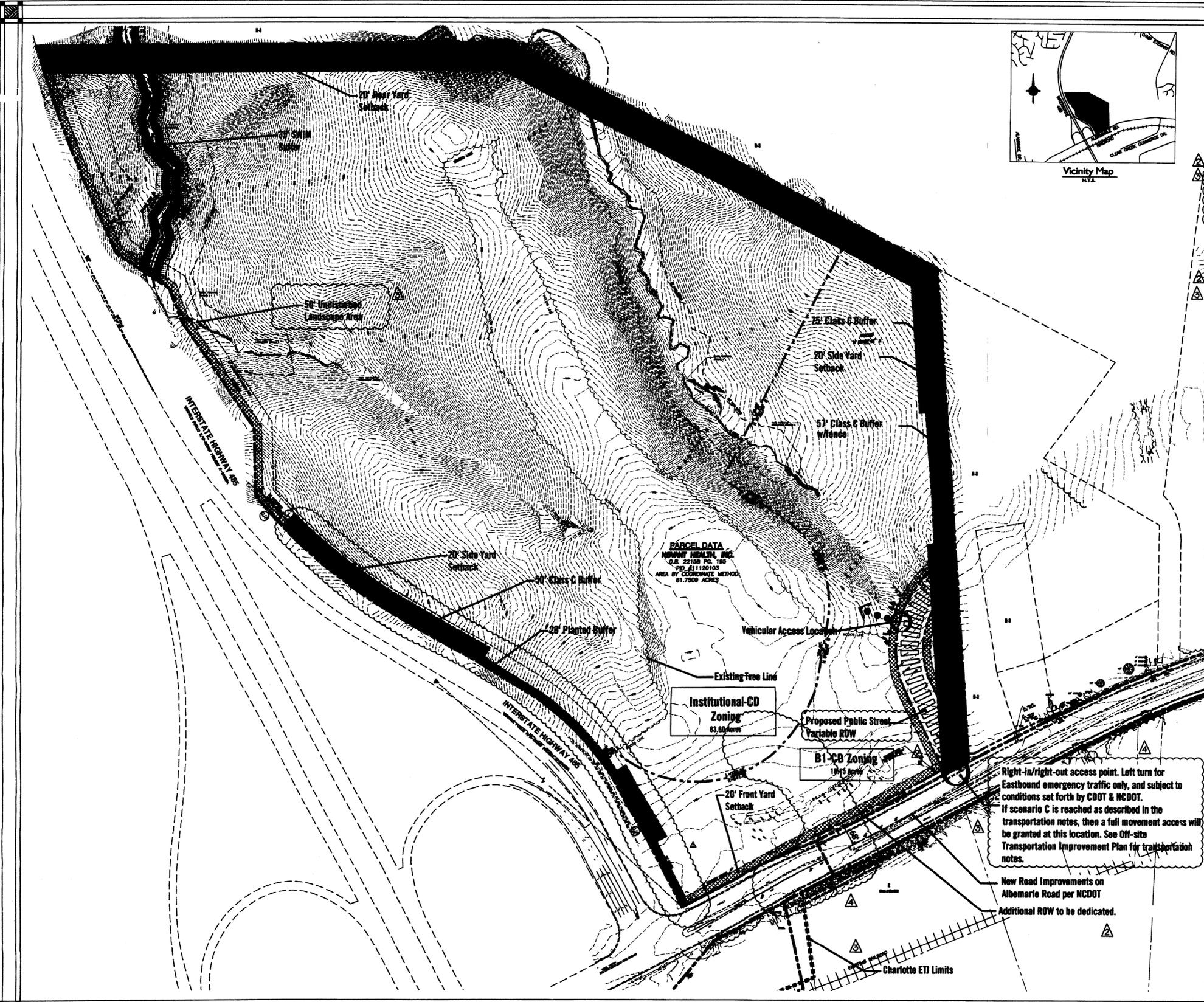
H0767 Project Number
 ES/ GO/ SA Drawn By
 Date

Revisions

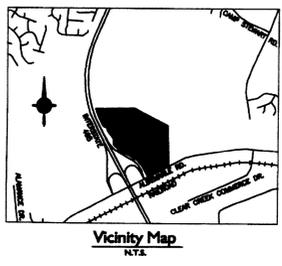
COVER SHEET

CS-1

S:\PROJECTS\HOSPITALS\Wornton\H-0767_East_Mkt_Hill\H0767_East_Construction_Documents\H0767_07/11/2008 11:01am



PARCEL DATA
 HOSPITAL HEALTH, INC.
 D.E. 22128 PG. 195
 202 81120103
 AREA BY COORDINATE METHOD
 81.7500 ACRES



- Presbyterian Hospital-Albemarle Road Site**
 Technical Notes
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases in accordance with Section 1.2 of the Zoning Ordinance.
 - Access to the site will be provided by driveway connections to a new public street that will connect to Albemarle Rd. as generally depicted on this site. Transportation improvements, if any are needed as determined by a Traffic Impact Analysis, will be incorporated into the site development process as the various portions of the site are developed. The petitioner will construct pedestrian facilities that connect the buildings on the site to the public sidewalk network and to each other. 6" planting strips and 0' sidewalks will be constructed on all public streets. Pedestrian lighting will be provided in the pedestrian areas within the site. In addition, the Petitioner will construct a pedestrian/bicycle connection from the Petitioner's site to the property that adjoins the rear of the site as part of overall connectivity to the area at such time as that adjoining site is developed and that there is a specific connecting need for such connectivity depicted as part of the site plan.
 - The proposed use of the property will be for the development of the site to accommodate hospital and hospital related uses, including parking and service areas, and associated supporting services, such as a private helipad, loading dock, and facilities such as retail areas and medical office uses. The total floor area for the various buildings and uses is specified on the site plan, but the Petitioner may shift floor area between buildings as long as the floor area is added to the retail component and the total amount of floor area that may be shifted between buildings will not exceed a total of 25,000 sq. ft.
 - All dumpsters will be screened with solid enclosures and gates.
 - The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping.
 - Parking will be provided which meets or exceeds the requirements of the Ordinance.
 - The height proposed for this site will not exceed 110' in height, exclusive of parapets, elevator, communications and utility facilities. Smaller buildings shown on the site plan will have clear glass on public street frontages and will have 14' sided arched awnings. In addition, utility or service areas that are located on any side of the building that faces any public street will be fully screened from view. Further, if any meters, junction boxes, or similar utilities are placed on the public street frontage of buildings, they will be adequately screened. Sidewalk will be installed along the loop road as generally depicted on the site plan as the loop road is developed.
 - Stormwater facilities will be designed to meet the post construction ordinance.
 - The petitioner will install or preserve a landscaped edge along the property boundary along the I-485 frontage. The setback width of this buffer will be 50' but may vary in the vicinity of buildings, retaining walls, or the proposed helipad landing site. In those cases, the minimum dimension may be reduced to 20'. The landscape area that is disturbed as part of the development, as generally depicted on the site plan, will be planted to meet Class 'C' standards, but the arrangement of the plant materials may be modified in the narrower areas and in particular, in the area of the private helipad landing site to provide for adequate clearance and visibility for flight operations. The remaining area along the I-485 frontage will remain undisturbed and no additional planting will be required in the undisturbed areas.
 - Any right of way that is required to accommodate transportation improvements on Albemarle Rd. identified in the Traffic Impact Study, and for other public construction related to the development of the site, will be acquired, dedicated, and conveyed to the appropriate transportation authority.
 - The Petitioner acknowledges that other standards development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
 - Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners" shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.

January 23, 2008, Initial submission
 Revised per staff comments March 21, 2008
 Revised per staff comments April 25, 2008
 Revised per Zoning Committee approval May 13, 2008

APPROVED BY
 CITY COUNCIL
 MAY 1 9 2008

Site Data
 Tax Parcel No.-11120103
 Site Area-81.7500 Acres
 Existing Zoning-R-3
 Proposed Zoning-INST(CB) & B1(CB)

Legend

- Setbacks and Yards
- Landscape Buffer
- Vehicular Access Points

1" = 120'

Right-in/right-out access point. Left turn for Eastbound emergency traffic only, and subject to conditions set forth by CDOT & NCDOT. If scenario C is reached as described in the transportation notes, then a full movement access will be granted at this location. See Off-site Transportation Improvement Plan for transportation notes.

New Road Improvements on Albemarle Road per NCDOT
 Additional ROW to be dedicated.

Presbyterian Hospital East Campus

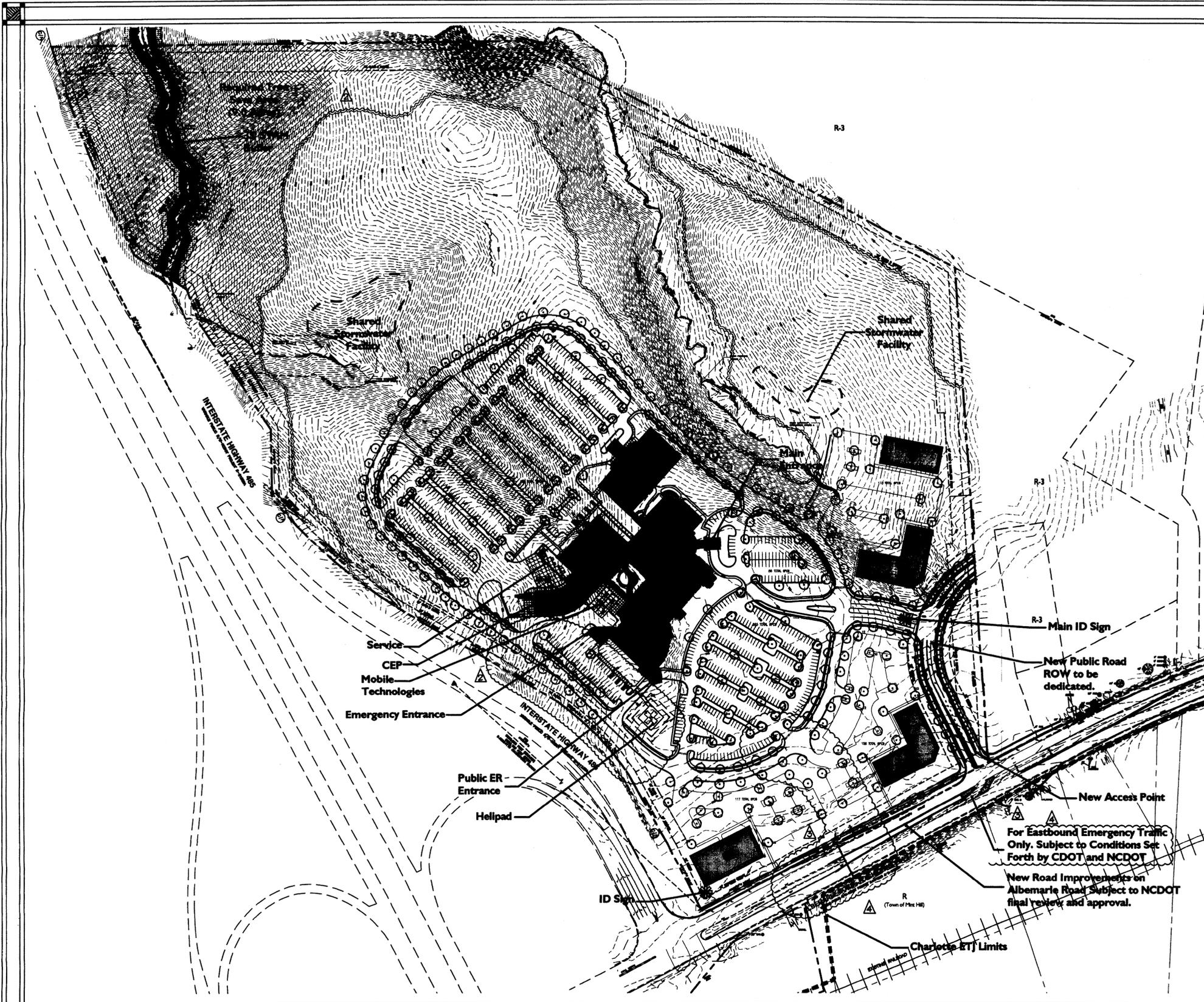
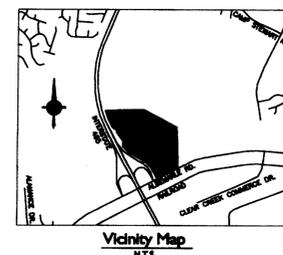
Tax Parcel #1-11120103
 Existing Zoning R3
 Proposed Zoning INST(CB) & B1(CB)
 Rezoning Petition # 2008-002

Conditional Use Rezoning

Project Number:	2008-002
Drawn By:	Shirley S. Safford
Designed By:	Shirley Safford
Date:	1/25/08

Technical Data Sheet

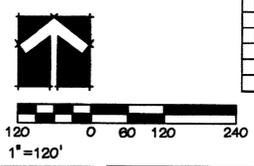
Project Number:	2008-002
Drawn By:	Shirley Safford
Designed By:	Shirley Safford
Date:	1/25/08



Site Data

Tax Parcel No.-11120103
 Site Area-81.7509 Acres
 Existing Zoning-R-3
 Proposed Zoning-INST(CD) & B1(CD)

Development Summary		
Bldg.	Use	Sq.Ft.
A	Hospital	
	50 Beds-Phase One	240,000
	Future 50 Additional Beds	120,000
	TOTAL 100 Bed Hospital	360,000
B	Medical Office	75,000
C	Medical Office	15,000
D	Retail/Commercial	20,000
E	Medical Office	25,000
F	Medical Office	25,000
	Total	620,000



Presbyterian Hospital East Campus

Tax Parcel #9 - 11120103
 Existing Zoning R3
 Proposed Zoning INST(CD) & B1(CD)
 Rezoning Petition # 2008-022



Conditional Use Rezoning

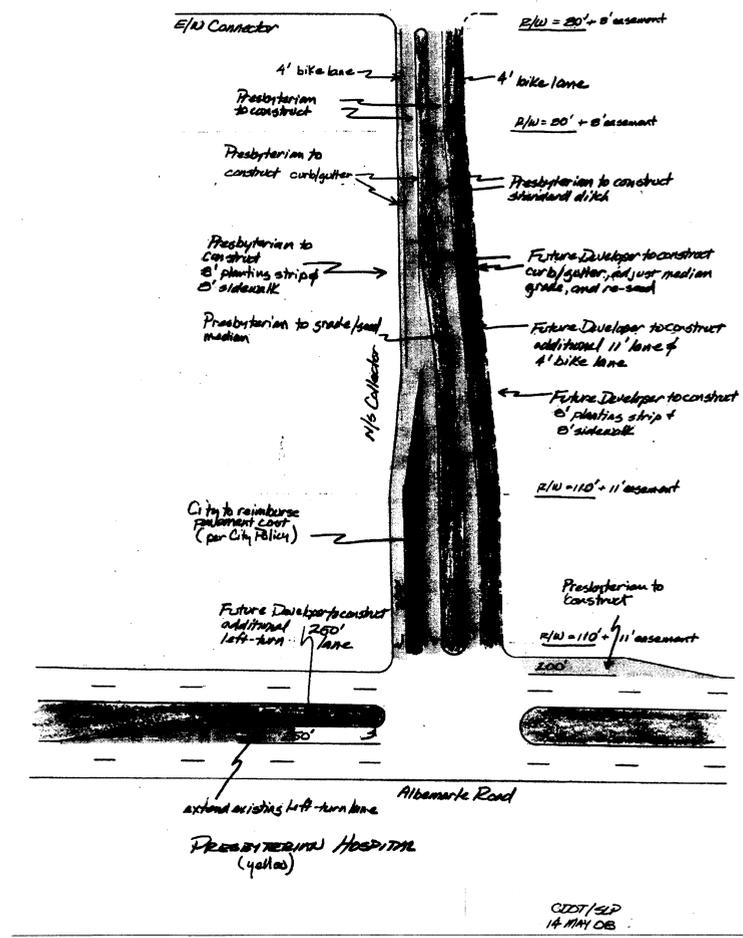
Project Number: 2008-022
 District No.: Site Services
 District No.: Site Services
 Date: 1/20/08

Site Plan

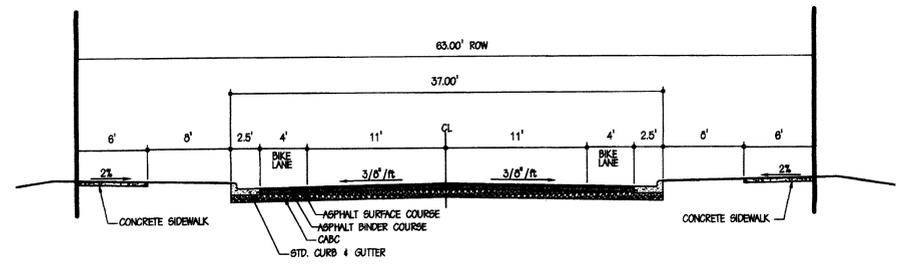
Address	
Self Comments	3/21/2008
Self Comments	4/23/2008
Self Comments	1/13/2009
Remove Emergency Easement	8/26/2008

For Eastbound Emergency Traffic Only. Subject to Conditions Set Forth by CDOT and NCDOT

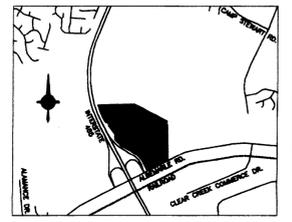
New Road Improvements on Albemarle Road Subject to NCDOT final review and approval.



North-South Collector Road Concept Plan
Figure A



East-West Connector Drive (Avenue)



Transportation Notes

- A. The Petitioner shall design, secure/obtain all necessary right-of-way and temporary construction easements, and construct the Permanent Off-Site Improvements ("PSI") - being: (a) the east-west connector road from the hospital property to its intersection with a proposed north-south major collector road; (b) the proposed north-south major collector road from its intersection with the east-west connector road to Albemarle Road (including the design [but not the acquisition or construction] of the centerline profile of the portion of the north-south major collector road beyond its intersection with the east-west connector road for a distance of 300'); and (c) signalization of the north-south collector road/Albemarle Road intersection, all in accordance with plans approved by CDOT and NCDOT. In conjunction with the obligation to construct the improvements listed above, the Petitioner will use good faith efforts to acquire the right-of-way and easements necessary for the proposed improvements. These good faith efforts will commence immediately upon the approval of the rezoning to accommodate the Hospital site.
 - B. In the event that, despite demonstrated good faith efforts, the Petitioner is unable to secure/obtain (or establish a contractual right to) all of the right-of-way and temporary construction easements necessary to construct the PSI within 90 days after approval of the preliminary subdivision plans as provided for in A above, Petitioner may ask the City of Charlotte to secure/obtain the right-of-way and temporary construction easements that Petitioner has not been able to secure/obtain. Such request may be made no later than 90 days after approval of the preliminary subdivision plans as provided for in A above and shall specify the right-of-way and temporary construction easements that Petitioner has not been able to secure/obtain. If Petitioner asks the City to so secure/obtain, the City shall notify Petitioner within 45 days after Petitioner's request whether it intends to secure/obtain the right-of-way and temporary construction easements. In the event that the City chooses to secure/obtain the remaining right-of-way and temporary construction easements, Petitioner shall reimburse the City for all land costs incurred to do so; provided, however, Petitioner shall not be required to reimburse the City for any land costs that are in excess of fair market value (as determined by an MIA appraiser mutually selected by the Petitioner and City or through a court proceeding). If the City notifies the Petitioner that it does not intend to secure/obtain the remaining right-of-way and temporary construction easements, or fails to secure/obtain the remaining right-of-way and temporary construction easements within 120 days after notifying Petitioner of its intent to do so, the Petitioner shall be relieved of its obligations under Section A above. Notwithstanding the preceding sentence, if the only reason that the City has failed to secure/obtain the remaining right-of-way and temporary construction easements is due to the pendency of a legal proceeding, the Petitioner shall not be relieved of its obligations under Section A above unless the City fails to secure/obtain the contested right-of-way and temporary construction easements at the conclusion of the legal proceeding.
 - In the event that the Petitioner is relieved of its obligations under Section A above, the Petitioner shall design and construct a public street on the Petitioner's site that will provide full access to the Petitioner's site until such time as the improvements defined above are in place, said street connecting to Albemarle Rd. at an intersection designed and approved by NCDOT and CDOT, and designed to connect to future streets that may be constructed that will provide alternate access to the Petitioner's site. The signalization for that intersection will be determined by the appropriate analysis to be reviewed by NCDOT and CDOT. Upon completion of the Hospital and the temporary intersection, and assuming all other requirements for a Certificate of Occupancy have been satisfied, the City will not object to the issuance of a Certificate of Occupancy for the Hospital.
 - C. In the event that Petitioner has completed construction of the Hospital but has not yet completed construction of the PSI, and Petitioner has not been relieved of its obligation to construct the PSI as provided in Section B above, then, assuming all other requirements for a Certificate of Occupancy have been satisfied, the City will not object to the issuance of a Certificate of Occupancy for the Hospital if Petitioner:
 - (i) Posts a performance bond for the east-west connector road (nominally 85' of right-of-way but up to 74' of right-of-way to accommodate left turn lanes at the intersection with the north-south major collector road and at the Hospital's main entrance) and the north-south major collector road (generally in conformance with that certain Concept Plan prepared by CDOT and dated May 14, 2008 which shows a 110' right-of-way at the intersection of Albemarle Road and tapers to an 80' right-of-way at the intersection with the east-west connector road) (the "Bonded Improvements") in an amount determined by the City using the methodology used for determining bond amounts for streets in the context of first subdivision plan approval, which bond may be called by the City if the Bonded Improvements have not been completed, suspended, and accepted by the City within twenty-four (24) months after the later of: (a) the date on which all necessary right-of-way and temporary construction easements have been secured; and (b) the date of issuance of the Certificate of Occupancy, and which bond may only be otherwise used to fund the cost of construction of the Bonded Improvements. The City shall release and return the bond to Petitioner if the City has not called the bond within twelve (12) months after the date on the bond could have been first called; and
 - (ii) Constructs a temporary full access (whether signalized or not) intersection from Albemarle Road directly onto the Hospital site in accordance with plans approved by the City and NCDOT.
- In the event that Petitioner constructs a temporary full access (whether signalized or not) intersection pursuant to Section B above, upon completion and opening of the PSI as defined in Section A above, if directed by CDOT, Petitioner shall, at its own cost and expense, remove, eliminate, or modify the temporary full access intersection in accordance with plans specified by NCDOT and CDOT.

NEW SHEET

Presbyterian Hospital East Campus

Tax Parcel #s - 11120103
 Existing Zoning: R3
 Proposed Zoning: INT(CD) & S1(CD)

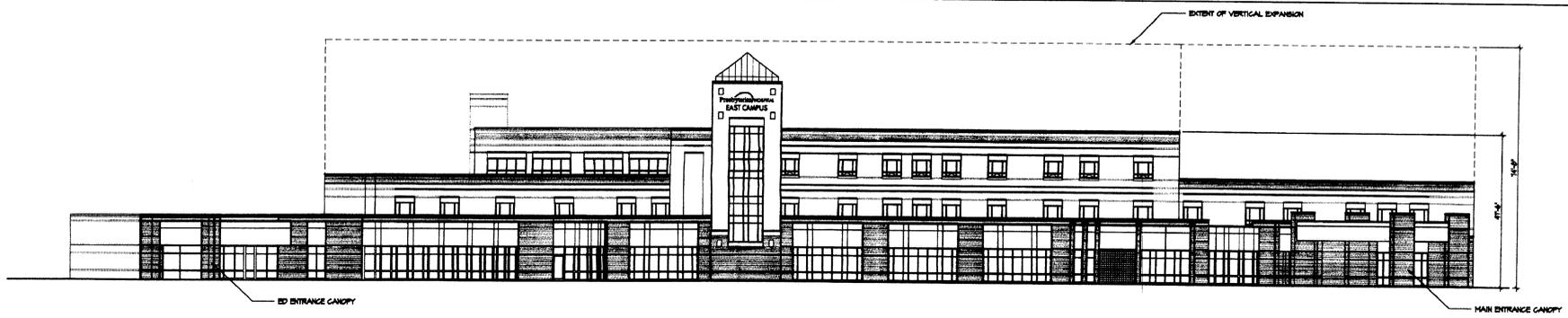
Petitioner:
 Presbyterian HEALTHCARE

Conditional Use Rezoning

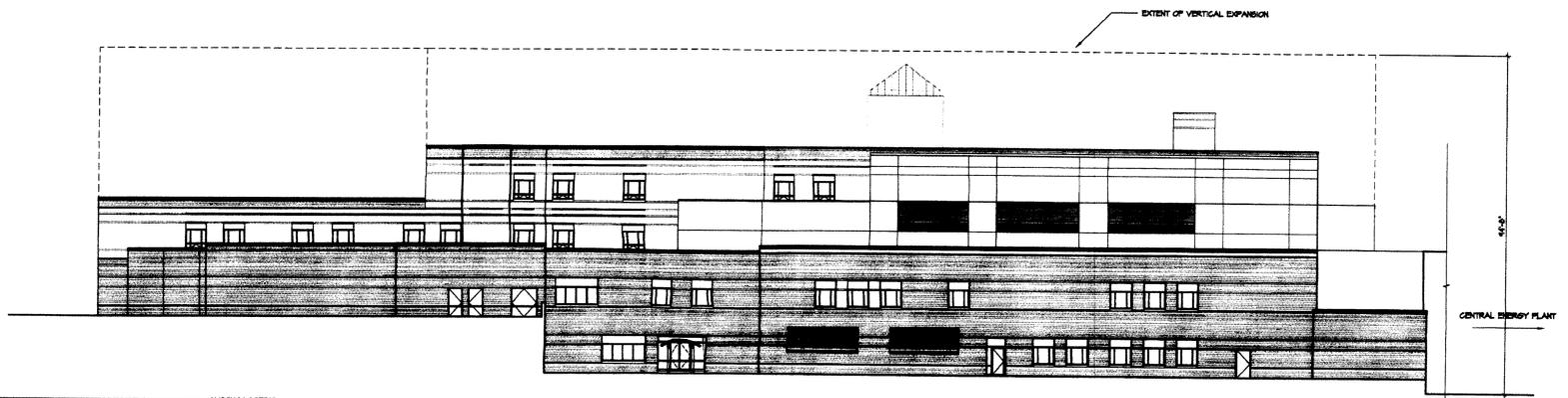
Project Number: 2845
 Drawn By: Site Solutions
 Designed By: Site Solutions
 Date: 1.25.08

Off-site Transportation Improvement Plan

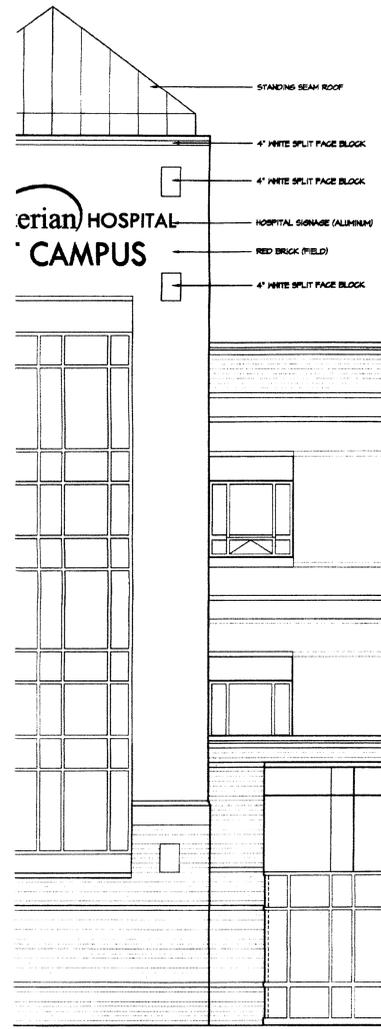
Revisions:
 Δ New Sheet 5.13.2008



FRONT HOSPITAL ELEVATION
SCALE: 1/8"=1'-0"

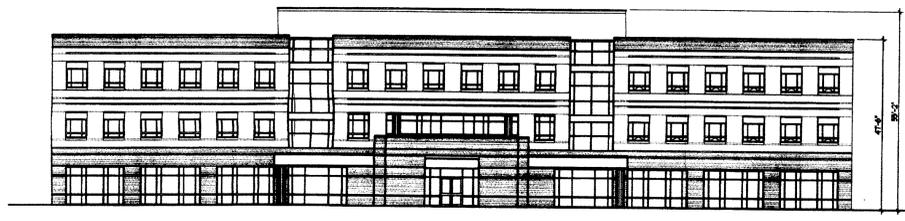


REAR HOSPITAL ELEVATION
SCALE: 1/8"=1'-0"



ENLARGED ELEVATION
SCALE: 1/4"=1'-0"

- ALUMINUM COPING
- 4" WHITE SPLIT FACE BLOCK
- 4" BROWN SPLIT FACE BLOCK (FIELD)
- 4" WHITE SPLIT FACE BLOCK
- RED BRICK (FIELD)
- 4" WHITE SPLIT FACE BLOCK
- BRICK ROWLOCK COURSE
- ALUMINUM PANEL
- ALUMINUM STOREFRONT SYSTEM
- BLUE TINTED REFLECTIVE GLASS
- RED BRICK (FIELD)
- BRICK ROWLOCK COURSE
- 8" WHITE SPLIT FACE BLOCK
- 4" WHITE SPLIT FACE BLOCK
- 4" WHITE SPLIT FACE BLOCK
- BRICK ROWLOCK COURSE
- RED BRICK (FIELD)
- ALUMINUM COPING
- 4" WHITE SPLIT FACE BLOCK
- 4" RED SPLIT FACE BLOCK
- ALUMINUM PANELS
- 4" BROWN SPLIT FACE BLOCK (FIELD)
- 4" WHITE SPLIT FACE BLOCK
- 4" RED SPLIT FACE BLOCK
- BLUE TINTED REFLECTIVE GLASS
- ALUMINUM STOREFRONT SYSTEM
- 4" WHITE SPLIT FACE BLOCK



MEDICAL OFFICE BUILDING ELEVATION
SCALE: 1/8"=1'-0"

**McCULLOCH
ENGLAND
ASSOCIATES
ARCHITECTS**

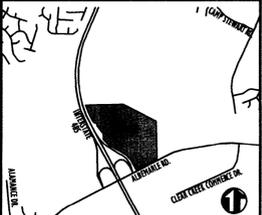
Presbyterian Hospital East Campus
 Petitioner:
 Presbyterian HEALTHCARE

Conditional Use Rezoning

Project Number: 2965
 Drawn By: SJC/SJG/SPR
 Designed By: SJC/SJG/SPR
 Date: 1/25/08

Bldgs. A & B Conceptual Building Elevations

Revisions:
 Staff Comments: 3/24/2008
 Presentation Drawings: 5/13/2008



VICINITY MAP

McCULLOCH ENGLAND ASSOCIATES ARCHITECTS
 100 Quana Road
 Charlotte, NC 28204
 704.972.2760
 www.McCullochEngland.com

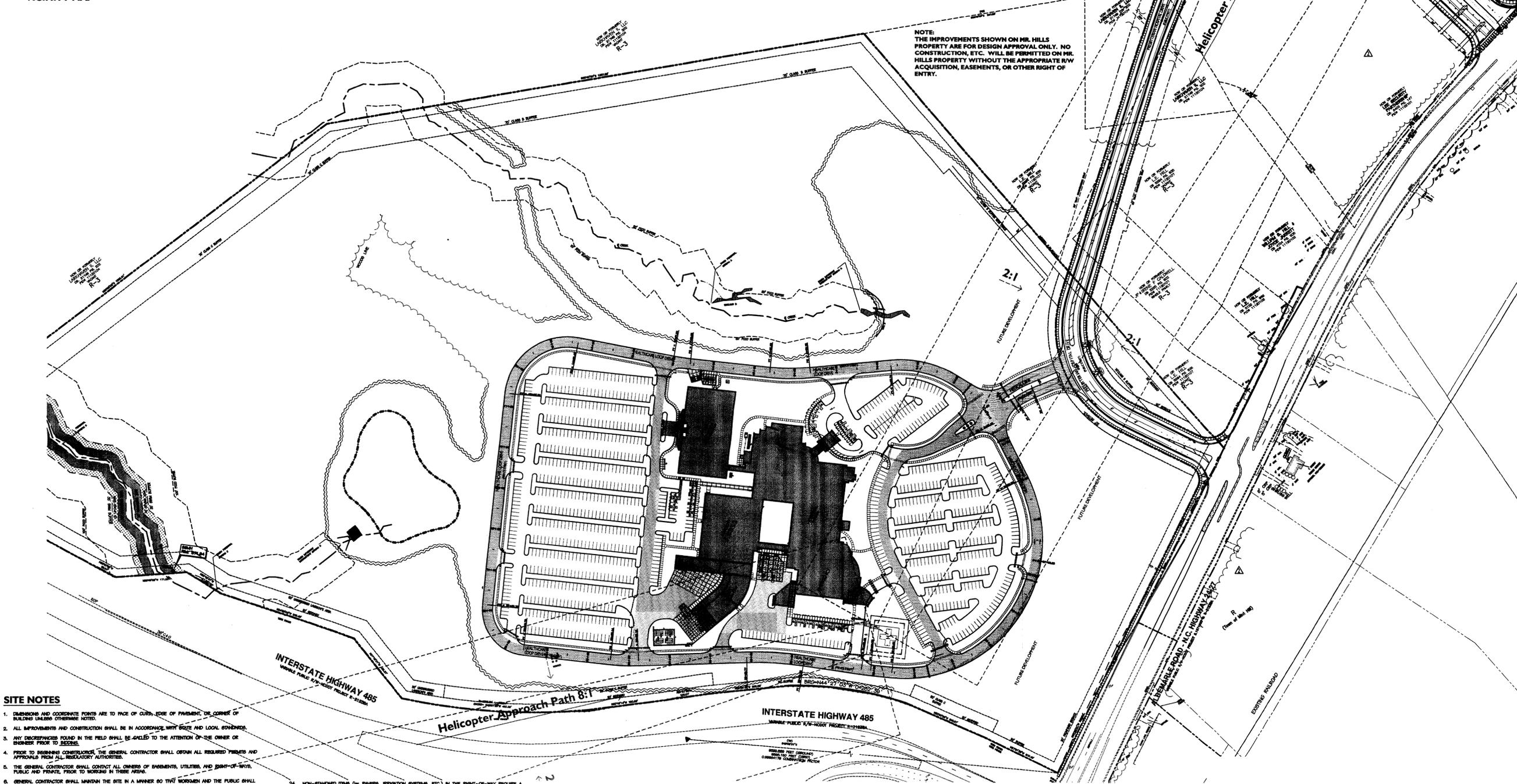
SITE SOLUTIONS
 2 3 2 0
 W. Haveland Street
 Charlotte, NC 28208
 Landscape Architecture
 Site Planning
 Civil Engineering
 www.amesolutions.com
 Telephone: 704.231.9880
 Facsimile: 704.231.9555
 CADD# 3845



12325 ALBEMARLE ROAD

Presbyterian HOSPITAL EAST CAMPUS
 MECKLENBURG COUNTY, NC

H0767	Project Number
CC/PJ	Drawn By
August 19, 2008	Date
	Revisions
▲ Site N.S collector per CDOT	11.5.08
▲ Albemarle Rd design	11.23.09
▲ Added notes/Parking calc	
▲ Albemarle Rd design per Parney Kamp	05.17.10



NOTE:
 THE IMPROVEMENTS SHOWN ON MR. HILLS PROPERTY ARE FOR DESIGN APPROVAL ONLY. NO CONSTRUCTION, ETC. WILL BE PERMITTED ON MR. HILLS PROPERTY WITHOUT THE APPROPRIATE R/W ACQUISITION, EASEMENTS, OR OTHER RIGHT OF ENTRY.

SITE NOTES

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO START.
- BEFORE BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM HAZARD.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2000 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWING.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO FIT IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADERS IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT ALBEMARLE RD. TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- ALL NON-STD-ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STD-ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY SIGNING, CONSTRUCTION, OR RESOLUTION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY SIGNING, CONSTRUCTION, OR RESOLUTION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINA FORBANY, 704.336-2552, FOR FURTHER INFORMATION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CALSD #5000.
- DEVELOPER WILL PROVIDE STOP SIGNS, (R1-1) 24"x24", 30"x30", SEE PLAN FOR LOCATIONS.
- NOTE: TRAVELERS SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, OVERSPANS OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED WHEN INTERSECTIONS. THESE REQUIREMENTS WILL BE DETERMINED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

S.W.I.M. STREAM BUFFER NOTES:

- THE S.W.I.M. BUFFER IS MEASURED HORIZONTALLY ON A LINE PERPENDICULAR TO THE SURFACE WATER, LANDWARD FROM THE TOP OF THE BANK ON EACH SIDE OF THE STREAM.
- THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED, IN THE MANAGED USE ZONE. A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 6 HEALTHY TREES OF A MIN. 6" CALIPER PER 1,000SQFT. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO ROOTS OF REMAINING TREES.
- GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT CHANGE TO THE ROOTS OF REMAINING TREES, GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
- NO OCCUPIED STRUCTURES CAN BE PLACED IN ANY OF THE THREE (3) BUFFER ZONES. NON BUILDINGS FOR STORAGE CAN BE PLACED IN THE UPLAND ZONES PROVIDED THEY DO NOT EXCEED 150 SQUARE FEET.
- ENGINEERED OR IMPROVED CHANNELS AND PIPED STORM WATER ARE NOT ALLOWED IN OR THROUGH THE BUFFER. TEMPORARY SEDIMENT BASINS CANNOT BE PLACED IN THE STREAM SIDE OR MANAGED USE ZONES. DRAINAGE AREAS WILL BE DESIGNED TO ALLOW WATER TO SHEET FLOW ACROSS THE BUFFER TO FILTER OUT POLLUTANTS. PUNGE PPOOLS, ENERGY DISSIPATORS, DIVERSION DEVICES OR WETLAND FLOW WILL BE USED. DESIGN DETAILS FOR THESE DEVICES CAN BE OBTAINED FROM CHARLOTTE MECKLENBURG COUNTY DEVELOPMENT STANDARDS MANUAL.
- THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE PLYWOOD FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE.
- THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS.
- ANY ACTIVITY IN THE BUFFER WILL COMPLY WITH S.W.I.M. STREAM BUFFER SECTION OF THE LAND DEVELOPMENT STANDARDS MANUAL.
- ALL SUB-CONTRACTORS OF THE LAND DEVELOPER AND HOME BUILDER WILL BE NOTIFIED OF THE BUFFER REGULATIONS PRIOR TO DEVELOPMENT.

ZONING CODE SUMMARY

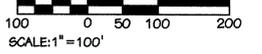
PROJECT NAME: PRESBYTERIAN HOSPITAL - EAST
 OWNER: PRESBYTERIAN HOSPITAL/LEARN SERVICES PHONE # 336-716-0725
 PLANS PREPARED BY: McCULLOCH ENGLAND ASSOCIATES PHONE # 704-372-2240
 ZONING: H0767 / H0767 JURISDICTION: CHARLOTTE EU
 PETITION #: 2008-086 (last of 08-28)
 PROPOSED USE: HOSPITAL TAX PARCEL #: 11120103
 BUILDING HEIGHT: 72 Feet, 110' max. allowed Stories: 5
 BUILDING COVERAGE: 134.42% Gs. Ft. GROSS FLOOR AREA: 301,078
 LOT SIZE: 0.7628 Gs. Ft. LOT TYPE: H0767
 YARD REQUIREMENTS:
 Setback (Front): 20 Ft. Side Yard (L): 20 Ft. Side Yard (R): 20 Ft.
 Setback (Rear): 20 Ft. Rear Yard: 20 Ft.
 REQUIRED BUFFERS:
 Front: (NO) / YES 20 Ft. Rear: (NO) / YES 20 Ft.
 Side (L): (NO) / YES 20 Ft. Side (R): (NO) / YES 20 Ft.
 REQUIRED SCREENING:
 Front: (NO) / YES 20 Ft. Rear: (NO) / YES 20 Ft.
 Side (L): (NO) / YES 20 Ft. Side (R): (NO) / YES 20 Ft.
 PARKING DATA:
 HOSPITAL: REQUIRED: 1.2 SPACES PER BED= 50 BEDS= 60 SPACES PROVIDED: 404 SPACES
 M.O.B.: REQUIRED: 1 PER 200 SF= 76,000 SF= 376 SPACES PROVIDED: 614 SPACES
 DRIVE PARKING: LONG TERM: 1/10,000 SF= HOSPITAL: 23 REQUIRED; M.O.B.: 6 REQUIRED PROVIDED: HOSPITAL=24; M.O.B.= 19
 SHORT TERM: 25 REQUIRED VEHICLE PARKING - HOSPITAL: 3 REQUIRED; M.O.B.: 19 REQUIRED PROVIDED: HOSPITAL=3; M.O.B.= 19

LEGEND

EXISTING SIGN	EXISTING CURB AND GUTTER
EXISTING IRON PIN	PROPOSED CURB AND GUTTER
EXISTING LIGHT POLE	PROPERTY LINE
EXISTING UTILITY POLE	EXISTING FENCE
RIGHT-OF-WAY	PROPOSED FENCE
ACCESSIBLE SPACE	EXISTING UNDERGROUND ELECTRIC LINE
ACCESSIBLE TREE TO REMAIN	EXISTING OVERHEAD UTILITY LINE
EXISTING FIRE HYDRANT	LIGHT DUTY ASPHALT PAVING
# OF PARKING SPACES	HEAVY DUTY ASPHALT PAVING
CENTERLINE	HEAVY DUTY CONCRETE PAVING

OVERALL SITE PLAN

L-2.0





12325 ALBEMARLE ROAD

Presbyterian Hospital EAST CAMPUS
 MECKLENBURG COUNTY, NC

H0767 Project Number
 CC/PJ Drawn By
 August 19, 2008 Date
 Revision 11.08
 Rev. Medical Ln mfgs 11.23.09
 Albemarle Rd design 01.26.10
 Albemarle Rd design per Ramey Kemp 05.17.10

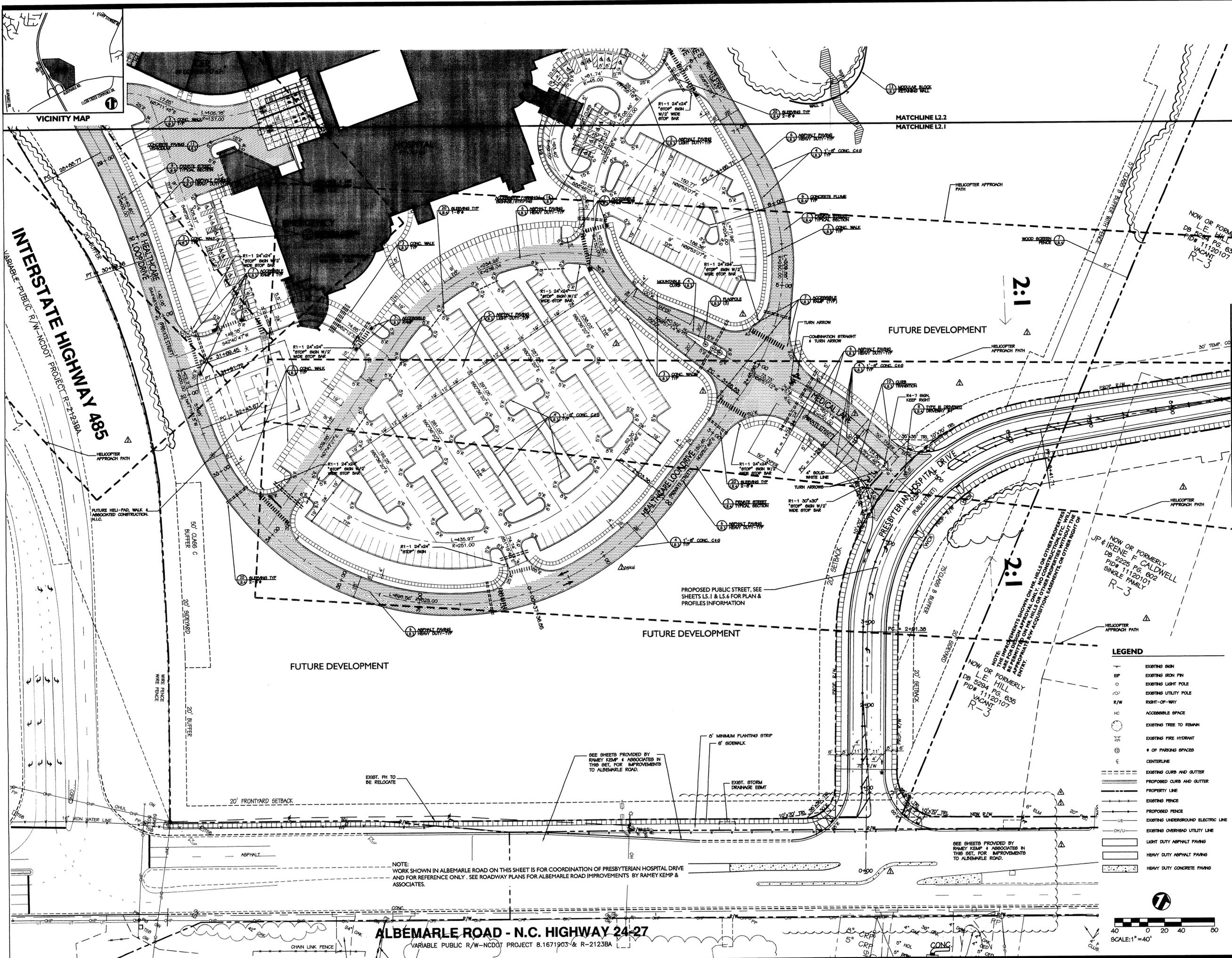
LEGEND

⊕	EXISTING SIGN
⊙	EXISTING IRON PIN
⊗	EXISTING LIGHT POLE
⊕	EXISTING UTILITY POLE
R/W	RIGHT-OF-WAY
HC	ACCESSIBLE SPACE
⊙	EXISTING TREE TO REMAIN
⊕	EXISTING FIRE HYDRANT
⊕	# OF PARKING SPACES
⊕	CENTERLINE
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	PROPERTY LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING OVERHEAD UTILITY LINE
---	LIGHT DUTY ASPHALT PAVING
---	HEAVY DUTY ASPHALT PAVING
---	HEAVY DUTY CONCRETE PAVING

Sheet Title

SITE PLAN SOUTH

L-2.1



2008 Presbyterian Hospital East Campus/12325 Albemarle Rd, L-2.1, 5/17/2010, 12:48:00 PM, comments: AutoCAD, 11