

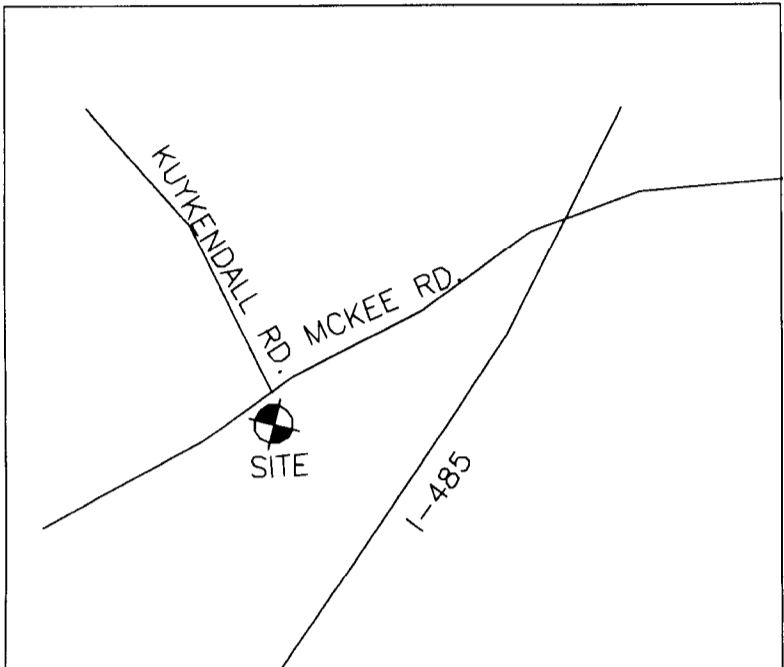
GLENMORE

CHARLOTTE, NC

STANDARD PACIFIC HOMES

11525 CARMEL COMMONS BLVD., SUITE 301

CHARLOTTE, NC 28226



VICINITY MAP

GENERAL NOTES

- SURVEY INFORMATION OBTAINED BY DOUGLAS S. PRESSLEY JR, PLS DATED AUGUST 31, 2006.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- ALL ROAD IMPROVEMENTS AT MCKEE ROAD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS #50.05 (9" SIGNS ONLY).
- PRIOR TO PLAT RECORDEATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-338-7088) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

REZONING NOTES - PETITION # 2006-76

I. GENERAL COMMITMENT:

UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE REZONING SITE PLAN OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE") FOR THE MX-2 ZONING DISTRICT CLASSIFICATION SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE SUBJECT TO THE INNOVATIVE DEVELOPMENT PROVISIONS OUTLINED ON THE REZONING SITE SHEET.

STATEMENTS WITH RESPECT TO THE GRAPHICS WHICH ARE SET FORTH ON EXHIBITS ACCOMPANYING THE REZONING SITE PLAN

THE ULTIMATE LAYOUTS OF THE DEVELOPMENT PROPOSED FOR THE SITE, THE EXACT ALIGNMENTS OF STREETS AND POINTS OF ACCESS, THE CONFIGURATIONS AND PLACEMENTS OF PARKING AREAS AND THE PRECISE LOCATIONS, HEIGHTS AND MASSES OF BUILDINGS AND OTHER INDIVIDUAL SITE ELEMENTS TO BE CONSTRUCTED HAVE NOT BEEN DETERMINED. AS A CONSEQUENCE, THE GRAPHICS AND BUILDING ELEVATIONS WHICH ACCOMPANY THE REZONING SITE PLAN ARE SCHEMATIC IN NATURE AND ARE NOT TO BE CONSIDERED AS FINAL SPECIFIC SITE DEVELOPMENT PLANS BUT RATHER AS PRELIMINARY GRAPHIC REPRESENTATIONS OF THE TYPES AND QUALITY OF DEVELOPMENT PROPOSED, IT BEING UNDERSTOOD THAT THE EXACT CONFIGURATIONS AND PLACEMENTS OF STREETS, DRIVEWAYS, PARKING AREAS, BUILDINGS AND OTHER INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE REZONING SITE PLAN AND THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES. ALL SUCH CHANGES ARE SUBJECT TO THE NORMAL REVIEW PROCESSES. WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, BUILDINGS GENERALLY DEPICTED ON THE REZONING SITE PLAN MAY BE COMBINED OR SEPARATED PROVIDED THAT THE MAXIMUM NUMBER OF BUILDINGS MAY NOT BE INCREASED ABOVE THE NUMBER OF BUILDINGS GENERALLY DEPICTED ON THE REZONING SITE PLAN.

II. PERMITTED USES:

THE SITE MAY BE DEVELOPED WITH UP TO 78 FOR SALE, SINGLE FAMILY ATTACHED DWELLING UNITS, TOGETHER WITH ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH WHICH ARE PERMITTED UNDER THE ORDINANCE BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE MX-2 ZONING DISTRICT INCLUDING BUT NOT LIMITED TO TEMPORARY SALES CENTER(S).

III. VEHICULAR ACCESS POINTS/TRANSPORTATION:

- A. THE NUMBER OF ACCESS POINTS TO AND FROM THE SITE SHALL BE LIMITED TO THOSE SHOWN ON THE REZONING SITE PLAN.
- B. ACCESS POINTS SHALL BE LOCATED IN THE GENERAL AREAS DEPICTED ON THIS REZONING SITE PLAN. THE FINAL LOCATION OF EACH ACCESS POINT IS SUBJECT TO ANY MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS/DESIGN, AND SITE/TOPOGRAPHIC CONSTRAINTS, AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

- C. THE PETITIONER AGREES TO DEDICATE AND CONVEY (BY QUITCLAIM DEED AND SUBJECT TO A RESERVATION FOR ANY NECESSARY UTILITY EASEMENTS) PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT THOSE PORTIONS OF THE SITE IMMEDIATELY ADJUTING THE FOLLOWING ROADWAYS AS REQUIRED TO PROVIDE RIGHT OF WAY AS OUTLINED BELOW IF SUCH RIGHT-OF-WAY DOES NOT PRESENTLY EXIST:

MCKEE ROAD	
50 FEET FROM CENTERLINE	
INTERSTATE 485	
175 FEET FROM CENTERLINE	

- D. THE PETITIONER SHALL INSTALL A LEFT TURN LANE ON MCKEE ROAD INTO THE SITE WITH A MINIMUM OF 150 FEET OF STORAGE, A 15:1 BAY TAPER AND 45:1 THROUGH LANE TAPERS.

- E. SPECIALTY PAVING MATERIALS MAY BE PERMITTED WITHIN PUBLIC AND/OR PRIVATE STREETS INTERNAL TO THE SITE SUBJECT TO ANY NECESSARY REVIEW AND APPROVAL BY CDOT.

IV. DESIGN GUIDELINES:

A. ARCHITECTURAL TREATMENT

- (1) THE PRIMARY EXTERIOR BUILDING MATERIALS TO BE EMPLOYED IN THE CONSTRUCTION OF THE SINGLE FAMILY ATTACHED DWELLING UNITS SHALL BE BRICK OR STONE MATERIALS AND CEMENT FIBER BOARD (I.E. HARDI-PLANK). A MINIMUM OF 50% OF THE FRONT ELEVATION OF EACH DWELLING UNIT WILL CONSIST OF BRICK OR STONE MATERIALS. A MINIMUM OF 50% OF THE SIDE AND REAR ELEVATION OF EACH DWELLING UNIT WILL CONSIST OF BRICK OR STONE MATERIALS.

- (2) THE ELEVATIONS OF THE BUILDINGS ALONG MCKEE ROAD SHALL BE SUBSTANTIALLY SIMILAR TO THE ATTACHED RENDERINGS.

B. YARD RESTRICTIONS AND BUFFER REQUIREMENTS

- (1) BUILDING SETBACKS AND YARDS WILL BE ESTABLISHED IN THE MANNER DEPICTED ON THE REZONING SITE PLAN.
- (2) CLASS C BUFFERS SHALL BE PROVIDED ALONG THE EASTERN AND SOUTHERN EDGES OF THE SITE BOUNDARY. THE SITE DEVELOPMENT MAY REQUIRE GRADING WITHIN A PORTION OF THE BUFFERS. HOWEVER, ONCE THE BUFFERS HAVE BEEN ESTABLISHED, THEY WILL REMAIN UNDISTURBED. THE PETITIONER RESERVES THE RIGHT TO REDUCE THE WIDTH OF SOME OR PORTIONS OF THESE BUFFERS BY UP TO 25 PERCENT IN ACCORDANCE WITH SECTION 12.302 (B) OF THE ORDINANCE.

- (3) A CLASS C BUFFER SHALL BE PROVIDED ALONG THE WESTERN EDGE OF THE SITE BOUNDARY IN THE MANNER GENERALLY SHOWN ON THE REZONING SITE PLAN. THIS BUFFER IS ONE-HALF OF THE BUFFER REQUIRED BY THE ADJOINING CHURCH USE. THE BUFFER REQUIRED BY THE CHURCH IS 48 FEET AND THEREFORE A 24 FOOT BUFFER IS REQUIRED ON THE WESTERN EDGE OF THE SITE. THE PETITIONER RESERVES THE RIGHT TO REDUCE THE WIDTH OF THIS BUFFER BY 25 PERCENT TO 18 FEET IN ACCORDANCE WITH SECTION 12.302 (B) OF THE ORDINANCE.

- (4) IN THE EVENT THAT AN ADJACENT PARCEL IS EITHER REZONED TO A ZONING DISTRICT OR DEVOTED TO A USE THAT ELIMINATES OR REDUCES THE BUFFER REQUIREMENTS ON THE EASTERN OR WESTERN EDGES OF THE SITE, THEN THE PETITIONER MAY REDUCE OR ELIMINATE, AS THE CASE MAY BE, THE EASTERN AND/OR WESTERN EDGE BUFFERS SET OUT ON THE REZONING SITE PLAN ACCORDINGLY. IN NO EVENT HOWEVER SHALL THE BUFFER ALONG I-485 BE ELIMINATED OR REDUCED.

C. OFF STREET PARKING

OFF STREET PARKING SHALL MEET THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.

D. STORM WATER MANAGEMENT

- (1) STORM WATER SHALL BE MANAGED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE.
- (2) SURFACE LEVEL STORM WATER DETENTION, IF REQUIRED, SHALL NOT BE LOCATED WITHIN THE REQUIRED SETBACKS OR BUFFERS.
- (3) WATER QUALITY BEST MANAGEMENT PRACTICES (BMP'S) WILL BE INCORPORATED INTO THE SITE TO ACHIEVE 85% TOTAL SUSPENDED SOLID REMOVAL FOR THE ENTIRE POST-DEVELOPMENT RUNOFF VOLUME FOR THE RUNOFF GENERATED FROM THE FIRST 1-INCH OF RAINFALL. BMP'S MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE N.C. DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR) BEST MANAGEMENT PRACTICES MANUAL, APRIL 1999, SECTION 4.0. (DESIGN STANDARDS SHALL BE MET ACCORDING TO THE CITY OF CHARLOTTE BEST MANAGEMENT PRACTICES MANUAL, WHEN AVAILABLE). USE OF LOW IMPACT DEVELOPMENT (LID) TECHNIQUES IS OPTIONAL.
- (4) THE PETITIONER SHALL CONTROL THE ENTIRE VOLUME FOR THE 1-YEAR, 24-HOUR STORM. RUNOFF VOLUME DRAWDOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS. THE PEAK SHALL BE CONTROLLED TO MATCH THE PREDEVELOPMENT RUNOFF RATES FOR THE 10-YEAR AND 25-YEAR, 6-HOUR STORMS OR, IN THE ALTERNATIVE, THE PETITIONER CAN PERFORM A DOWNSREAM ANALYSIS TO DETERMINE WHETHER PEAK CONTROL IS NEEDED, AND IF SO, FOR WHAT LEVEL OF STORM FREQUENCY.
- (5) THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT WILL CAUSE THE STORM DRAINAGE SYSTEM TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ALTERNATE METHODS TO PREVENT THIS FROM OCCURRING.

E. SIDEWALKS

- (1) A 6 FOOT WIDE SIDEWALK AND AN 8 FOOT WIDE PLANTING STRIP WILL BE INSTALLED ALONG THE SITE'S FRONTAGE ON MCKEE ROAD, AS GENERALLY DEPICTED ON THE CROSS SECTION ON THE REZONING SITE PLAN.
- (2) THE PETITIONER WILL PROVIDE INTERNAL SIDEWALKS SUBSTANTIALLY IN THE LOCATIONS DEPICTED ON THE REZONING SITE PLAN AND IN CONFORMANCE WITH THE ORDINANCE.
- (3) IN THE EVENT THAT THE SIDEWALK ON MCKEE ROAD IS LOCATED WHOLLY OR PARTIALLY OUTSIDE OF THE RIGHT-OF-WAY, A SIDEWALK EASEMENT WILL BE PROVIDED.

F. TREE SAVE /OPEN SPACE

- (1) A minimum of 17.5 percent of the site will be devoted to tree save area(s). The exact locations of the tree save area(s) will be determined through the subdivision review process.
- (2) Development of the Site shall include common open space areas in the general locations shown on the Rezoning Site Plan.

G. LANDSCAPING AND SCREENING

- (1) LANDSCAPING AND SCREENING SHALL, AT A MINIMUM, SATISFY THE REQUIREMENTS OF SECTION 12.303 OF THE ORDINANCE.
- (2) LANDSCAPING WILL BE INSTALLED IN STAGES IN ACCORDANCE WITH THE ORDINANCE AS THE SITE IS DEVELOPED.

- (3) IT IS CONTEMPLATED THAT GARBAGE DISPOSAL SHALL BE HANDLED BY WAY OF ROLL OUT CANS AND PICK UP BY A PRIVATE SERVICE. IF DUMPSTERS OR TRASH RECEPTACLE CORRALS ARE INSTALLED ON THE SITE, THEY WILL BE SCREENED WITH SOLID ENCLOSURES WITH GATES. PURSUANT TO SECTION 12.403 OF THE ORDINANCE, IF PUBLIC TRASH COLLECTION IS PROVIDED TO THE SITE, ANY REQUIRED DUMPSTERS, TRASH RECEPTACLES AND RECYCLING FACILITIES WILL BE LOCATED IN THE AREAS GENERALLY DEPICTED ON THE REZONING SITE PLAN, PROVIDED, HOWEVER, OTHER IMPROVEMENTS, SUCH AS PARKING AND LANDSCAPING AREAS MAY BE LOCATED IN SUCH AREAS IF THE PRIVATE ROLL-OUT TRASH COLLECTION IS USED.

- (4) THE SITE WILL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE.

- (5) STREET TREES SHALL BE INSTALLED ALONG BOTH SIDES OF THE INTERNAL STREETS AT A MINIMUM SPACING OF 40 FEET ON CENTER ON INTERNAL PUBLIC STREETS AND A MINIMUM SPACING OF 50 FEET ON CENTER ON INTERNAL PRIVATE STREETS.

H. SIGNS

ALL SIGNS PLACED ON THE SITE WILL BE ERCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

I. LIGHTING

- (1) ALL EXTERIOR LIGHTING WITHIN THE SITE (EXCEPT STREETLIGHTS WHICH MAY BE ERCTED ALONG MCKEE ROAD AND/OR I-485) WILL BE DOWNWARDLY DIRECTED TO PROJECT LIGHT DOWNWARD AND OTHERWISE DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY ADJACENT PROPERTY LINE.

- (2) THE EXTERIOR LIGHTING PLAN WILL INCLUDE LIGHTING ALONG THE INTERNAL STREETS. SUCH LIGHTING WILL INCLUDE THE FOLLOWING TYPES OF FIXTURES:

- a. ACDRN FIXTURES OF NO MORE THAN 20 FEET IN HEIGHT THAT MAY BE LOCATED THROUGHOUT THE SITE.
- b. SHOEBOX FIXTURES OF NO MORE THAN 30 FEET IN HEIGHT THAT MUST BE LOCATED A MINIMUM OF 100 FEET FROM ANY EXTERIOR PROJECT BOUNDARY LINE. ANY SUCH FIXTURES SHALL BE FULLY SHIELDED DOWNWARD AT A 45 DEGREE ANGLE.

J. FIRE PROTECTION

FIRE PROTECTION WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF CHARLOTTE'S STANDARDS.

V. AMENDMENTS TO THE REZONING PLAN:

THE OWNER OR OWNERS OF THE SITE MAY APPLY FOR FUTURE AMENDMENTS TO THIS REZONING SITE PLAN AND THESE DEVELOPMENT STANDARDS IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

VI. BINDING EFFECT OF THE REZONING PETITION:

IF THE PETITIONER'S REZONING PETITION IS APPROVED, THE DEVELOPMENT PROGRAM ESTABLISHED UNDER THESE DEVELOPMENT STANDARDS AND THIS REZONING SITE PLAN SHALL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND I NURE TO THE BENEFIT OF THE PETITIONER AND THE OWNERS (FROM TIME TO TIME) AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS.

THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, PETITIONER' AND 'OWNER' SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

REZONING SITE DATA

SITE AREA	15.80 ACRES
TAX PARCEL ID	231-054-10, -01
EXISTING ZONING	R-3
PROPOSED ZONING	MX-2 (INNOVATIVE)
PROPOSED UNITS	78 FOR SALE TOWNHOMES

INNOVATIVE DEVELOPMENT PROVISIONS

BUILDING SETBACK:	5 FEET MINIMUM (AS MEASURED FROM EDGE OF SIDEWALK)
GARAGE SETBACK:	20 FEET MINIMUM (AS MEASURED FROM EDGE OF SIDEWALK)
INTERNAL SIDE AND REAR YARDS:	0
MINIMUM BUILDING SEPERATIONS:	16 FEET
PUBLIC STREET:	46' RIGHT-OF-WAY
DIVIDED PUBLIC STREET:	80' RIGHT-OF-WAY

SITE DATA

TAX PARCELS:	231-054-10, 231-054-11
TOTAL AREA:	15.73 AC. ±
EXISTING ZONING:	MX-2 (INNOVATIVE)
REZONING PETITION #	2006-76
MAX. UNITS ALLOWED	78 DU
PROPOSED UNITS:	71 FOR SALE TOWNHOMES (ELIMINATED BLDG #13-TH 42,43 &44)
PROPOSED DENSITY:	4.51 TOTAL DUA
PROPOSED USE:	TOWNHOMES FOR SALE WITH MIN. 400 SF SUBLOT PER UNIT
MIN. TREE SAVE AREA :	2.76 AC ± (17.50%)
PROPOSED TREE SAVE AREA:	2.78 AC ± (17.67%)
PARKING REQUIRED (1.5 SP/UNIT MIN.):	107 SPACES
PARKING PROVIDED:	148 SPACES
GARAGE PARKING SPACES:	4 SPACES
STANDARD PARKING LOT SPACES:	152 SPACES
TOTAL:	2.14 SPACES
SPACES PER UNIT:	PRIVATE ROLLOUT
TRASH PICK-UP:	8 CU. YD. DUMPSTER PER 30 UNITS OR 8 CU. YD. COMPACTOR PER 90 UNITS
SPACE SET ASIDE FOR SOLID WASTE REQUIRED:	(1) 8 CU. YD. COMPACTOR
SPACE SET ASIDE FOR SOLID WASTE PROVIDED:	(1) 144 SF RECYCLING STATION PER 80 UNITS
SPACE SET ASIDE FOR RECYCLING REQUIRED:	(1) 144 SF RECYCLING STATION
SPACE SET ASIDE FOR RECYCLING PROVIDED:	40' ALONG MCKEE ROAD
SETBACK:	20' TO FACE OF GARAGE
	5' TO BUILDING ALONG INTERNAL PUBLIC/PRIVATE STREETS. (INNOVATIVE)
SIDEYARD:	20'
REARYARD:	40'
BUILDING SEPERATION:	16'
MAXIMUM HEIGHT:	40'
MINIMUM COMMON OPEN SPACE:	10% (1.573 AC.)
PROPOSED COMMON OPEN SPACE:	22.43% (3.528 AC)

CONSULTANTS:

DEVELOPER:	STANDARD PACIFIC HOMES 11252 CARMEL COMMONS BLVD., SUITE 301 CHARLOTTE, NC 28228
ARCHITECT:	WATTS LEAF ARCHITECTS, PA 101 NORTH McDOWELL STREET SUITE 112 CHARLOTTE, NC 28204 704.376.1200
ARCHITECT:	GMD DESIGN GROUP 2341 GRADY RIDGE DRIVE DULUTH, GA 30097 770.375.7351
LANDSCAPE ARCH.:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BLVD., SUITE 200 CHARLOTTE, NC 28208 704.343.0608
CIVIL ENGINEER:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BLVD., SUITE 200 CHARLOTTE, NC 28208 704.343.0608
SURVEYOR:	DOUGLAS S. PRESSLEY JR. PLS 13221 BROOKS RD STANFIELD, NC 28163 704.888.3978

C-1	PHASE I EROSION CONTROL PLAN
C-2	PHASE II EROSION CONTROL PLAN
C-3	PHASE III EROSION CONTROL PLAN
C-4	STORM DRAINAGE AND PHASE IV EROSION PLAN
C-5	STORM DRAINAGE AND EROSION CONTROL NOTES
C-6	DRAINAGE AREAS PLAN
C-7	BMP DRAINAGE AREAS PLAN
C-8	WATER AND SANITARY SEWER PLAN
C-9	WATER AND SANITARY SEWER PLAN
C-10	SANITARY SEWER PROFILES AND PLOTS
C-11	SANITARY SEWER PROFILES AND PLOTS
C-12	EROSION CONTROL DETAILS
C-13	STORM DRAINAGE AND EROSION CONTROL DETAILS
C-14	STORM DRAINAGE AND EROSION CONTROL DETAILS
C-15	WATER DETAILS
C-16	WATER DETAILS
C-17	SANITARY SEWER FORCE MAIN AND PUMP STATION DETAILS

MARCH 11, 2010 REVISIONS NOTES:

PREVIOUSLY NAMED GLENMORE GARDEN VILLAS FOR GLENMORE GARDEN VILLAS, LLC., CITY OF CHARLOTTE SITE PLAN STAMP APPROVED ON OCT. 05, 2007.

REVISIONS INCLUDE THE FOLLOWINGS:
1. NEW PROJECT AND OWNER'S NAMES
2. NEW BUILDING FOOTPRINTS EXCEPT BUILDING #1 AND #2 TO REMAIN.
3. ADJUSTED SPOT GRADES AT IMMEDIATE AREAS AROUND BUILDINGS.
4. REVISIONS ON SHEETS L-1, L-3, L-4, L-5 AND L-6, NO CHANGES TO OTHER SHEETS EXCEPT NEW BUILDING FOOTPRINTS.

WATER AND SANITARY SEWER SYSTEM HAVE BEEN INSTALLED AND RECEIVED FINAL APPROVAL /ENGINEER CERTIFICATES
NCDENR PRIVATE SYSTEM:
WATER - 03/25/2009
S. SEWER - 03/25/2009
CMUD PUBLIC SYSTEM:
WATER - 10/15/2008
S. SEWER - 10/15/2008



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgrp.com

REVISION
PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
3/31/10



GLENMORE
CHARLOTTE, NC

STANDARD PACIFIC HOMES
11525 CARMEL COMMONS BLVD., SUITE 301
CHARLOTTE, NC 28226
704-759-6004

CONSTRUCTION PLANS



SCALE: NTS

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: JS

COVER SHEET

15 DEC. 2006

REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 17 JUL. 07, PER CITY COMMENTS
3. 21 AUG. 07, PER CITY COMMENTS
4. 11 MAR. 10, PER NEW OWNER, NEW BLDG FOOTPRINTS



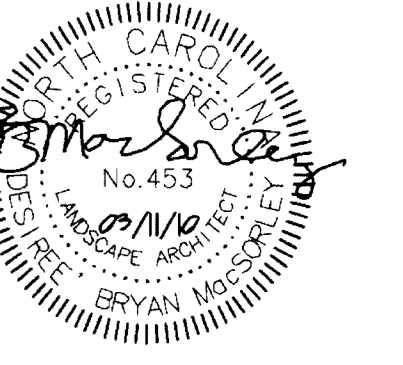
design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.1093
www.drgroup.com

GLENMORE
CHARLOTTE, NC
STANDARD PACIFIC HOMES
11525 CARMEL COMMONS BLVD., SUITE 301
CHARLOTTE, NC 28226
704.759.6004

CONSTRUCTION PLANS



SCALE: 1" = 50'

PROJECT #: 304.001
DRAWN BY: DRG
CHECKED BY: JS

SITE PLAN

15 DEC. 2006

- REVISIONS:
- 29 MAR. 07, PER CITY COMMENTS
 - 17 JUL. 07, PER CITY COMMENTS
 - 21 AUG. 07, PER CITY COMMENTS
 - 1 FEB. 08, BUILDING PERMIT COMMENTS
 - 11 MAR. 10, NEW OWNER, NEW BLDG, ADJUST SPOT GRADES AROUND BLDGS.

L-3

SIGN LEGEND

- A STOP (R1-1 24"x36")
 - B KEEP RIGHT (R4-7, 24"x36")
 - C NCDOT TYPE III SIGN (COM-3R 12"x36")
- ALL SIGNS TO BE MUTED STANDARD STOP SIGNS - INSTALLED BY DEVELOPER AT THE MINOR LGS OF ALL INTERNAL PRIVATE STREET INTERSECTIONS. KEEP RIGHT SIGNS INSTALLED BY DEVELOPER AT EACH END OF BOTH PROPOSED MEDIANS ON GLENMORE GARDEN DRIVE.

SITE DATA

- TAX PARCELS: 231-054-10, 231-054-11
TOTAL AREA: 15.73 AC. ±
EXISTING ZONING: MX-2 (INNOVATIVE)
REZONING PETITION #: 2006-76
MAX. UNITS ALLOWED: 78 DU
PROPOSED UNITS: 71 FOR SALE TOWNHOMES (ELIMINATED BLDG #13-TH 42,43 & 44)
PROPOSED DENSITY: 4.51 TOTAL DUA TOWNHOMES FOR SALE WITH MIN. 400 SF SUBLOT PER UNIT
PROPOSED USE: 2.75 AC ± (17.50%)
MIN. TREE SAVE AREA: 2.75 AC ± (17.50%)
PROPOSED TREE SAVE AREA: 2.75 AC ± (17.67%)
PARKING REQUIRED (1.5 SP/UNIT MIN.): 107 SPACES
PARKING PROVIDED: 148 SPACES
STANDARD PARKING SPACES: 152 SPACES
TOTAL: 152 SPACES
SPACES PER UNIT: 2.14 SPACES
TRASH PICK-UP: PRIVATE ROLLOUT
SPACE SET ASIDE FOR SOLID WASTE REQUIRED: 8 CU. YD. DUMPSTER PER 30 UNITS OR 8 CU. YD. COMPACTOR PER 90 UNITS
SPACE SET ASIDE FOR SOLID WASTE PROVIDED: (1) 8 CU. YD. COMPACTOR
SPACE SET ASIDE FOR RECYCLING REQUIRED: (1) 144 SF RECYCLING STATION PER 80 UNITS
SPACE SET ASIDE FOR RECYCLING PROVIDED: (1) 144 SF RECYCLING STATION
SETBACK: 40' ALONG MCKEE ROAD
20' TO FACE OF GARAGE
5' TO BUILDING ALONG INTERNAL PUBLIC/PRIVATE STREETS. (INNOVATIVE)
SIDEYARD: 20'
REARYARD: 40'
BUILDING SEPARATION: 15'
MAXIMUM HEIGHT: 40'
MINIMUM COMMON OPEN SPACE: 10% (1.573 AC.)
PROPOSED COMMON OPEN SPACE: 22.43% (3.528 AC.)

Line Table: Alignments

Line #	Length	Direction
L1	205.01	S43° 36' 10.78"E
L2	39.99	S19° 50' 48.21"E
L3	101.82	S62° 07' 27.19"E
L4	44.86	S11° 29' 37.26"E
L5	56.11	S5° 21' 57.98"E
L6	131.37	S45° 45' 32.24"W
L8	101.49	N42° 10' 32.00"W
L9	167.95	N45° 59' 11.16"E
L10	146.58	S42° 10' 32.00"E
L11	105.19	S36° 16' 50.42"W
L12	277.71	N45° 45' 32.24"E
L13	12.82	N82° 08' 12.45"W
L14	24.71	S45° 45' 32.24"W
L15	25.64	S32° 40' 33.65"W
L16	66.66	S42° 30' 53.66"E
L17	82.39	S43° 49' 00.24"E
L18	44.37	S82° 08' 12.45"E
L19	38.95	N46° 10' 59.76"E
L20	708.49	S46° 10' 59.76"W
L21	186.38	S43° 36' 10.91"E
L22	50.00	S8° 05' 13.91"E

Curve Table: Alignments

Curve #	Radius	Length	Chord Direction
C1	160.00	66.34	S31° 43' 29.49"E
C2	100.00	73.79	S40° 59' 07.70"E
C3	50.00	5.35	S8° 25' 47.62"E
C9	50.00	76.94	N1° 54' 19.58"E
C10	50.00	68.47	S2° 56' 50.79"E
C11	61.00	108.11	S87° 03' 09.21"W
C12	66.00	147.33	N18° 11' 20.10"W
C13	59.00	85.74	S87° 23' 34.65"W
C14	211.00	39.81	S40° 21' 15.20"W
C15	139.00	31.74	S39° 13' 02.94"W
C21	109.55	58.09	N57° 24' 14.28"W
C22	70.00	103.20	N28° 54' 40.87"W
C23	155.00	103.67	S62° 58' 36.34"E
C24	111.00	161.01	N56° 18' 31.46"E
C25	50.00	27.43	N30° 28' 07.57"E
C26	50.00	30.99	S25° 50' 42.41"E
C27	50.63	11.19	S13° 28' 37.73"E



SITE NOTES:

- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- THREE WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 536-6692 FOR REQUIRED PERMITS.
- Before you dig STOP. Call the NC one-call Center at 1-800-632-4949. IT'S THE LAW.

PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL

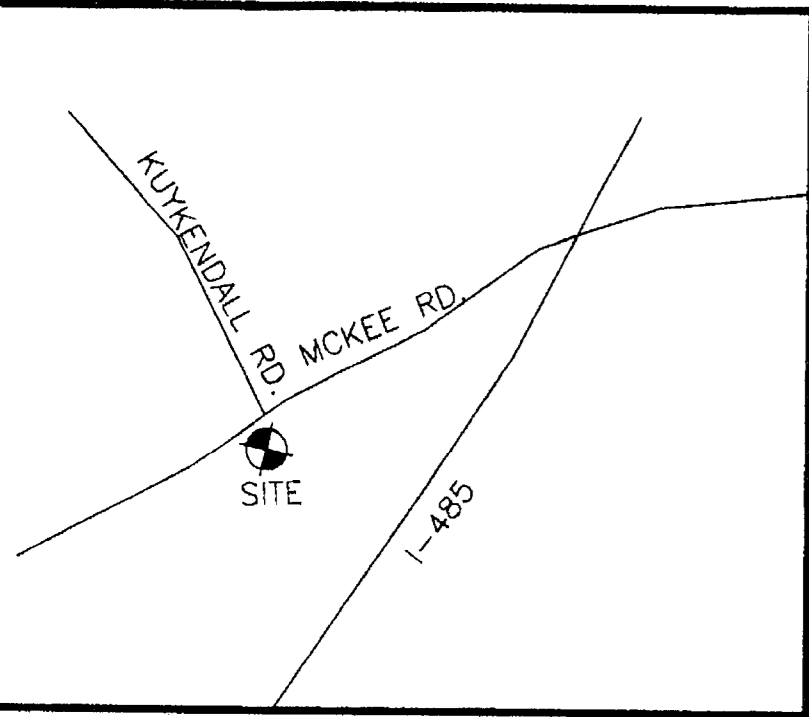
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

3/31/10 SS

MARCH 11, 2010 REVISIONS NOTES:

PREVIOUSLY NAMED GLENMORE GARDEN VILLAS FOR GLENMORE GARDEN VILLAS, LLC, CITY OF CHARLOTTE SITE PLAN STAMP APPROVED ON OCT. 05, 2007.

REVISIONS INCLUDES THE FOLLOWINGS:
1. NEW PROJECT AND OWNER'S NAMES
2. NEW BUILDING FOOTPRINTS EXCEPT BUILDING #1 AND #2 TO REMAIN.



VICINITY MAP (N.T.S.)

- NOTES:
1. TRAVERSE ADJUSTED BY THE COMPASS RULE ADJUSTMENT METHOD.
 2. AREAS DETERMINED BY COORDINATE COMPUTATIONS
 3. ALL DISTANCE ARE HORIZONTAL GROUND DISTANCES.
 4. NO GEODETIC MONUMENTS FOUND WITHIN 2000'.
 5. SUBJECT PROPERTY IS ZONED R-100.

- REFERENCES:
1. DEEDS AND TAX MAPS SHOWN HEREON

N/F
MARSHA HARTIS
TAX PARCEL# 231-054-09
DB.4846 PG.508

SURVEY LINE L
CENTER LINE OF I-485
PROJ.#8.U670116

I-485
PUBLIC RIGHT-OF-WAY VARIES
PROJ.# 8.U670116

CB=S29°48'08"W
C=135.41'
L=135.41'
R=7464.44' SIP
#4 REBAR

CB=S5°09'28"W
C=1007.28'
L=1008.05'
R=7464.44'

N/F
MATTHEWS COMMUNITY CHURCH (TRUSTEES)
TAX PARCEL# 231-054-12
DB.6898 PG.542

N/F
CHIN PIAO CHEN AND
PI HSING LIN
TAX PARCEL# 231-054-11
DB.10395 PG.833

BASIS OF BEARING
N.C. GRID NAD 83
DB:19458 PG:724

LEGEND

- P — POWER POLE WITH LINE
- BOUNDARY AS SURVEYED
- TIE LINE
- ADJACENT LINE BY DEED OR PLAT
- TOP OF BANK (CREEK)
- LINES NOT SURVEYED
- SET IRON PIN (#4 REBAR)
- EXISTING IRON PIN (AS DESCRIBED)
- ⊙ SANITARY SEWER MANHOLE
- ⊗ NO POINTS FOUND OR SET
- ⊕ POWER POLES

SITE CURRENTLY
UNDER CONSTRUCTION

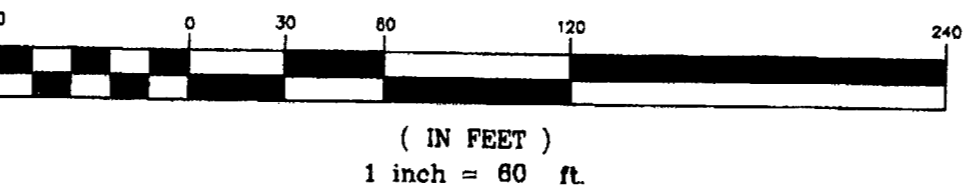
NCGS MON.
NAD 83
KUNKLEMAN
N=484866.71
E=1475362.01

MCKEE RD.
60' PUBLIC R/W

60D NAIL IN P.P.
NAVD 88
ELEV.=728.71'

SS MH
RIM=724.58'
INV OUT=714.25'
INV IN=714.52'

GRAPHIC SCALE



LINE	LENGTH	BEARING
L1	18.67	N46°33'47"E
L2	22.74	N39°55'35"W
L3	111.92	N46°02'17"E
L4	10.00	S43°57'43"E
L5	111.92	S46°02'17"W
L6	15.00	S43°57'43"E
L7	24.00	S46°02'17"W
L8	15.00	N43°57'43"W
L9	53.42	S46°02'17"W
L10	13.00	S42°10'32"E
L11	7.00	S46°02'17"W
L12	53.11	N46°02'17"E
L13	24.00	N46°02'17"E
L14	10.00	N43°57'43"E
L15	10.00	N43°57'43"E
L16	10.00	N42°10'32"E
L15	7.00	S46°02'17"W

REVISED 02/28/07:ADDED ADDITIONAL ROAD LOCATIONS.

TOPOGRAPHICAL SURVEY OF THE:
MCKEE ROAD SITE

LOCATED IN THE ALMOND TOWNSHIP, STANLY COUNTY., NORTH CAROLINA

SURVEY FOR:
LANDMARK/LEWELLYN HOLDINGS, LLC
ADDRESS: 831 BAXTER STREET
SUITE 200
CHARLOTTE, NC 28202

PREPARED BY:
DOUGLAS S. PRESSLEY JR. PLS
13221 BROOKS RD. STANFIELD, NORTH CAROLINA 28163
OFFICE: (704) 888-3978 MOBILE: (704) 622-3626
DATE: AUGUST 31st 2006

I, DOUGLAS S. PRESSLEY JR., CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEEDS AS SHOWN); THAT THE ERROR OF CLOSURE AS CALCULATED BY LATITUDES AND DEPARTURES WAS 1:10,000+; THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN DEEDS AS SHOWN; THAT THE ANGULAR ERROR OF CLOSURE WAS 05" PER TURN; AND THAT

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

THIS SURVEY IS AN EXCEPTION TO THE DEFINITION OF SUBDIVISION.

THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

■ TOPOGRAPHICAL SURVEY

WITNESS MY HAND AND OFFICIAL SEAL THIS 31st DAY OF AUGUST, 2006

PROFESSIONAL LAND SURVEYOR L-3488



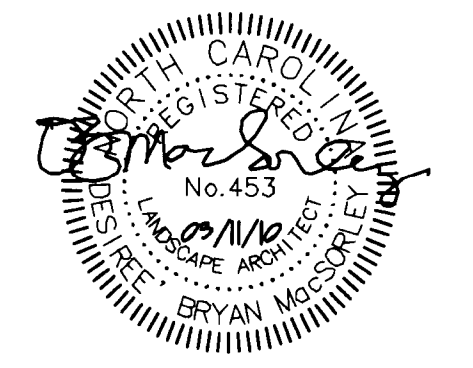
design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgnc.com

GLENMORE
CHARLOTTE, NC
STANDARD PACIFIC HOMES
11525 CARMEL COMMONS BLVD., SUITE 301
CHARLOTTE, NC 28226
704-759-6004

CONSTRUCTION PLANS



SCALE: 1" = 50'

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: DRG

SITE PLAN

15 DEC. 2006

REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 17 JUL. 07, PER CITY COMMENTS
3. 21 AUG. 07, PER CITY COMMENTS
4. 1 FEB. 08, BUILDING PERMIT COMMENTS
5. 11 MAR. 10, NEW OWNER, NEW BLDG.
ADJUST SPOT GRADES AROUND BLDGS.

L-3

SIGN LEGEND
A STOP (R1-124x24")
B KEEP RIGHT (R4-7, 24x30")
C NCDOT TYPE III SIGN (OM-3R 12x36")
ALL SIGNS TO BE MOUNTED STANDARD.
STOP SIGNS: INSTALLED BY DEVELOPER AT
THE MINOR LKCS OF ALL INTERNAL
PRIVATE STREET INTERSECTIONS.
KEEP RIGHT SIGNS: INSTALLED BY
DEVELOPER AT EACH END OF BOTH
PROPOSED MEDIANS ON GLENMORE
GARDEN DRIVE.

SITE DATA
TAX PARCELS:
231-054-10, 231-054-11
TOTAL AREA:
15.73 AC. ±
EXISTING ZONING:
MX-2 (INNOVATIVE)
REZONING PETITION #
2006-76
MAX. UNITS ALLOWED
78 DU
71 FOR SALE TOWNHOMES
(ELIMINATED BLDG #13-TH 42,43 &44)
PROPOSED DENSITY:
4.51 TOTAL DU/A
TOWNHOMES FOR SALE WITH MIN.
400 SF SUBLOT PER UNIT
PROPOSED USE:
2.76 AC ± (17.50%)
2.78 AC ± (17.67%)
107 SPACES
MIN. TREE SAVE AREA:
PROPOSED TREE SAVE AREA:
148 SPACES
4 SPACES
152 SPACES
2.14 SPACES
PARKING REQUIRED (1.5 SP/UNIT MIN.):
PARKING PROVIDED:
STANDARD PARKING SPACES:
TOTAL:
SPACES PER UNIT:
TRASH PICK-UP:
SPACE SET ASIDE FOR SOLID WASTE REQUIRED:
SPACE SET ASIDE FOR SOLID WASTE PROVIDED:
SPACE SET ASIDE FOR RECYCLING REQUIRED:
SPACE SET ASIDE FOR RECYCLING PROVIDED:
SETBACK:
SIDEYARD:
REARYARD:
BUILDING SEPERATION:
MAXIMUM HEIGHT:
MINIMUM COMMON OPEN SPACE:
PROPOSED COMMON OPEN SPACE:
PRIVATE ROLL-OUT
8 CU. YD. DUMPSTER PER 30 UNITS OR 8
CU. YD. COMPACTOR PER 90 UNITS
(1) 8 CU. YD. COMPACTOR
(1) 144 SF RECYCLING STATION PER 80
UNITS
(1) 144 SF RECYCLING STATION
40' ALONG MCKEE ROAD
20' TO FACE OF GARAGE
5' TO BUILDING ALONG INTERNAL
PUBLIC/PRIVATE STREETS. (INNOVATIVE)
20'
40'
16'
40'
10% (1.573 AC.)
22.43% (3.528 AC.)

Line Table: Alignments

Line #	Length	Direction
L1	205.01	S43° 36' 10.78"E
L2	39.99	S19° 50' 48.21"E
L3	101.82	S62° 07' 27.19"E
L4	44.86	S11° 29' 37.26"E
L5	56.11	S5° 21' 57.98"E
L6	131.37	S45° 45' 32.24"W
L8	101.49	N42° 10' 32.00"W
L9	167.95	N45° 59' 11.16"E
L10	146.58	S42° 10' 32.00"E
L11	105.19	S36° 16' 50.42"W
L12	277.71	N45° 45' 32.24"E
L13	12.82	N82° 08' 12.45"W
L14	24.71	S45° 45' 32.24"W
L15	25.64	S32° 40' 33.65"W
L16	66.66	S42° 30' 53.66"E
L17	82.39	S43° 49' 00.24"E
L18	44.37	S82° 08' 12.45"E
L19	38.95	N46° 10' 59.76"E
L20	708.49	S46° 10' 59.76"W
L21	186.38	S43° 36' 10.91"E
L22	50.00	S8° 05' 13.91"E

Curve Table: Alignments

Curve #	Radius	Length	Chord Direction
C1	160.00	66.34	S31° 43' 29.49"E
C2	100.00	73.79	S40° 59' 07.70"E
C3	50.00	5.35	S8° 25' 47.62"E
C9	50.00	76.94	N1° 54' 19.58"E
C10	50.00	68.47	S2° 56' 50.79"E
C11	61.00	108.11	S87° 03' 09.21"W
C12	66.00	147.33	N18° 11' 20.10"W
C13	59.00	85.74	S87° 23' 34.65"W
C14	211.00	39.81	S40° 21' 15.20"W
C15	139.00	31.74	S39° 13' 02.94"W
C21	109.55	58.09	N57° 24' 14.28"W
C22	70.00	103.20	N28° 54' 40.87"W
C23	155.00	103.67	S62° 58' 36.34"E
C24	111.00	161.01	N56° 18' 31.46"E
C25	50.00	27.43	N30° 28' 07.57"E
C26	50.00	30.99	S25° 50' 42.41"E
C27	50.63	11.19	S13° 28' 37.73"E



SITE NOTES:
1. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
3. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6892 FOR REQUIRED PERMITS.
4. Before you dig STOP. Call the NC one-call Center at 1-800-632-4949. IT'S THE LAW.

OW-1 TYPE III DRIVEWAY ENTRANCE SEE DETAIL 3 ON L-11
ACCESSIBLE RAMP SEE DETAIL 3 ON L-10
2' VALLEY GUTTER SEE DETAIL 5 ON L-10 (TYP.)
DEAD-END ROAD BARRICADE SEE DETAIL 7 ON L-11
24' CLASS C BUFFER
PROPERTY LINE
CONCRETE SIDEWALK
GLENMORE GARDEN DRIVE (PUBLIC)
DIVIDED STREET CROSS SECTION SEE DETAIL 1 ON L-9 (TYP.)
ENTRY MONUMENT/SIGNAGE
HANDICAP RAMP (NCDOT DETAIL # 848.05)
35'x35' & 10'x70' SIGHT TRIANGLES (TYP.)
FUTURE ROW
PRESENT ROW
LIMITS OF ROW TO BE ACQUIRED FROM CHURCH.

MCKEE RD
60' PUBLIC R/W
SR 3440
MAJOR ARTERIAL

MARCH 11, 2010 REVISIONS NOTES:
PREVIOUSLY NAMED GLENMORE GARDEN VILLAS FOR GLENMORE GARDEN VILLAS, LLC, CITY OF CHARLOTTE SITE PLAN
STAMP APPROVED ON OCT. 05, 2007.
REVISIONS INCLUDES THE FOLLOWINGS:
1. NEW PROJECT AND OWNER'S NAMES
2. NEW BUILDING FOOTPRINTS EXCEPT BUILDING #1 AND #2 TO REMAIN.



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28206
p 704.343.0608 / 704.358.3093
www.drgp.com

GLENMORE GARDEN VILLAS
CHARLOTTE, NC

STANDARD PACIFIC HOMES
11525 CARMEL COMMONS BLVD., SUITE 301
CHARLOTTE, NC 28226
704-759-6004

CONSTRUCTION PLANS



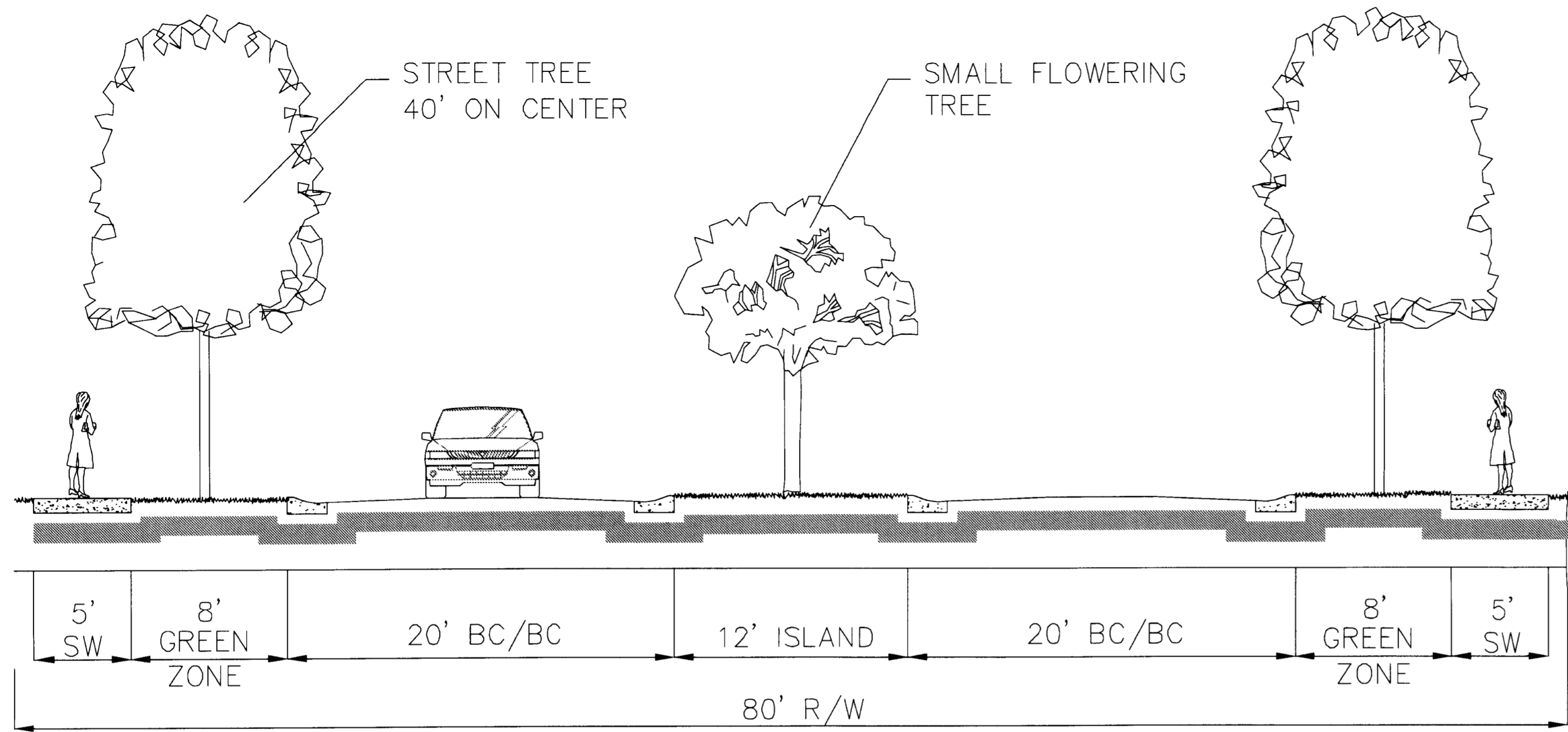
SCALE: NTS

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: JS

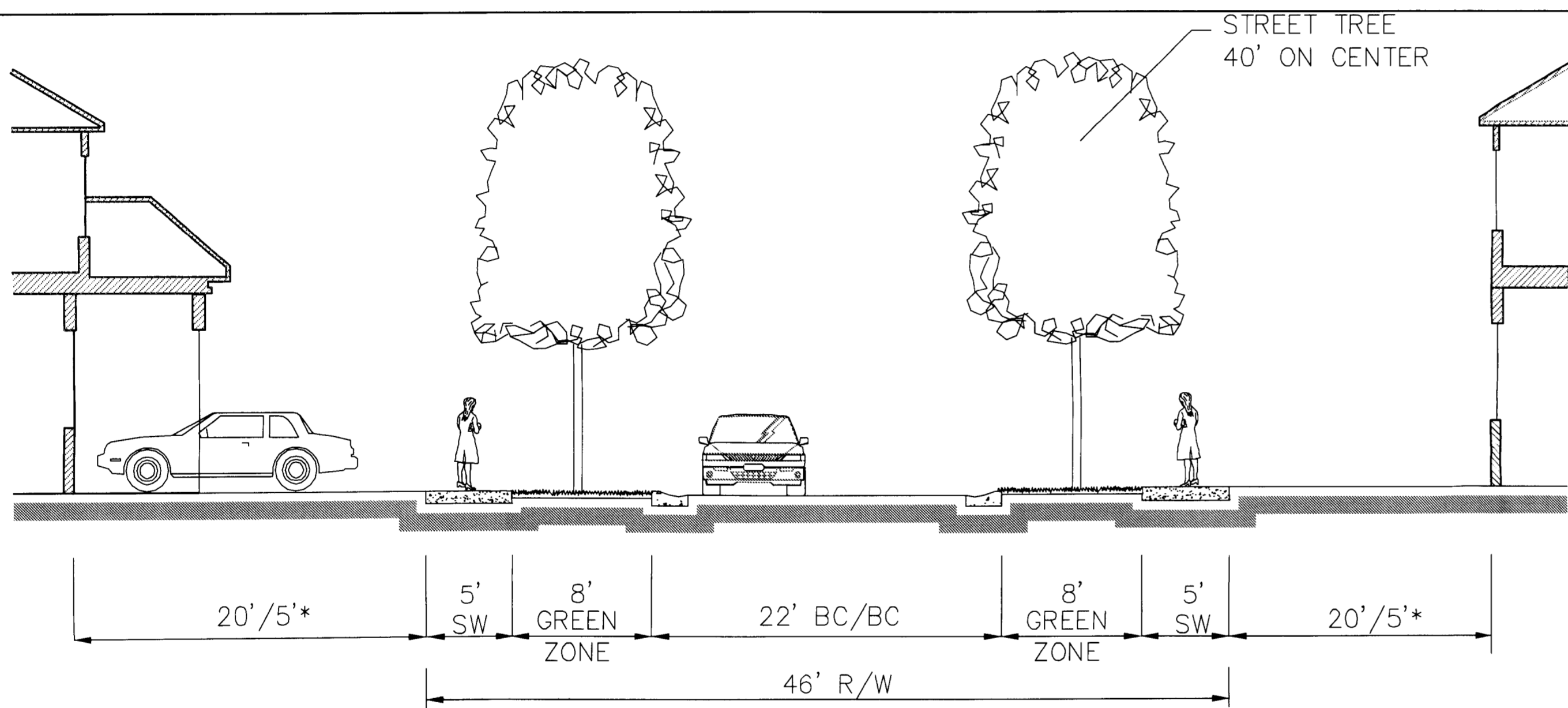
SITE SECTIONS &
DETAILS

15 DEC. 2006

REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 17 JUL. 07, PER CITY COMMENTS
3. 11 MARCH 10, NEW OWNERSHIP, NEW BUILDING FOOTPRINTS

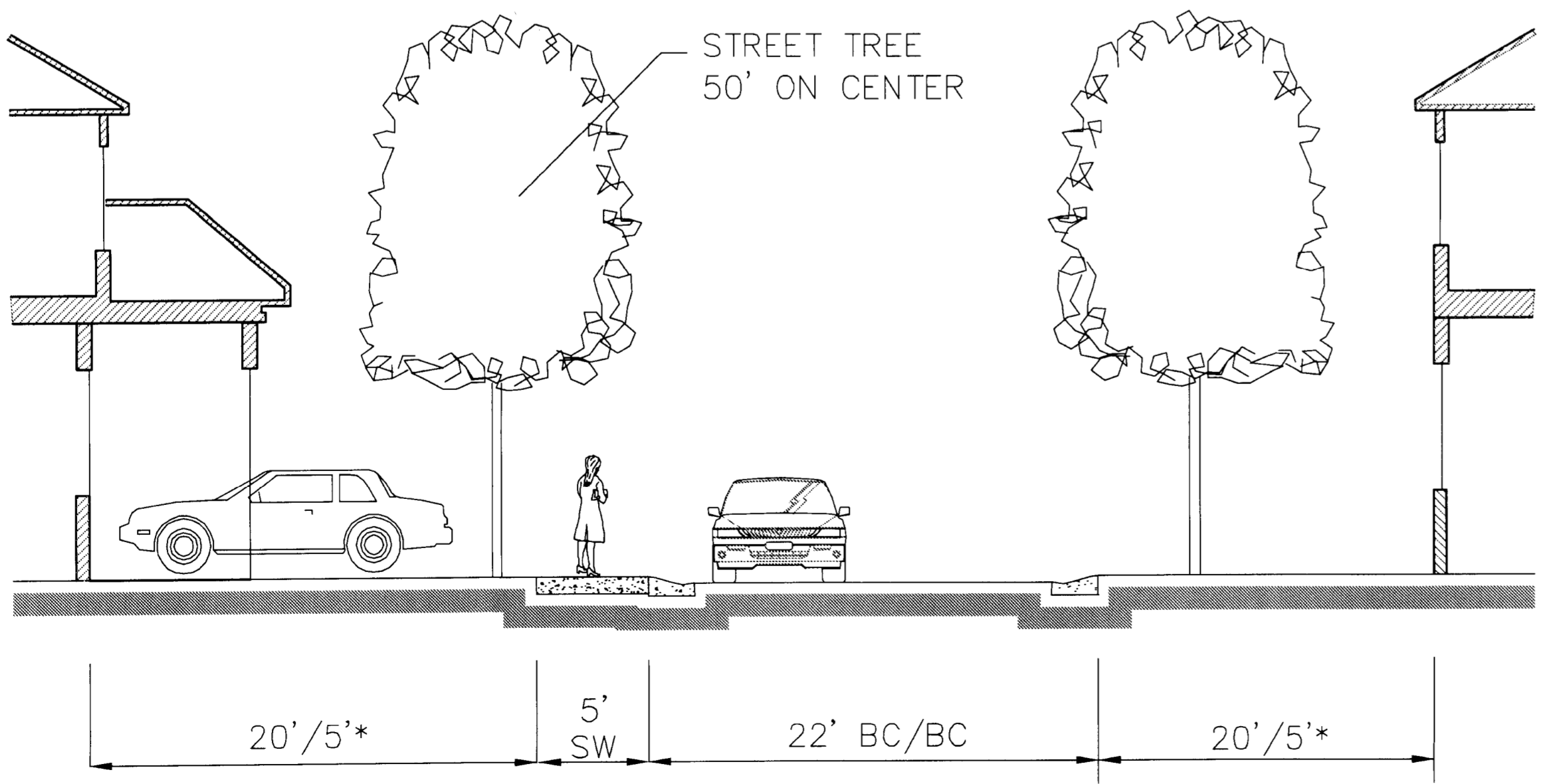


DIVIDED STREET CROSS SECTION



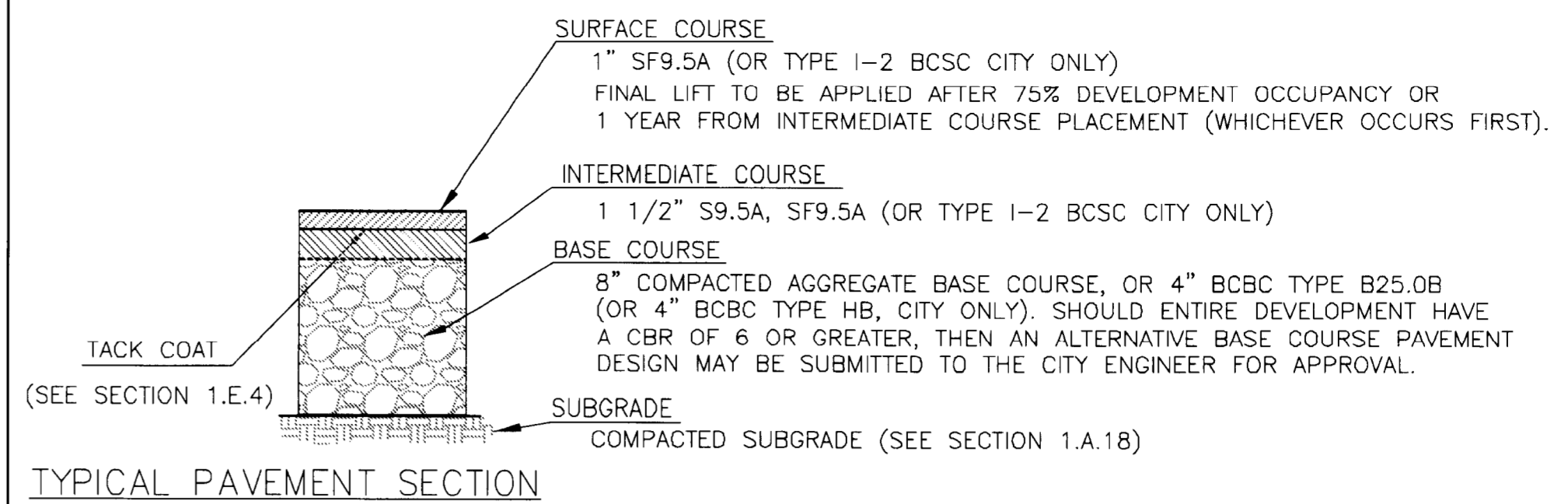
* 20' SETBACK TO FACE OF GARAGE; 5' SETBACK TO BUILDING

RESIDENTIAL STREET CROSS SECTION

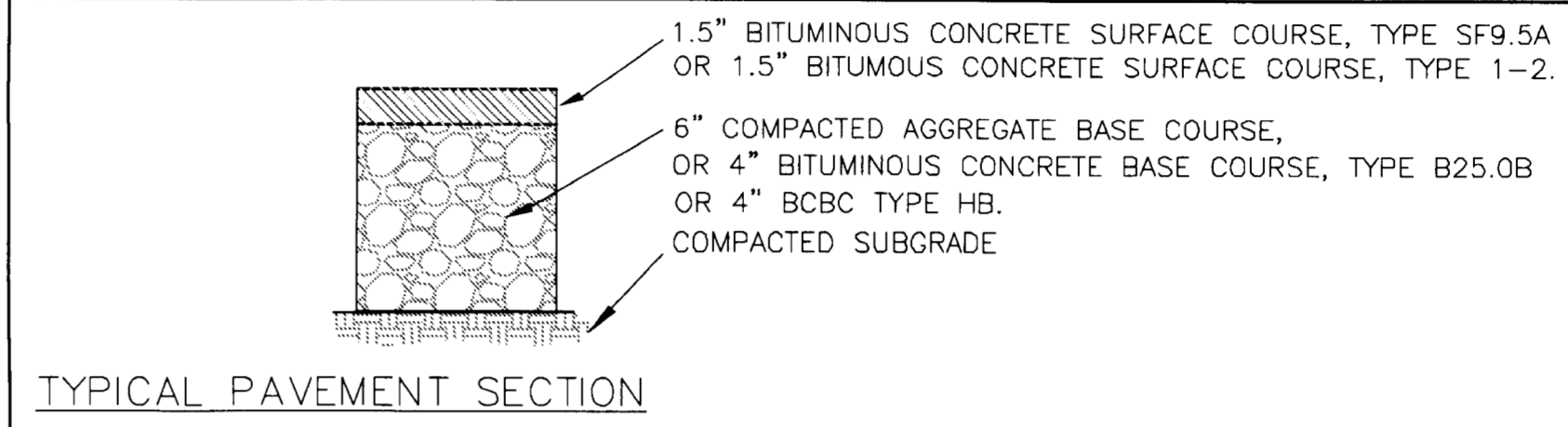


* 20' SETBACK TO FACE OF GARAGE; 5' SETBACK TO BUILDING

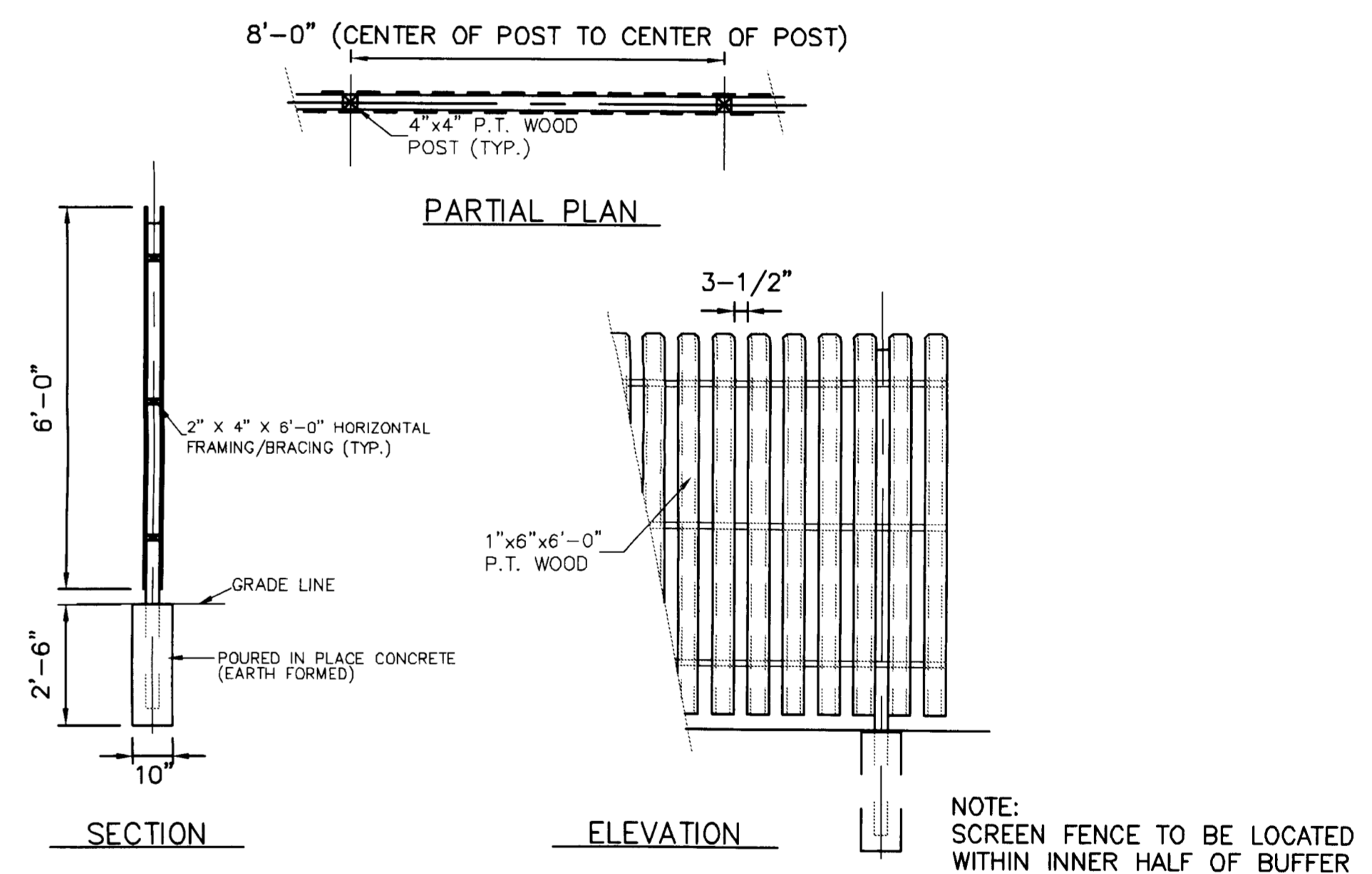
PRIVATE STREET CROSS SECTION



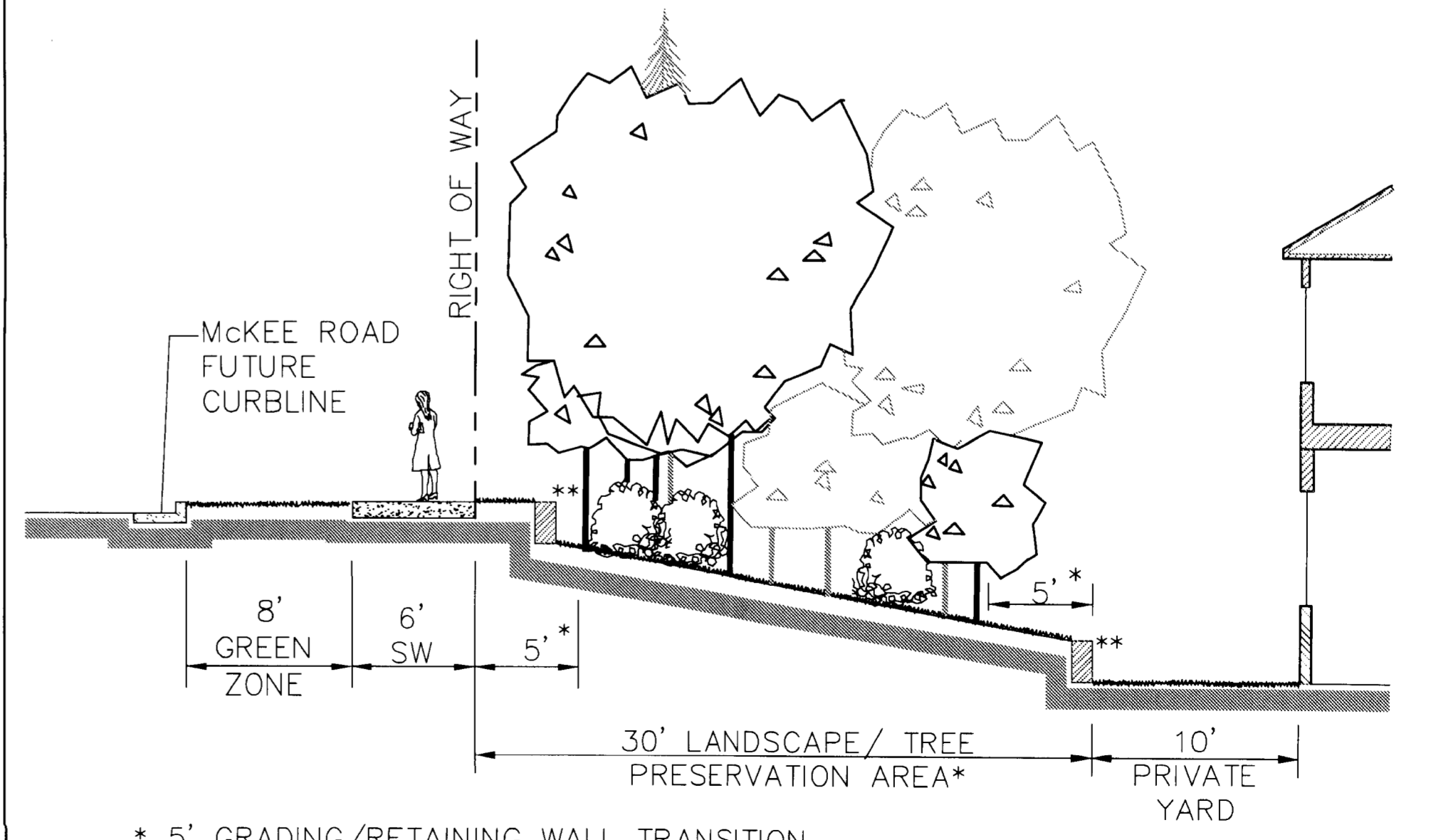
TYPICAL PUBLIC STREET PAVEMENT SECTION



TYPICAL PRIVATE STREET PAVEMENT SECTION



WOODEN SCREEN FENCE



* 5' GRADING/RETAINING WALL TRANSITION
** SEE SHEETS L-3 & L-4 FOR RETAINING WALL LOCATIONS

McKEE ROAD AND LANDSCAPE/TREE PRESERVATION AREA CROSS SECTION



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgp.com

GLENMORE GARDEN VILLAS

CHARLOTTE, NC

STANDARD PACIFIC HOMES

11525 CARMEL COMMONS BLVD., SUITE 301

CHARLOTTE, NC 28226

704-759-6004

CONSTRUCTION PLANS



SCALE: NTS

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: JS

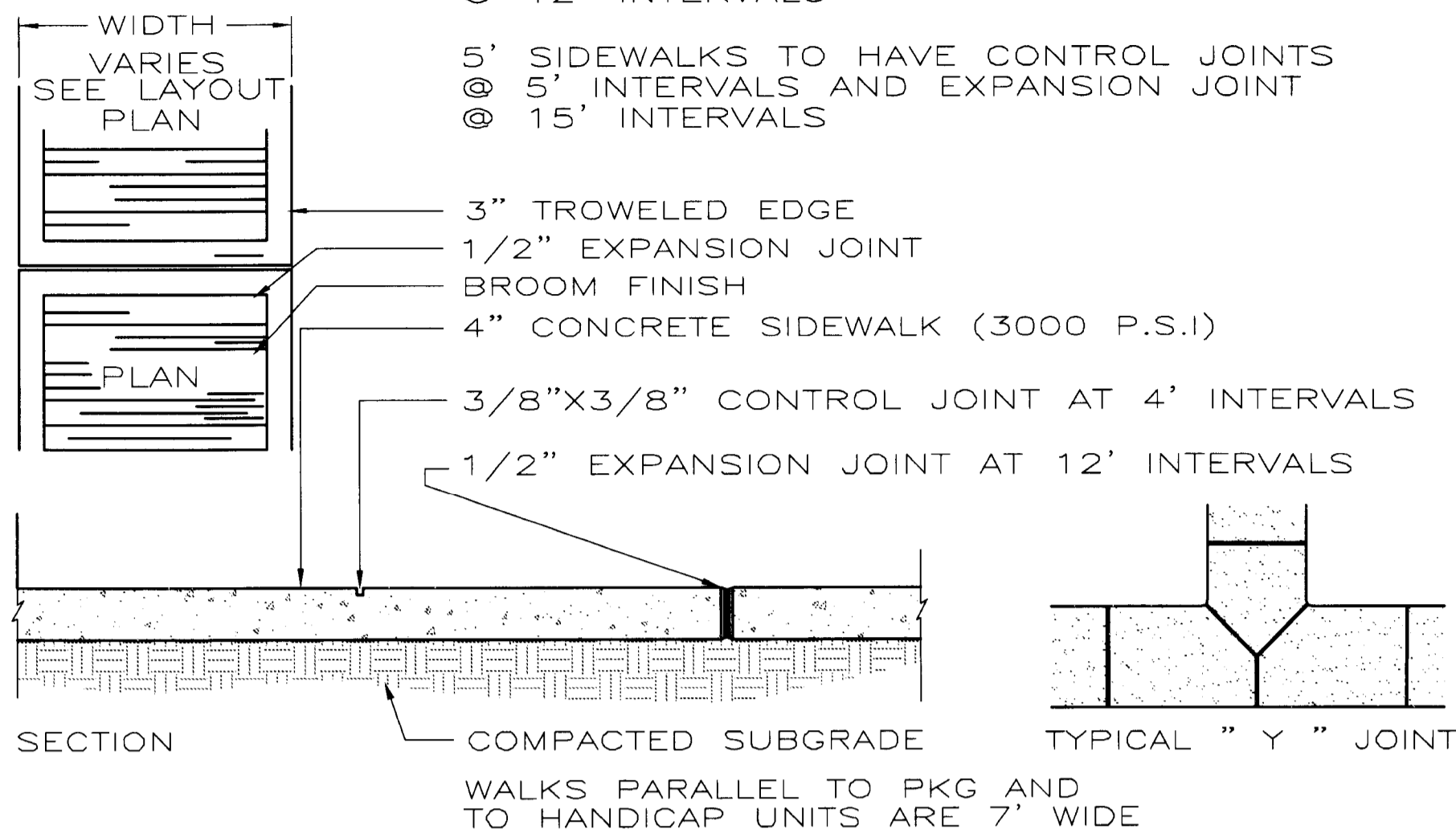
SITE DETAILS

15 DEC. 2006

REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 11 MAR. 10, NEW OWNERSHIP, NEW BUILDING FOOTPRINTS

L-10

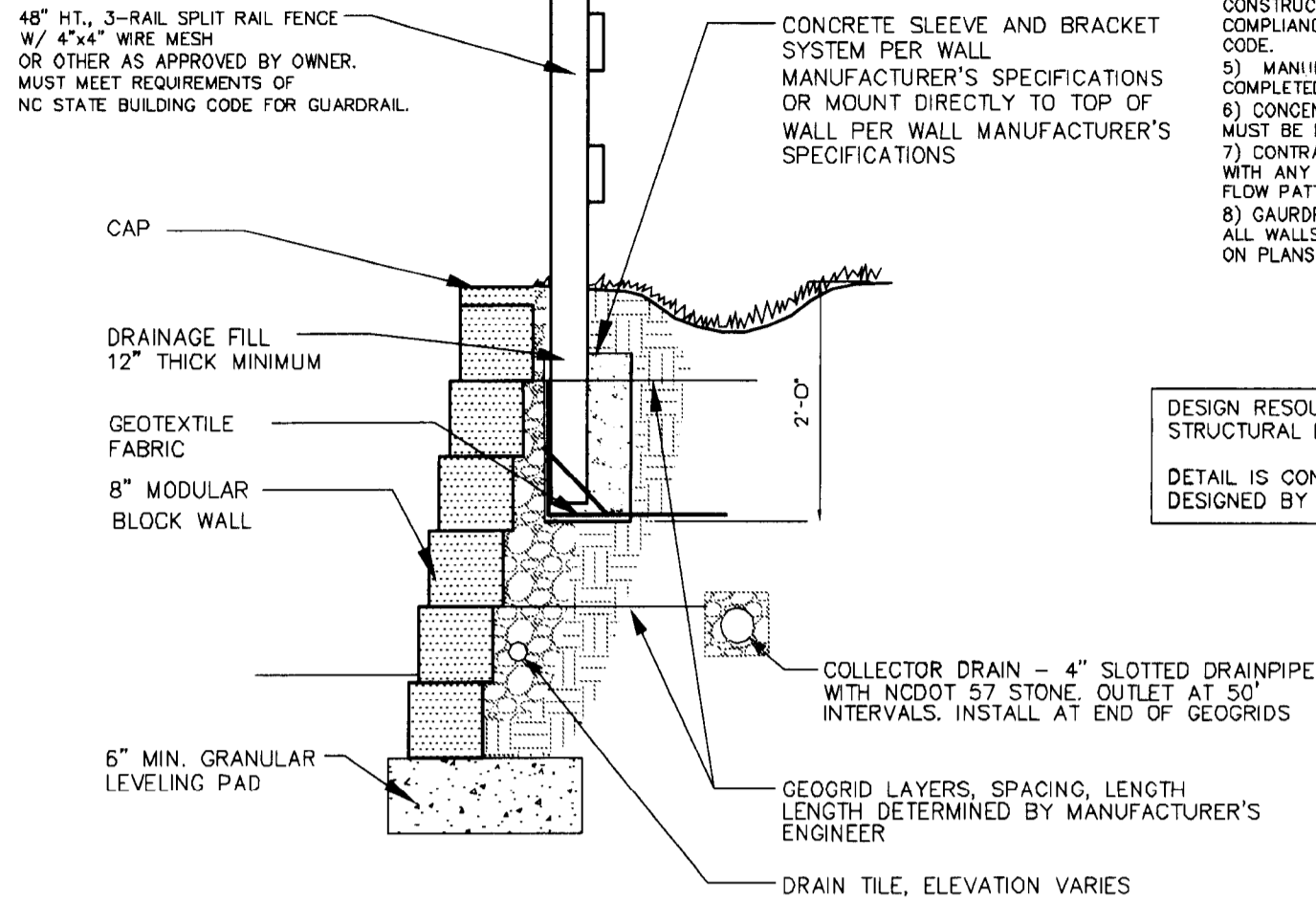
NOTE:
4' SIDEWALKS TO HAVE CONTROL JOINTS @ 4' INTERVALS AND EXPANSION JOINT @ 12' INTERVALS



NOTE:
MAX CROSS SLOPE 2%

5' CONCRETE SIDEWALK

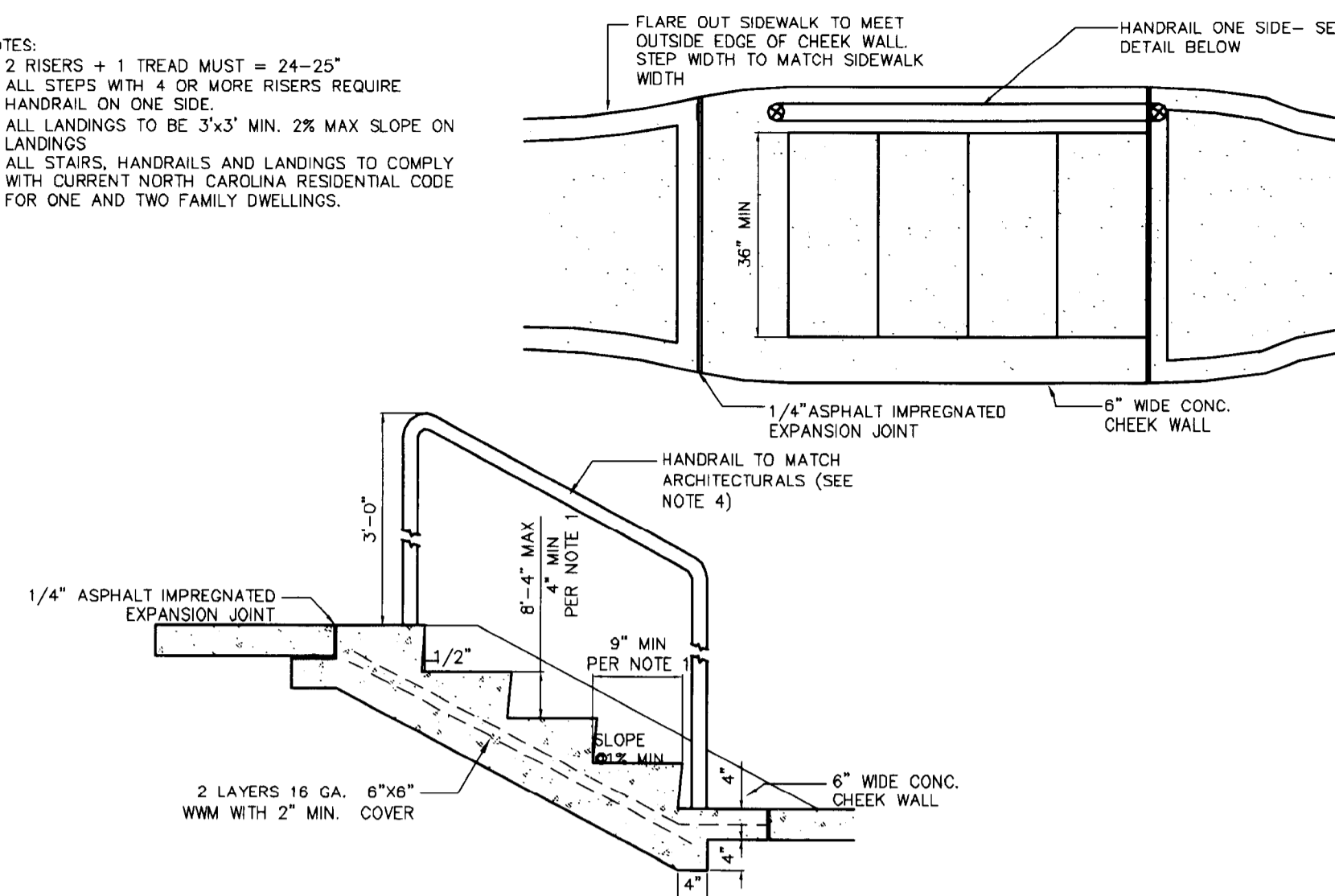
NOTES:
1) THE MODULAR BLOCK COLOR TO BE CHOSEN BY THE OWNER.
2) DESIGN OF ALL RETAINING WALLS IS TO BE PER NC BUILDING CODE SECTION 1610.3
3) DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
4) AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE AUTHORITY THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE.
5) MANUFACTURER SHALL PROVIDE CALCULATIONS COMPLETED BY A LICENSED STRUCTURAL ENGINEER.
6) CONCENTRATED FLOW FROM SWALES, DOWNSPOUTS, ETC MUST BE DIRECTED AWAY AND AROUND WALL.
7) CONTRACTOR SHALL NOTIFY DESIGN RESOURCE GROUP WITH ANY DISCREPANCIES WITH PLANS AND CONCENTRATED FLOW PATTERNS.
8) CAURDAIR REQUIRED ON ALL WALLS 30' OR GREATER. ALL WALLS ADJACENT TO WALKWAYS AND WHERE INDICATED ON PLANS



DESIGN RESOURCE GROUP IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN OF RETAINING WALLS. DETAIL IS CONCEPTUAL ONLY. ALL WALLS MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.

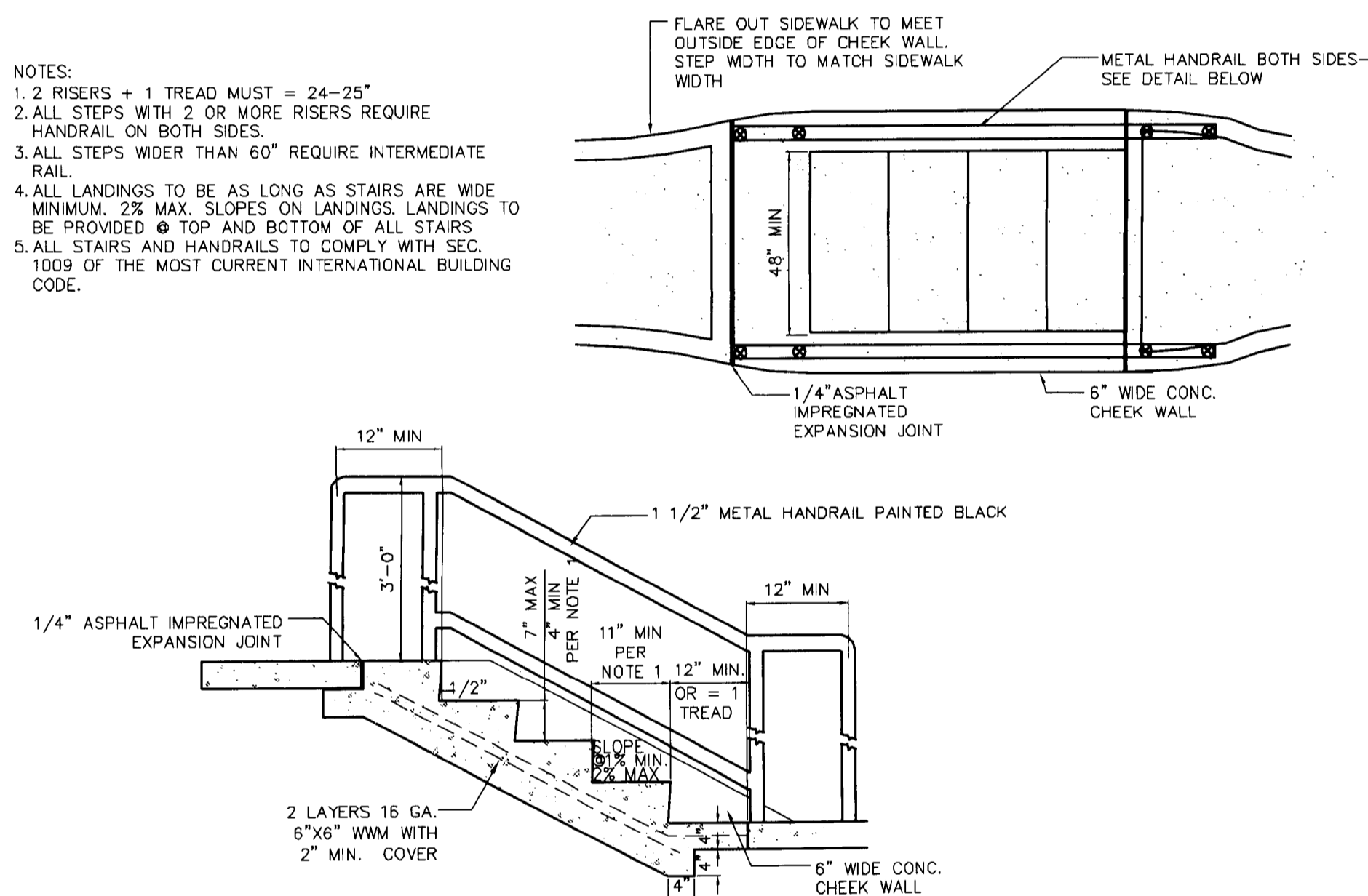
MODULAR BLOCK RETAINING WALL

NOTES:
1. 2 RISERS + 1 TREAD MUST = 24"-25"
2. ALL STEPS WITH 4 OR MORE RISERS REQUIRE HANDRAIL ON ONE SIDE.
3. ALL LANDINGS TO BE 3'x3' MIN. 2% MAX SLOPE ON LANDINGS
4. ALL STAIRS, HANDRAILS AND LANDINGS TO COMPLY WITH CURRENT NORTH CAROLINA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.



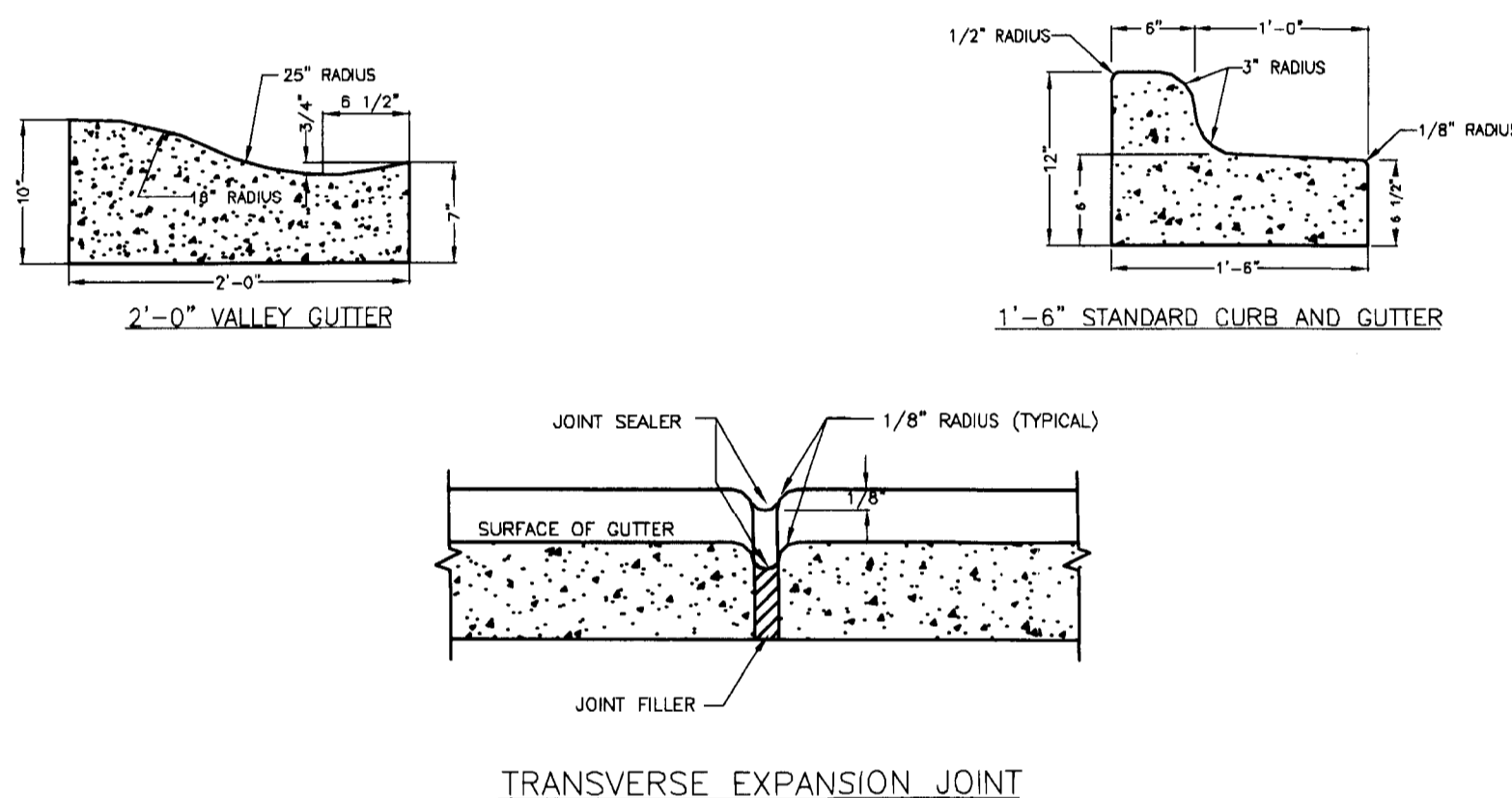
CONCRETE STAIRS WITH RAIL AT INDIVIDUAL UNITS

NOTES:
1. 2 RISERS + 1 TREAD MUST = 24"-25"
2. ALL STEPS WITH 2 OR MORE RISERS REQUIRE HANDRAIL ON BOTH SIDES.
3. ALL STEPS WIDER THAN 60" REQUIRE INTERMEDIATE RAIL.
4. ALL LANDINGS TO BE AS LONG AS STAIRS ARE WIDE MINIMUM. 2% MAX. SLOPES ON LANDINGS. LANDINGS TO BE PROVIDED @ TOP AND BOTTOM OF ALL STAIRS.
5. ALL STAIRS AND HANDRAILS TO COMPLY WITH SEC. 1009 OF THE MOST CURRENT INTERNATIONAL BUILDING CODE.



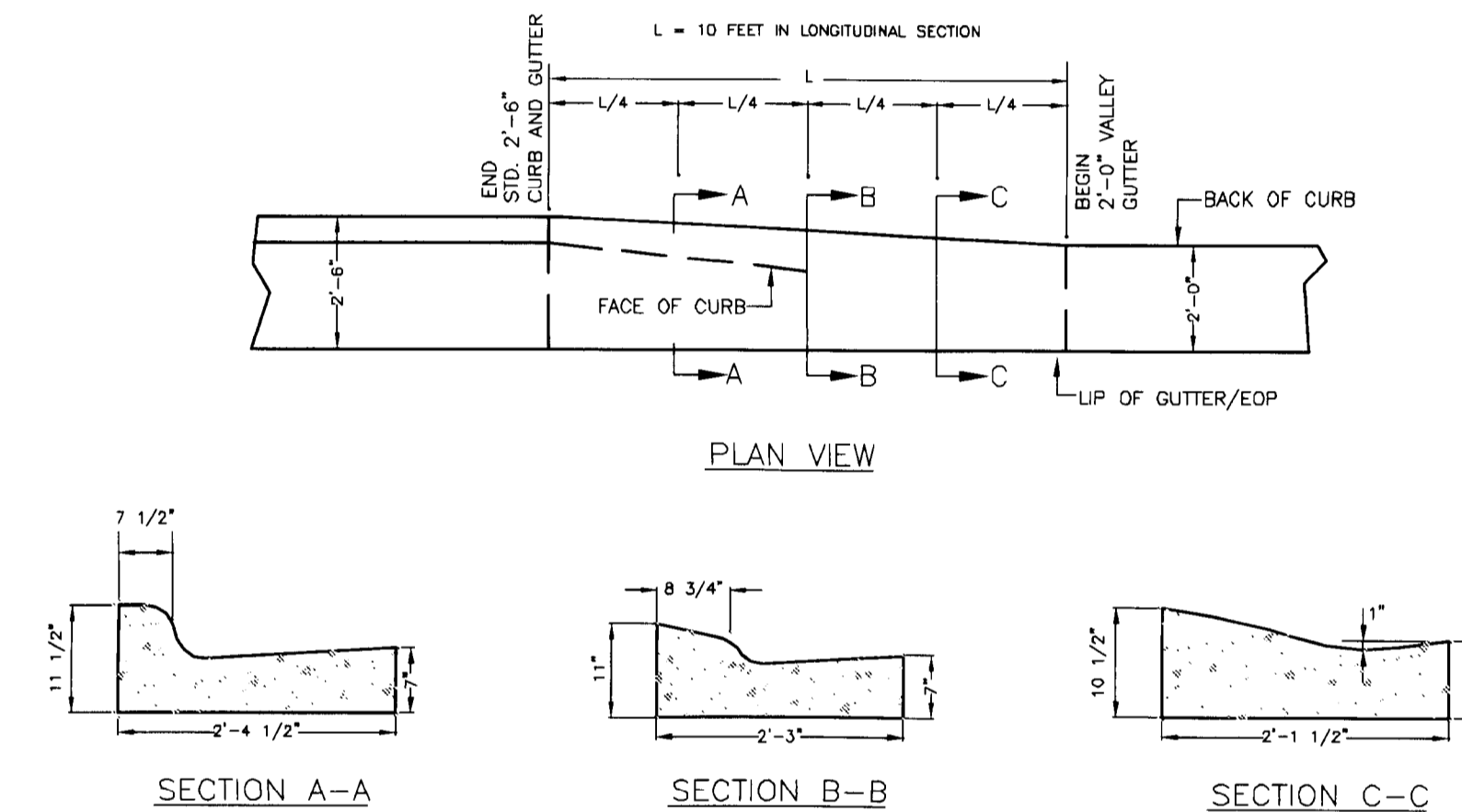
CONCRETE STAIRS WITH RAIL IN COMMON AREAS

MODULAR BLOCK RETAINING WALL



NOTES:
1. CONTRACTION JOINTS SHALL BE SPACED AT 10'-FOOT INTERVALS. FOR VALLEY GUTTER, A 10'-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE CITY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
3. ALL EXPANSION JOINTS SHALL BE SPACED AT 80'-FOOT INTERVALS AND ADJACENT TO ALL ROAD OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
5. CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
6. TOP 8" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

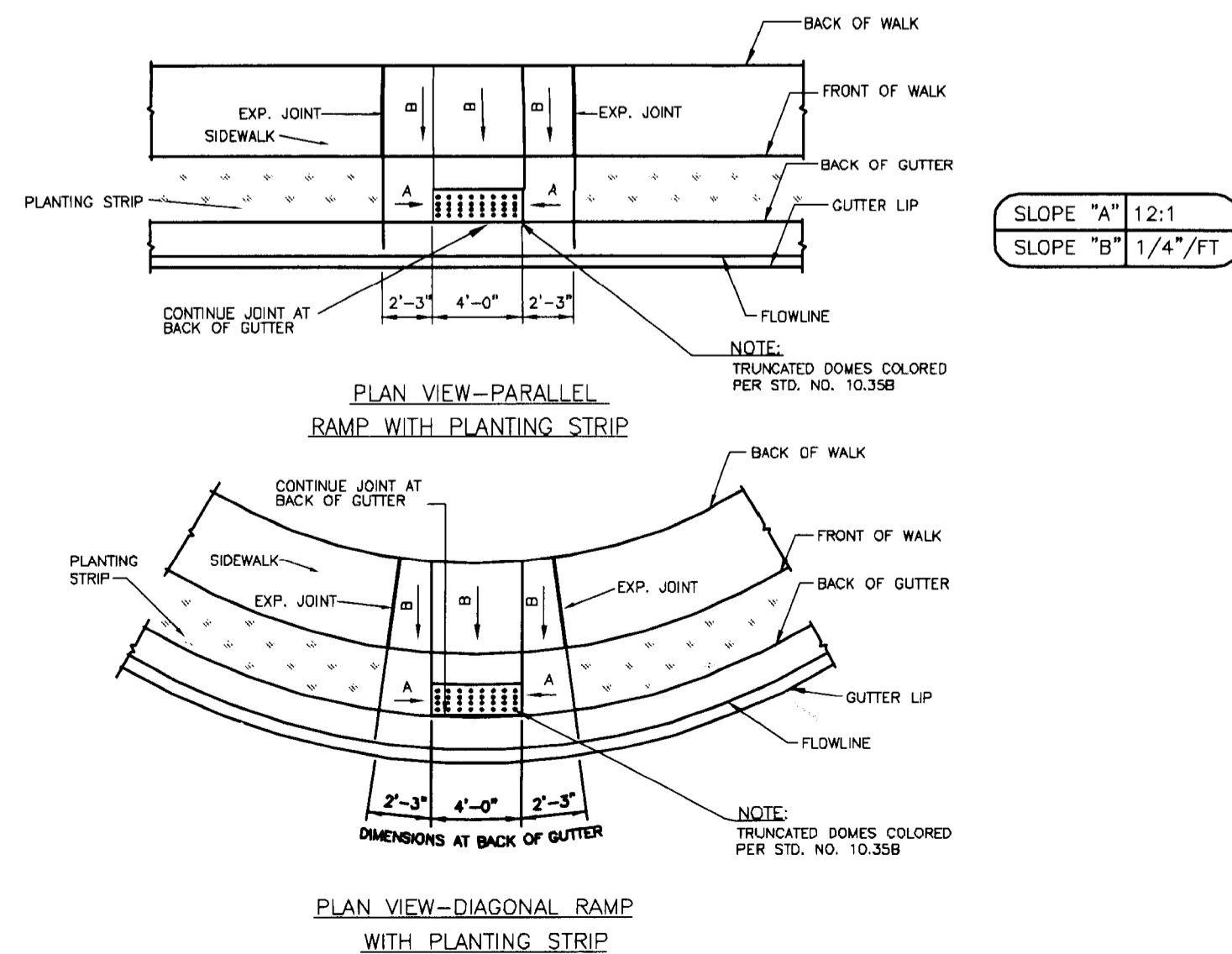
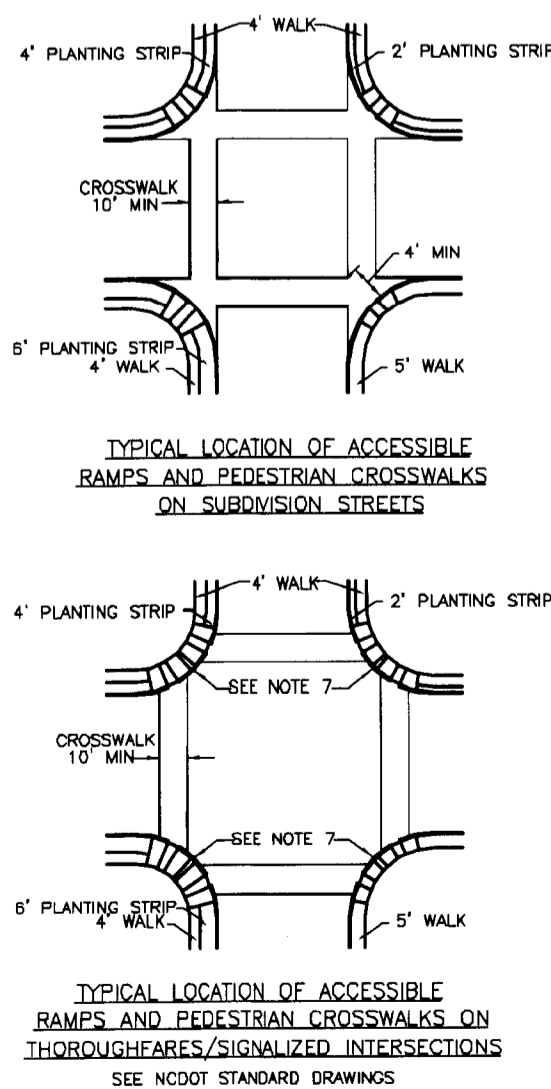
CURB AND GUTTER



NOTES:
1. TRANSITION IS NOT TO BE LOCATED WITHIN THE CURB RADIUS.

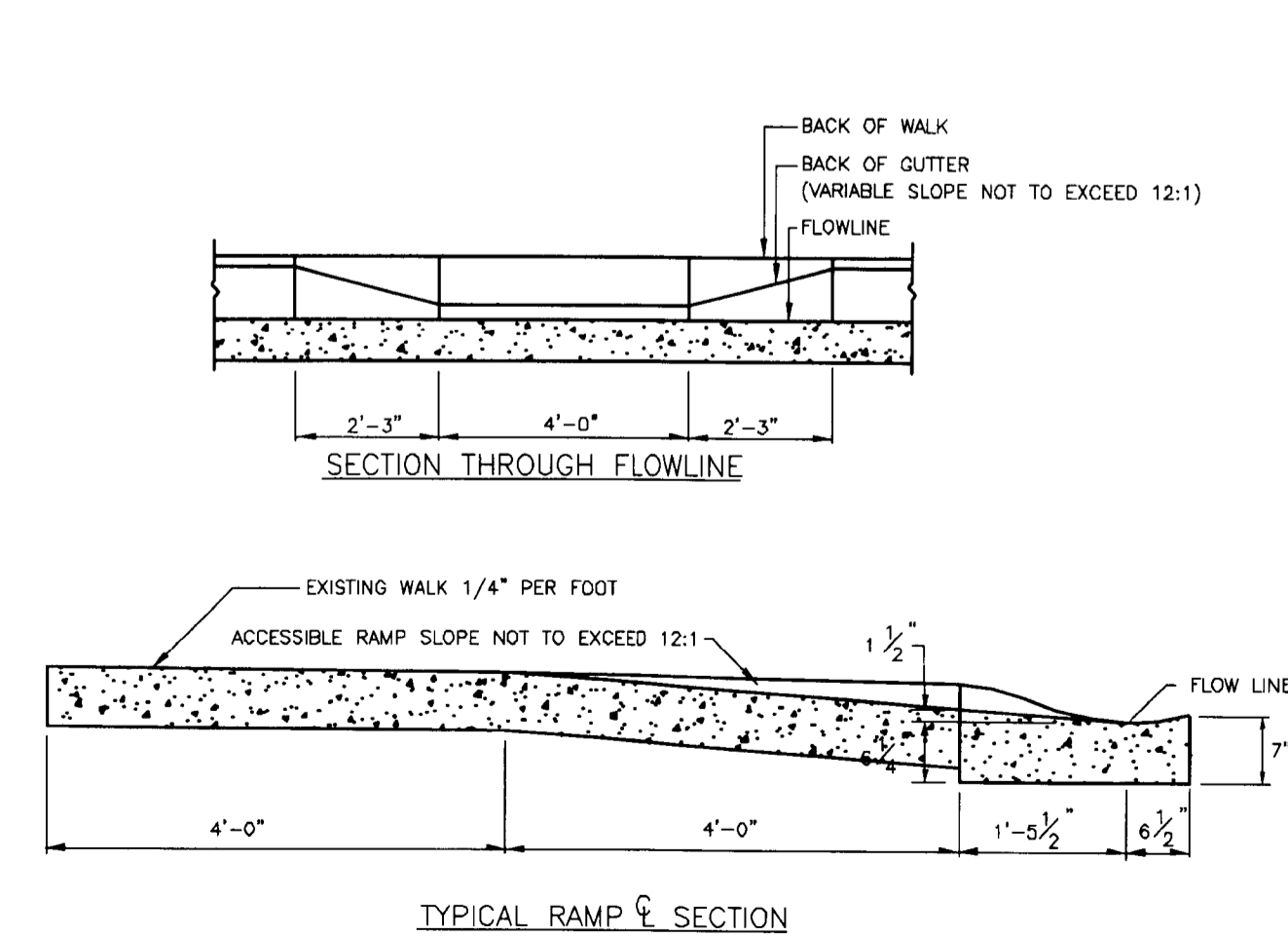
CURB TRANSITION 2'6" CURB AND GUTTER TO 2'-0" VALLEY GUTTER

NOTES:
1. RAMP AND WING SLOPES SHALL NOT BE STEEPER THAN 12:1.
2. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
3. THE SURFACE OF THE RAMP SHALL BE FLUSH WITH THE FLOWLINE OF THE CURB AND GUTTER.
4. THE RAMP OPENING (AT THE FULLY DEPRESSED CURB) SHALL BE LOCATED WITHIN THE PARALLEL BOUNDARIES OF THE CROSSWALK MARKINGS. THE RAMP CENTERLINE SHALL BE LOCATED AT THE CORNER RADIUS CENTERLINE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. DIAGONAL CURB RAMPS SHALL HAVE A SEGMENT OF STRAIGHT CURB AT LEAST 24 INCHES LONG LOCATED ON EACH SIDE OF THE WING SLOPE AND WITHIN THE CROSSWALK MARKINGS.
5. THE WING AND RAMP SURFACES SHALL BE 3600 PSI CONCRETE WITH A SOLIDWALK FINISH IN ACCORDANCE WITH CURRENT EDITION NCDDI STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
6. DRAINAGE STRUCTURES, MAST ARMS, LIGHT POLES AND OTHER OBSTRUCTIONS SHALL NOT BE PLACED IN LINE WITH RAMPS. LOCATION OF THE RAMP SHALL TAKE PRECEDENCE OVER LOCATION OF OBSTRUCTIONS EXCEPT WHERE EXISTING OBSTRUCTIONS ARE BEING UTILIZED IN THE NEW CONSTRUCTION.
7. AT ALL LOCATIONS, NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN THE RAMPS.
8. SEE STANDARD DRAWING 10.35B FOR DETECTABLE WARNING INSTALLATION.



ACCESSIBLE RAMP STANDARD 2'-0" VALLEY GUTTER

CURB TRANSITION 2'6" CURB AND GUTTER TO 2'-0" VALLEY GUTTER



ACCESSIBLE RAMP SECTIONS 2'-0" VALLEY GUTTER

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

STANDARD PLACEMENT OF ACCESSIBLE RAMP AND GENERAL NOTES

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

ACCESSIBLE RAMP STANDARD 2'-0" VALLEY GUTTER

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

ACCESSIBLE RAMP SECTIONS 2'-0" VALLEY GUTTER



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.348.3093
www.drgrp.com

GLENMORE GARDEN VILLAS

CHARLOTTE, NC

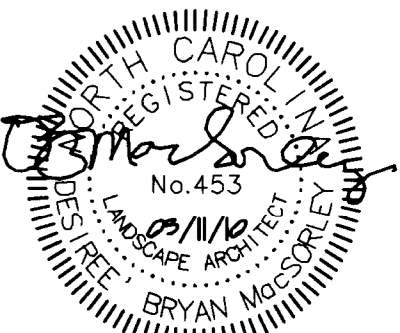
STANDARD PACIFIC HOMES

11525 CARMEL COMMONS BLVD., SUITE 301

CHARLOTTE, NC 28226

704-759-6004

CONSTRUCTION PLANS



SCALE: NTS

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: JS

SITE DETAILS

15 DEC. 2006

REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 11 MAR. 10, NEW OWNERSHIP, NEW BUILDING FOOTPRINTS

DRIVEWAY DIMENSIONS		
OPERATION/RADIUS	MINIMUM	MAXIMUM
ONE-WAY WITH 6'-12' FT. RADIUS	20'	30'
ONE-WAY WITH 13'+ FT. RADIUS	15'	25'
TWO-WAY WITH 6'-12' FT. RADIUS	26'	50'
TWO-WAY WITH 13'+ FT. RADIUS	22'	40'

NOTES:
1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.

2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE STD. NO. 10.17 FOR JOINT DETAIL. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT, FROM LIP OF CURB TO BACK OF SIDEWALK.

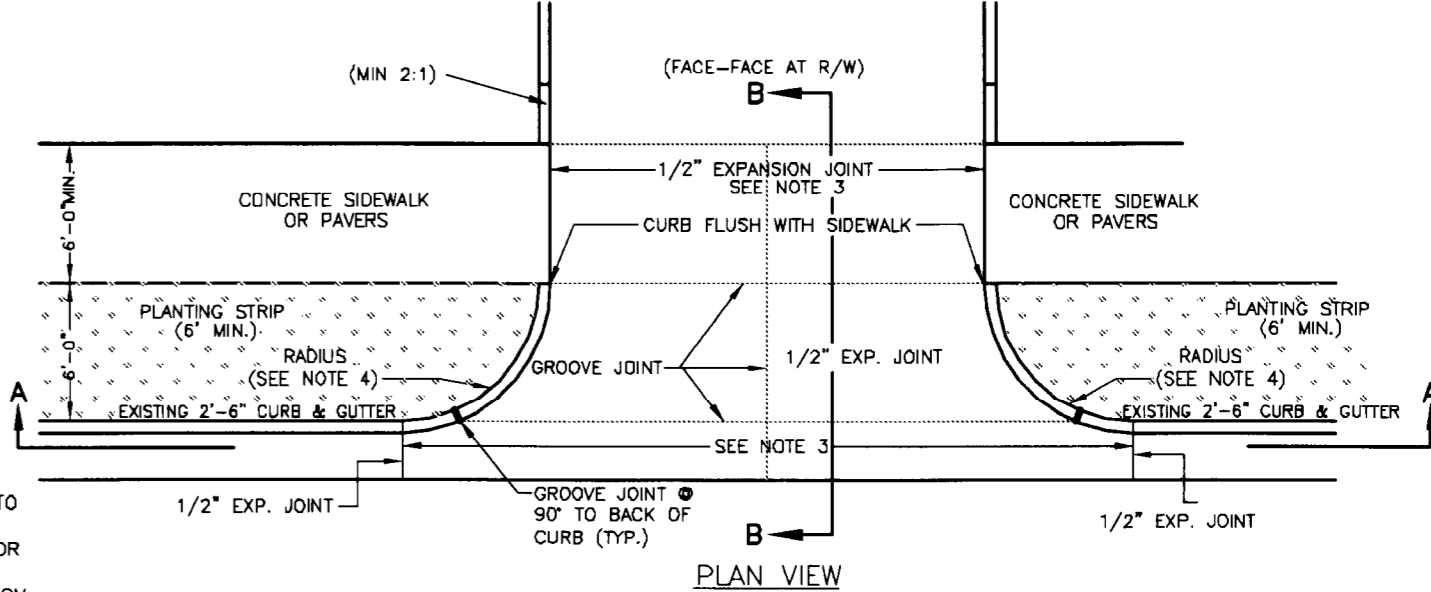
3. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.

4. RADI MUST BE MINIMUM 6 FEET OR THE WIDTH OF THE PLANTING STRIP, WHICHEVER IS GREATER. RADI GREATER THAN THESE MINIMUMS MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 6 FEET, THE RADI ARE TO CONTINUE AS A BAND AT-GRADE THROUGH THE SIDEWALK.

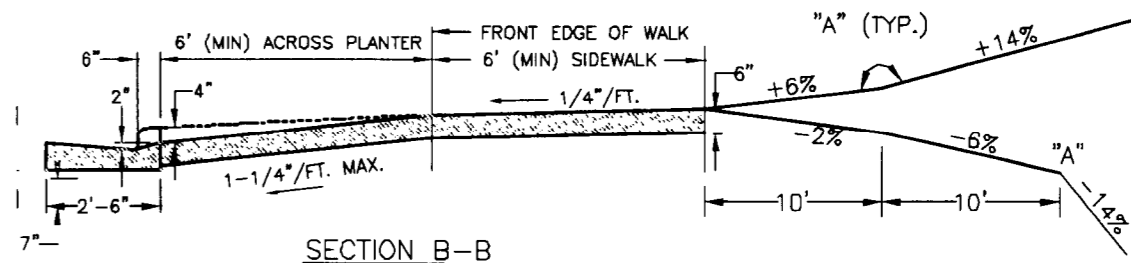
5. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 3 INCHES.

6. ALGEBRAIC DIFFERENCE IN GRADE ("A") BETWEEN SLOPES SHALL BE 8% OR LESS.

NOTE: SUBSTITUTE 2'-0" VALLEY GUTTER FOR STANDARD CURB DRIVEWAY WIDTH 22' PER CDOT



SECTION A-A (ALONG FLOW LINE)



NOT TO SCALE

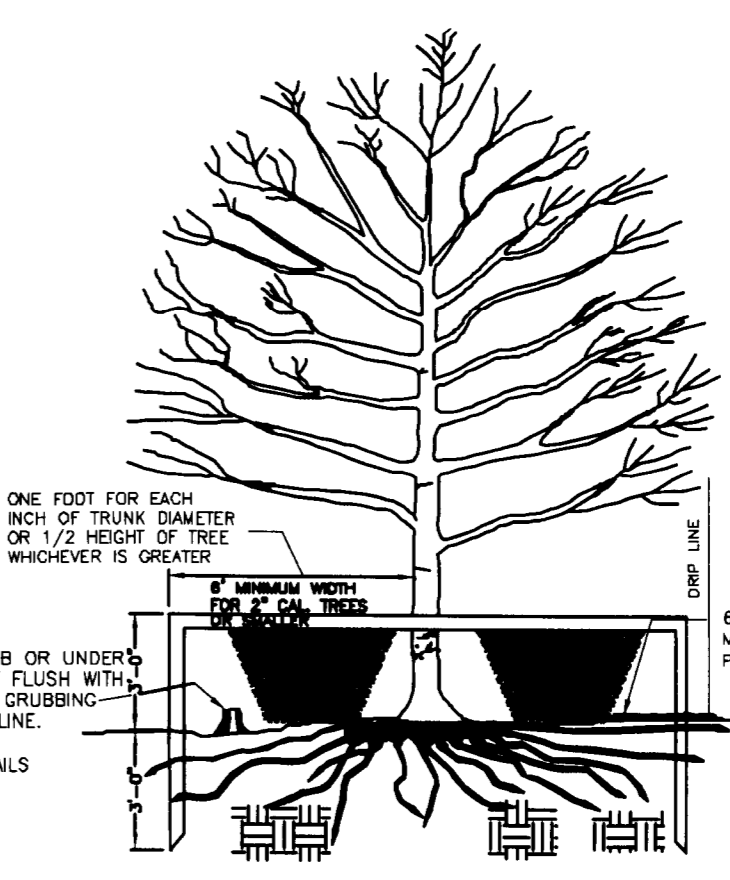
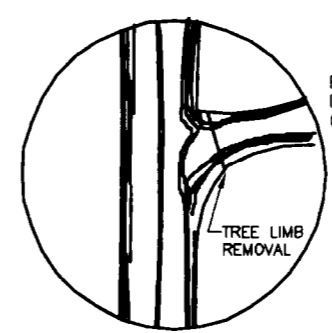
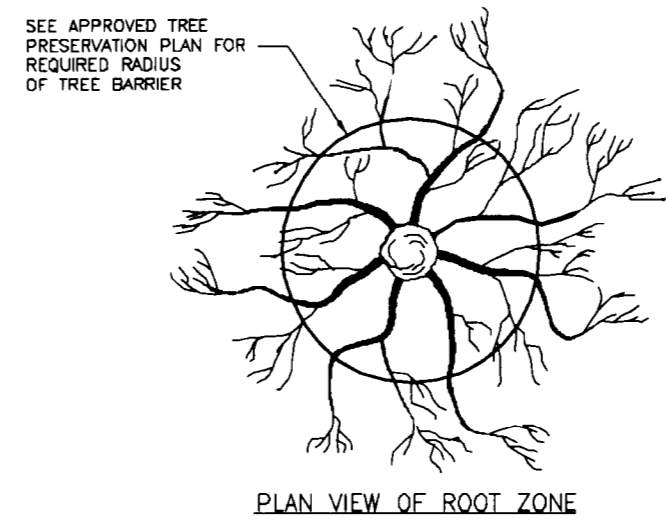
9
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

TYPE II-MODIFIED DRIVEWAY DETAIL WITH WIDE PLANTING STRIP AND STANDARD CURB

STD. NO. REV.
10.25E



NOT TO SCALE

10
L-11



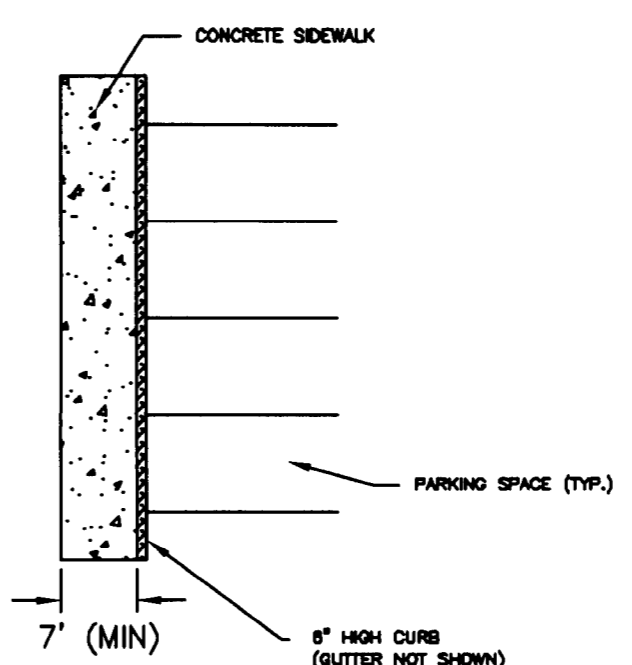
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

TREE PROTECTION DETAIL

STD. NO. REV.
40.02

SIDEWALK ADJACENT TO HEAD-IN OR BACK-IN PARKING SHALL BE AT LEAST 7 FEET WIDE.

PARKING ON ONE SIDE OF A SIDEWALK

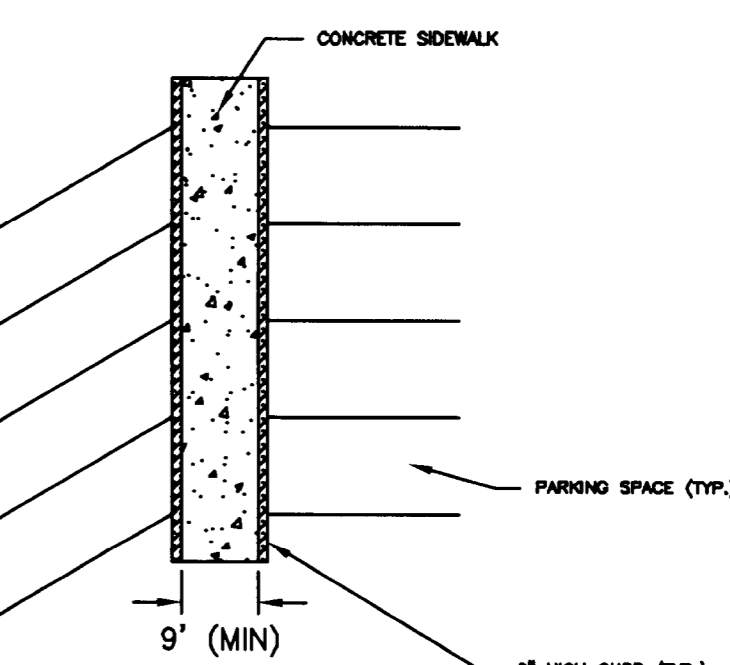


NOTES:

- A 2-FOOT-WIDE PLANTING STRIP LOCATED AT THE BACK OF CURB CAN BE USED IN LIEU OF 2 FEET OF SIDEWALK WIDTH.
- PARKING AT ANY ANGLE OTHER THAN PARALLEL SHALL BE SUBJECT TO THIS STANDARD.
- IF MONOLITHIC CURB & SIDEWALK IS USED, ADD 6" TO ALL DIMENSIONS (1' IF PARKING ON BOTH SIDES).

SIDEWALK BETWEEN TWO ROWS OF HEAD-IN OR BACK-IN PARKING SHALL BE AT LEAST 9 FEET WIDE.

PARKING ON BOTH SIDES OF A SIDEWALK



NOT TO SCALE

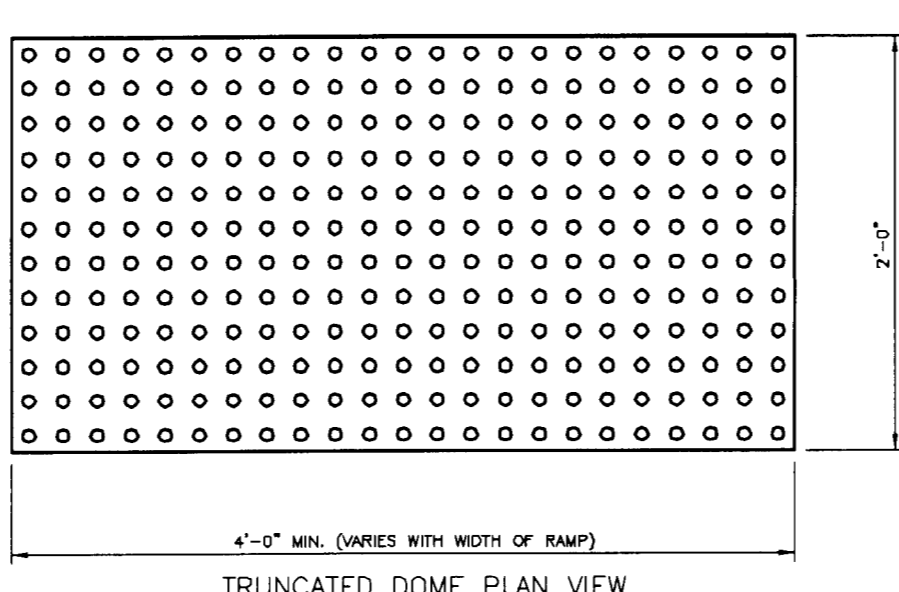
11
L-11



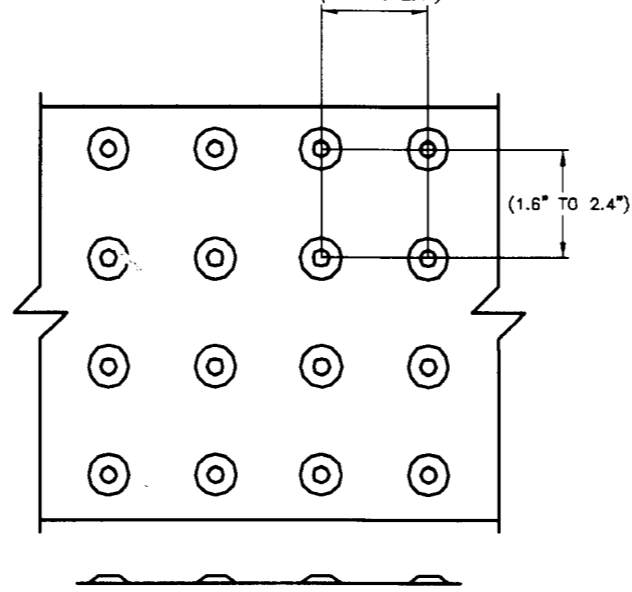
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS (CONTINUED)

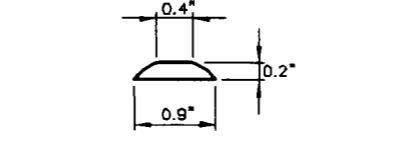
STD. NO. REV.
50.09B



TRUNCATED DOME PLAN VIEW



TRUNCATED DOME SPACING



TRUNCATED DOME SECTION

NOT TO SCALE

- ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF A RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE CITY ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE CITY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (IE. REINFORCING).
- WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
- LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
- DETECTABLE WARNING AREA CAN BE SQUARE, RECTANGULAR, OR A CURB RADIUS.
- DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF OF TRAVEL TO PROMOTE WHEELS TO ROLL BETWEEN DOMES.
- DETECTABLE WARNING AREA SHALL BE COLORED BLACK IN ALL LOCATIONS EXCEPT ON TRYON STREET MALL WHERE FRENCH GRAY IS TO BE USED.
- IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6\"/>

5
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

TRUNCATED DOMES
PLAN AND CROSS-SECTION

REVISED 2/3/06

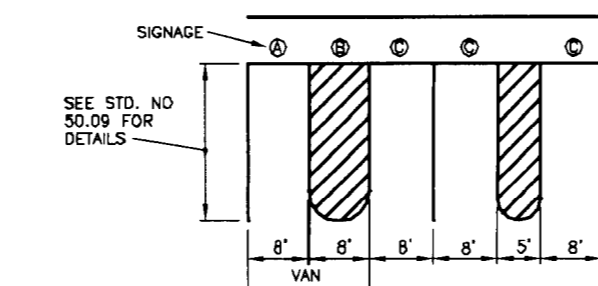
STD. NO. REV.
10.35B

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	2% PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

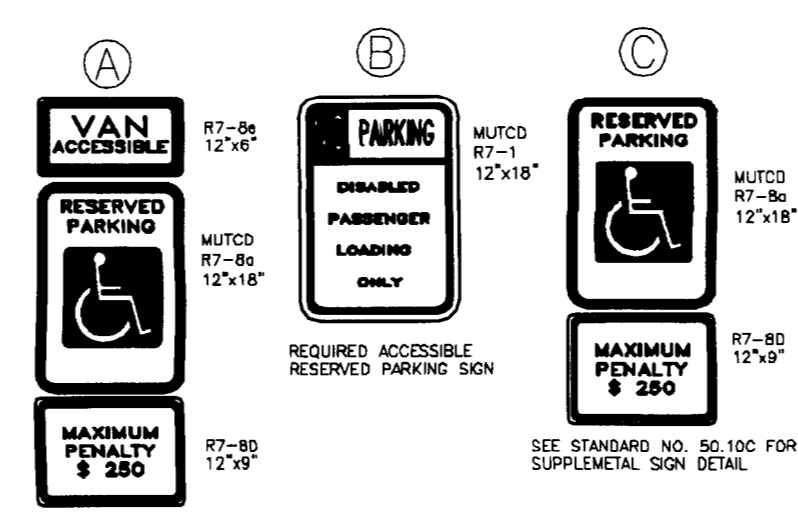
SECTION 4.1.2 (3) OF THE AMERICANS WITH DISABILITIES ACT (ADA). SEE 4.1.2 (5) (6) FOR MEDICAL CARE FACILITIES.

- ALL 12\"/>
- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
- IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



ONE OUT OF EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

PARKING SPACE PAVEMENT MARKINGS



SEE STANDARD NO. 50.10B & 50.10C FOR SUPPLEMENTAL SIGN DETAIL

NOT TO SCALE

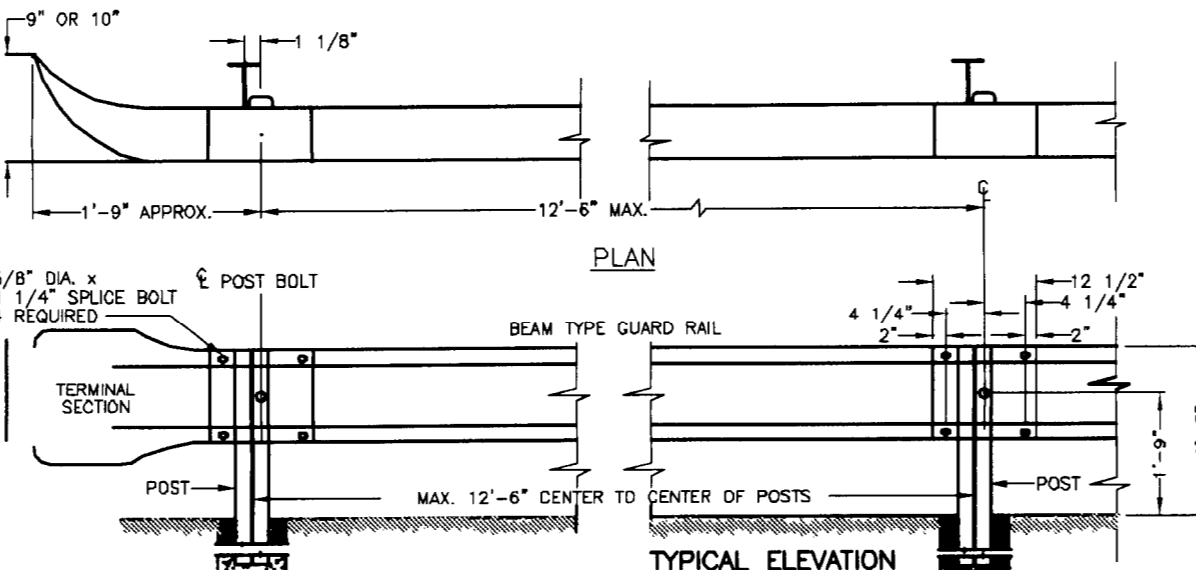
6
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

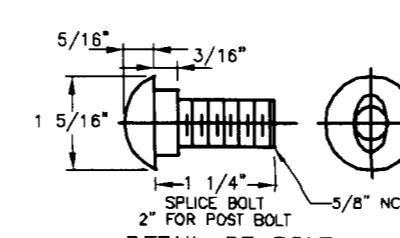
ACCESSIBLE PARKING AND SIGNAGE STANDARDS

STD. NO. REV.
50.10A

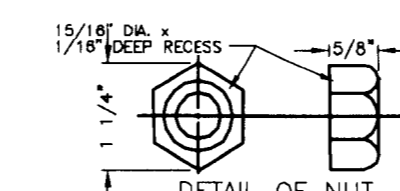


PLAN

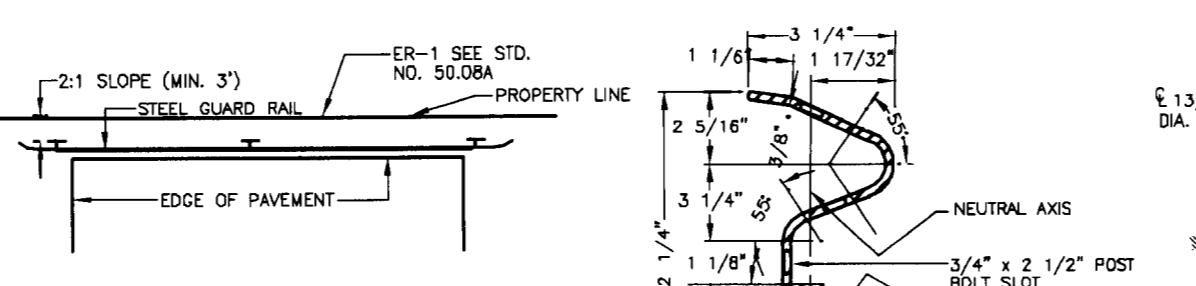
TYPICAL ELEVATION



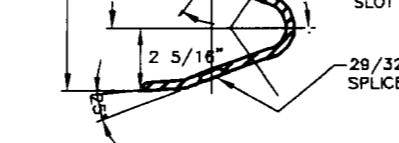
DETAIL OF BOLT



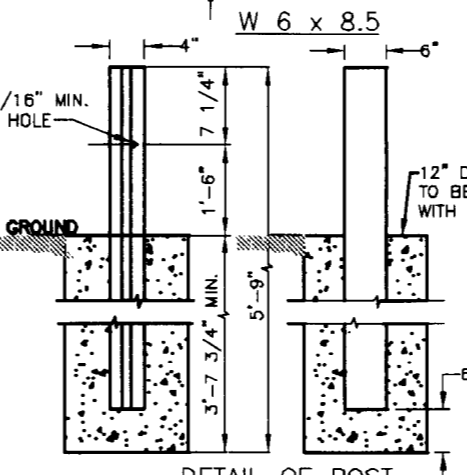
DETAIL OF NUT



DEAD-END STREET BARRICADE



SECTION THRU RAIL ELEMENT



DETAIL OF POST

NOT TO SCALE

NOTE

THIS DETAIL IS NOT A GUARDRAIL DETAIL. FOR ROADSIDE GUARDRAIL, SEE NCDOT STANDARD DRAWINGS 862.01-862.03

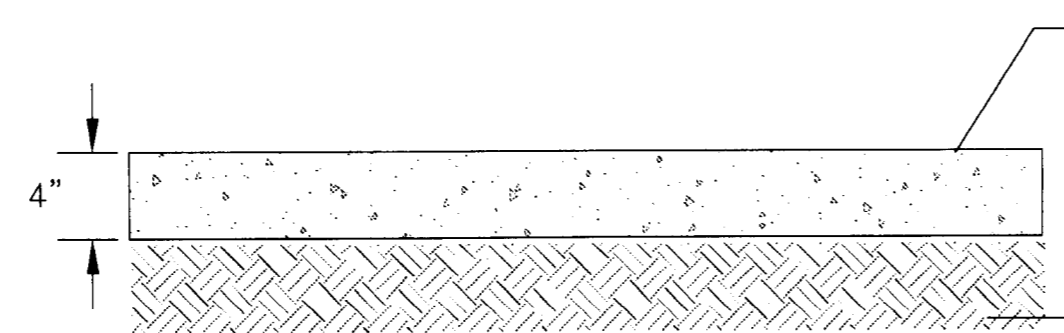
7
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

DEAD END STREET BARRICADE

STD. NO. REV.
50.07A



3,600 P.S.I. CONCRETE REINFORCED WITH FIBERMESH 300 BY SI CONCRETE SYSTEMS (WWW.FIBERMESH.COM) INSTALLED PER MANUFACTURER'S SPECIFICATIONS

COMPACTED SUBGRADE 98% UNIFORM COMPACTION

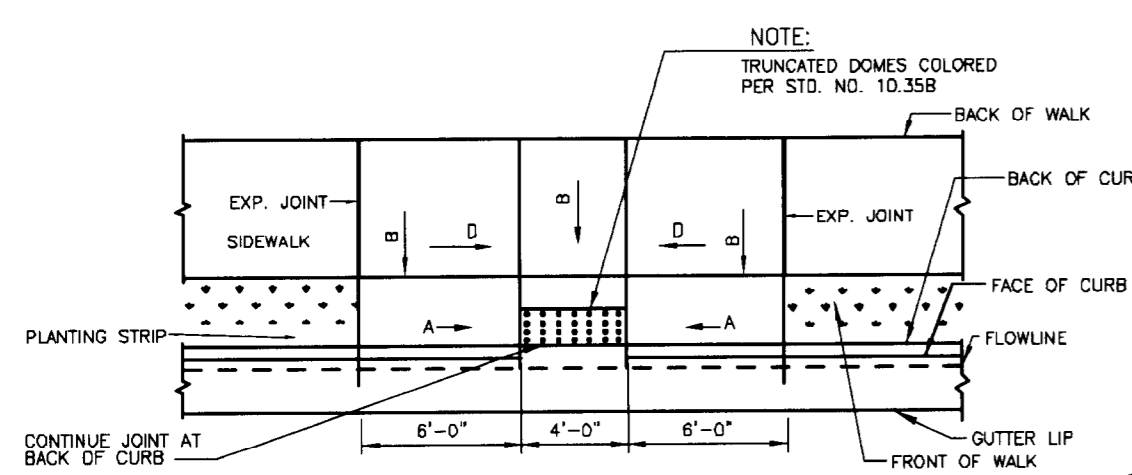
11
L-11



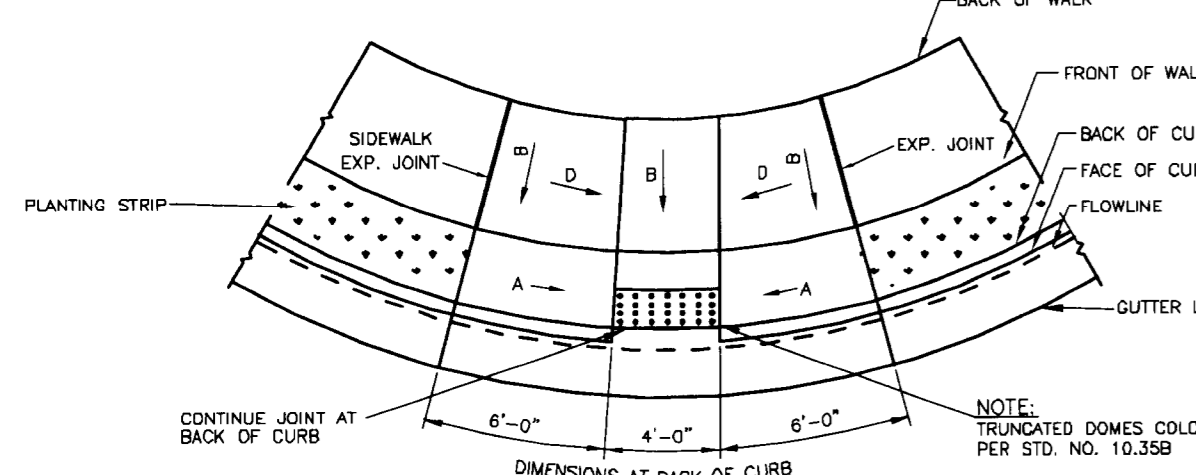
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS (CONTINUED)

NOT TO SCALE



PLAN VIEW-PARALLEL RAMP WITH PLANTING STRIP



PLAN VIEW-DIAGONAL RAMP WITH PLANTING STRIP

NOT TO SCALE

SLOPE "A" 12:1
SLOPE "B" 1/4"/FT
SLOPE "D" 3/8"/FT

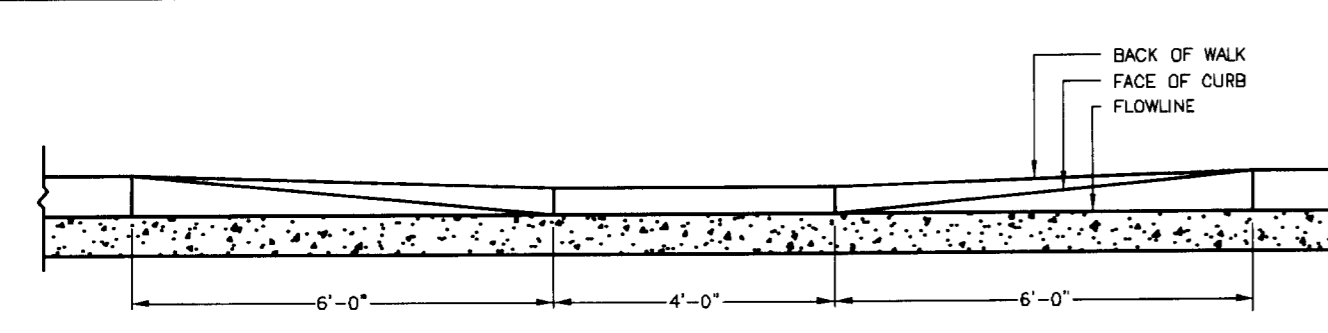
1
L-11



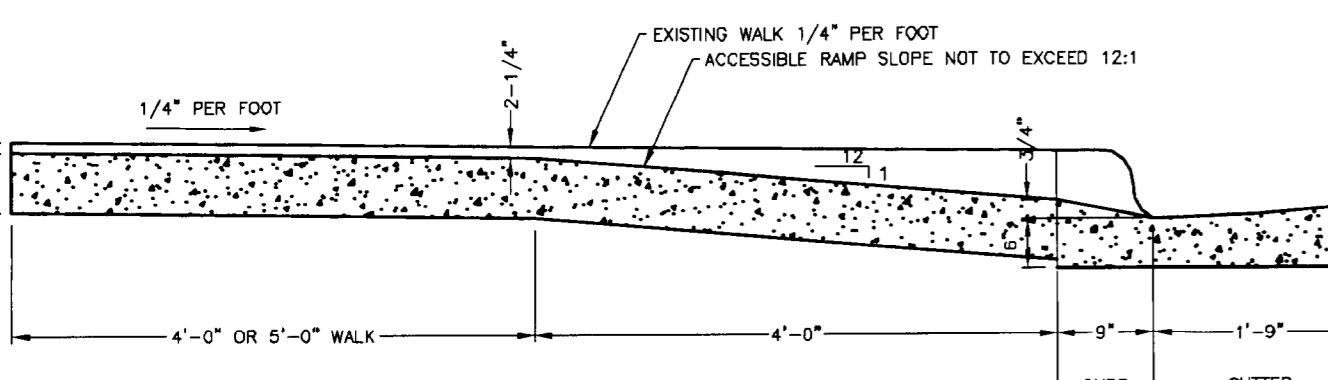
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

ACCESSIBLE RAMP STANDARD WITH PLANTING STRIP 2'-6" CURB AND GUTTER

STD. NO. REV.
10.31A



ELEVATION



TYPICAL RAMP SECTION

NOT TO SCALE

2
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

ACCESSIBLE RAMP SECTIONS WITH PLANTING STRIP 2'-6" CURB AND GUTTER

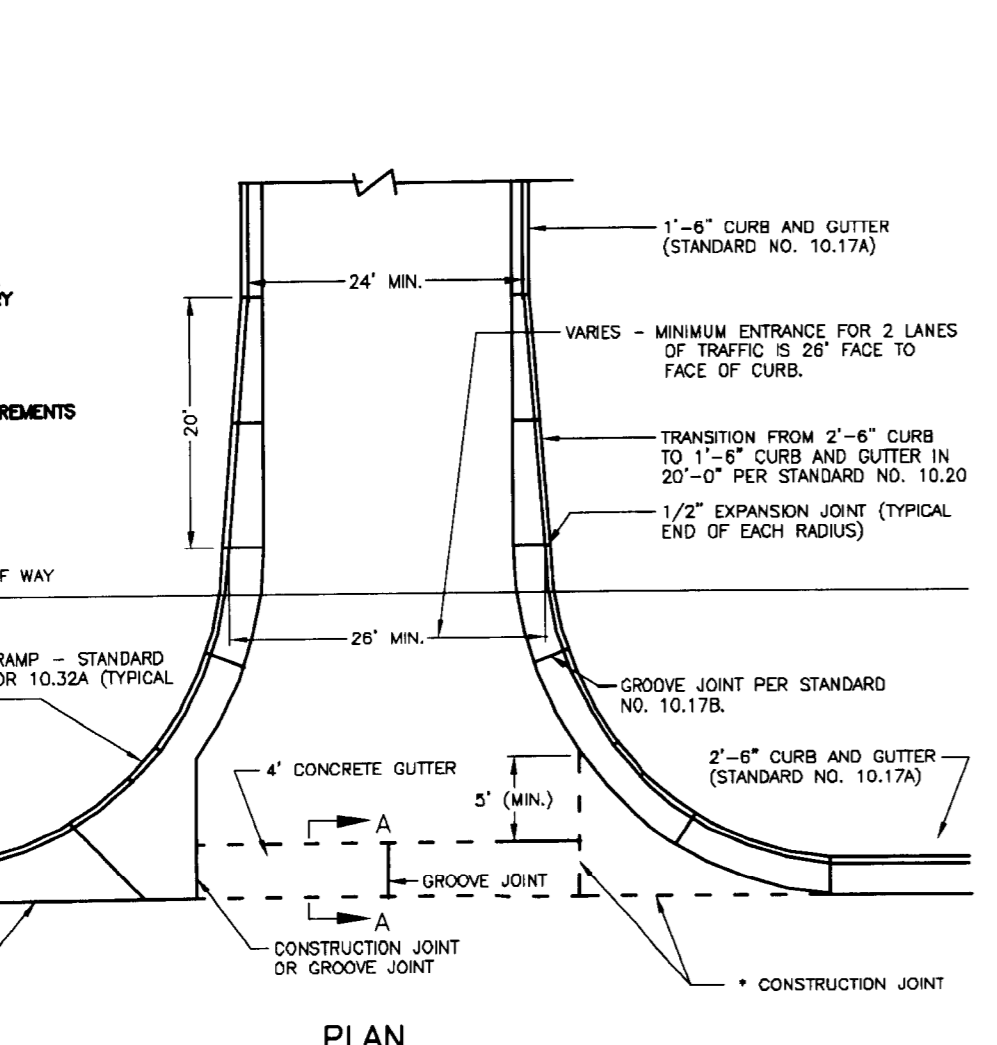
STD. NO. REV.
10.31B

GENERAL NOTES:

- STEEL BEAM TYPE GUARD RAILS SHALL BE INSTALLED AT THE END OF ALL DEAD-END STREETS, EXCEPT CUL-DE-SAC STREETS WHICH HAVE BEEN IMPROVED WITH A PERMANENT TURN-AROUND.
- FOR STREETS 26' IN WIDTH THE GUARD RAIL SHALL CONSIST OF TWO(2) 12'-6" SECTIONS OR ONE(1) 25' SECTION, THREE (3) STEEL POSTS, AND TWO (2) TERMINAL SECTIONS. FOR STREETS GREATER THAN 25' IN WIDTH THE GUARD RAIL SHALL SPAN THE ENTIRE WIDTH OF THE STREET.
- GUARD RAIL SHALL CONSIST OF RAIL ELEMENTS FABRICATED TO DEVELOP CONTINUOUS BEAM STRENGTH AND INSTALLED AS SHOWN.
- MINIMUM THICKNESS OF GUARD RAIL SHALL BE 12 GAGE U.S. STANDARD. THE RAIL ELEMENT INCLUDING SPLICES, SHALL HAVE A MINIMUM ULTIMATE TENSILE STRENGTH OF 80,000 LBS. GUARD RAIL PARTS FURNISHED SHALL BE INTERCHANGEABLE WITH SIMILAR PARTS REGARDLESS OF THE SOURCE OF MANUFACTURE. THE HOLES FOR CONNECTING BOLTS SHALL BE PUNCHED OR DRILLED. BURNING WILL NOT BE PERMITTED.
- THE GUARD, BOLTS, NUTS, STEEL POSTS, AND ALL OTHER METAL PARTS SHALL BE GALVANIZED TO CONFORM TO THE REQUIREMENTS FOR THE COATING CLASS, (2.50 OUNCES PER SQUARE FOOT) OF THE CURRENT SPECIFICATIONS FOR ZINC-COATED (GALVANIZED) IRON AND STEEL SHEETS, COILS, AND CUT LENGTHS.
- IF THE AVERAGE SPLITTER COATING AS DETERMINED FROM THE REQUIRED SAMPLES IS LESS THAN TWO (2) OUNCES OF SPLITTER PER SQUARE FOOT, OR IF ANY ONE SPECIMEN HAS LESS THAN 1.8 OUNCES OF SPLITTER PER SQUARE FOOT OF DOUBLE EXPOSED SURFACE, THE LOT SAMPLED SHALL BE REJECTED. THE FINISHED SHEETS SHALL BE OF FIRST CLASS COMMERCIAL QUALITY, FREE FROM INJURIOUS DEFECTS, SUCH AS BUSTERS, FLUX, AND UNCOATED SPOTS.
- THE GUARD RAIL SHALL BE INSPECTED TO DETERMINE THAT THE MATERIAL, DIMENSIONS, AND WORKMANSHIP ARE IN ACCORDANCE WITH THIS PLAN.
- WHERE A DEAD-END STREET REQUIRES GUARD RAIL, END OF ROADWAY MARKER SIGNS SHALL ALSO BE REQUIRED. (SEE STD. 50.08A & 50.08B) (ER-1).

DEAD END STREET BARRICADE
GENERAL NOTES

STD. NO. REV.
50.07B



SECTION A-A

PLAN

NOT TO SCALE

4
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

TYPE III DRIVEWAY ENTRANCE

STD. NO. REV.
10.28



CONCRETE DRIVEWAY FOR INDIVIDUAL UNITS

11
L-11



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS (CONTINUED)

NOT TO SCALE



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.338.3093
www.drggrp.com

GLENMORE GARDEN VILLAS

CHARLOTTE, NC

STANDARD PACIFIC HOMES

11525 CARMEL COMMONS BLVD., SUITE 301
CHARLOTTE, NC 28226
704-759-6004

CONSTRUCTION PLANS



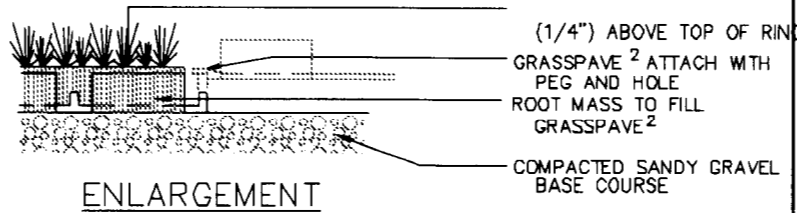
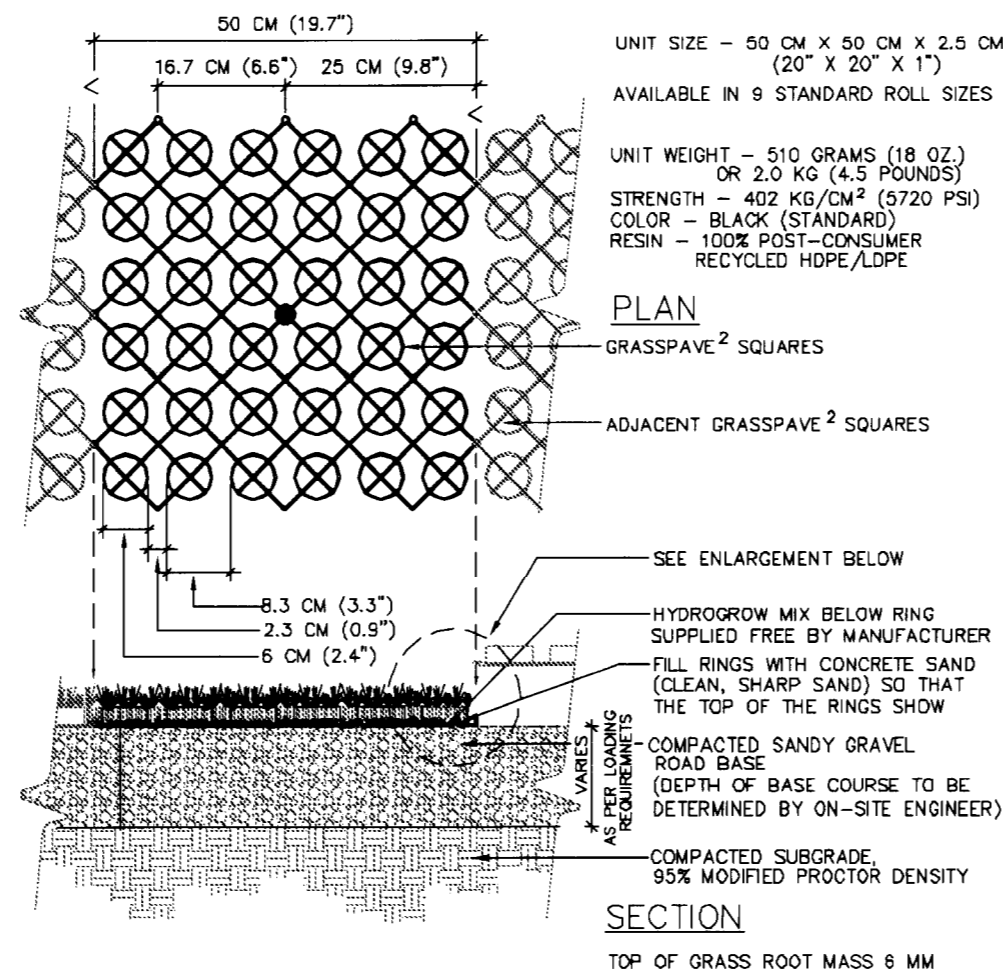
SCALE: NTS

PROJECT #: 304-001
DRAWN BY: DRG
CHECKED BY: JS

SITE DETAILS

15 DEC. 2006

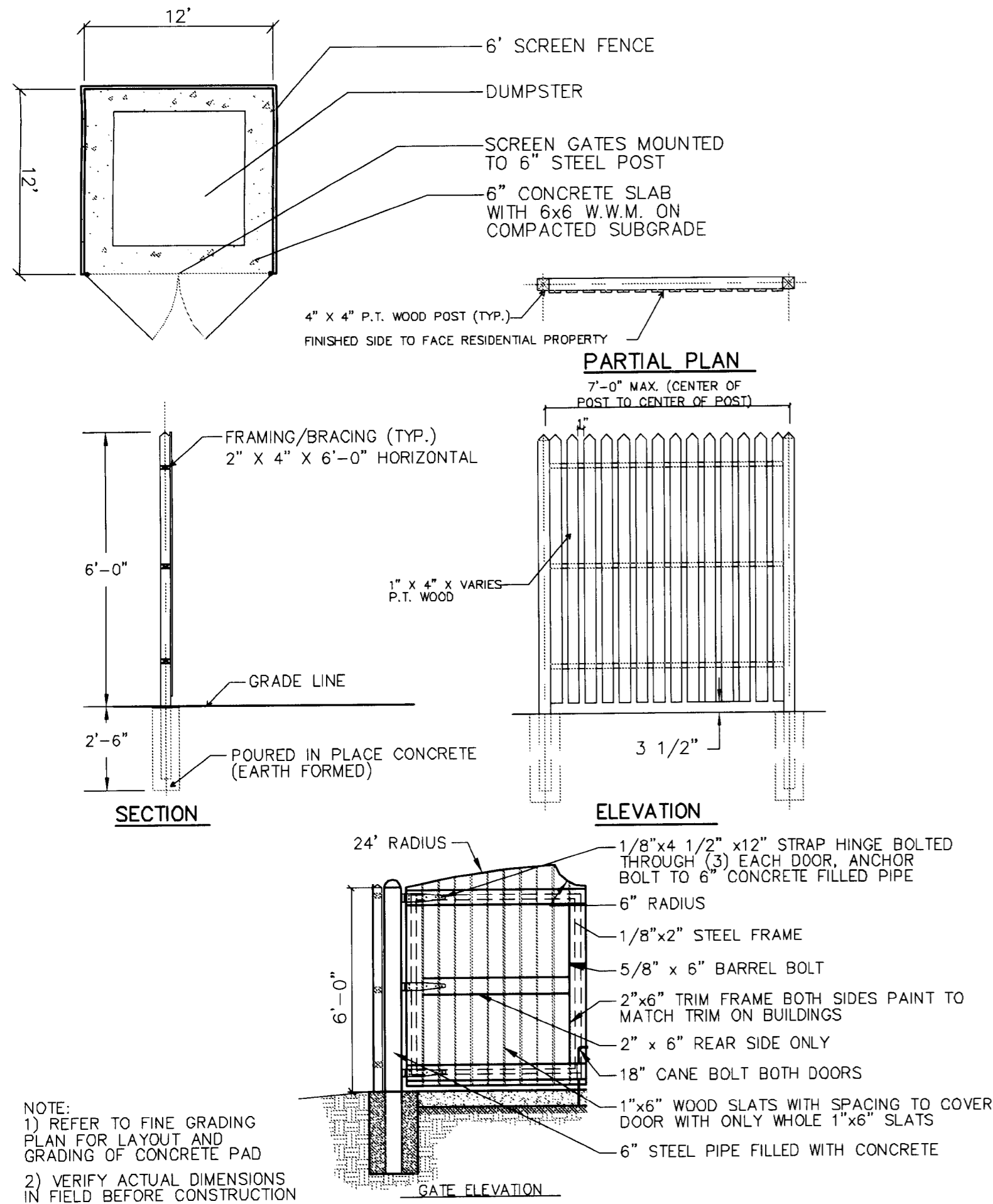
REVISIONS:
1. 29 MAR. 07, PER CITY COMMENTS
2. 11 MAR. 10, NEW OWNERSHIP, NEW BUILDING FOOTPRINTS



- 1) GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.
- 2) LAY TURF OVER RINGS, ON WARM DAYS, WET SAND FIRST TO LOWER SAND TEMPERATURE AND PROVIDE MOISTURE FOR GRASS ROOTS. SEEDING AND HYDOMULCHING IS ALSO AN ACCEPTED VEGETATING METHOD AT THIS STAGE. A DUSTING OF TOPSOIL MAY BE BENEFICIAL IN THE CASE OF SEEDING AND HYDOMULCHING.

NOT USED

GRASSPAVE DETAIL



TRASH/RECYCLING FENCE AND GATE