

SITE DATA
TAX PARCEL NO: 09110501 and 09110502
ZONING: UR-2 (CD)
TOTAL SITE AREA: 0.497 AC. (21,645 SF)
APARTMENT = 17,296 SF
SINGLE FAMILY = 4,349 SF
16 RESIDENTIAL APARTMENTS
1 SINGLE FAMILY LOT
1 SPACE PER UNIT = 16
PARKING REQUIRED: NONE
LOADING SPACE REQUIRED: 8 SURFACE REGULAR SPACES
PARKING PROVIDED: 2 SURFACE VAN ACCESSIBLE SPACE
8 COVERED SPACES
16 TOTAL SPACES PROVIDED
BICYCLE PARKING REQUIRED: 2 SHORT TERM SPACES
BICYCLE PARKING PROVIDED: 2 SPACES
FLOOR AREA RATIO: 0.59 F.A.R. (1.0 MAXIMUM ALLOWED)
SETBACK: 14' FROM BACK OF PROPOSED CURB
SIDEYARD: 5'
REARYARD: 10' / 20' SINGLE FAMILY LOT
BUILDING SEPARATION: 10'
BUILDING HEIGHT: 40' MAXIMUM
BUILDING HEIGHT PROPOSED: BUILDING #1 = 39'-0"
BUILDING #2 = 28'-0"
TRASH PICKUP REQUIRED: NOT REQUIRED
TRASH PICKUP PROVIDED: CITY PROVIDED ROLL OUT (SHALL BE ROLLED OUT TO CURBSIDE FOR PICKUP)
RECYCLE PICKUP REQUIRED: SPACE FOR RECYCLING NOT REQUIRED
ESTIMATED TIME OF COMPLETION: NOVEMBER 2010

2009-061 CONDITIONAL REZONING NOTES:

1. SIZE: 0.497 ACRES (21,649.32 S.F.)
2. PRESENT ZONING : RS
3. PROPOSED ZONING : UR-2 (CD)
THE INTENT IS TO PROVIDE A NEW INFILL RESIDENTIAL DEVELOPMENT WITHIN 5 MINUTES WALKING OF DOWNTOWN NODA AND WITHIN 7 MINUTES WALKING TO THE FUTURE 36TH ST. TRANSIT STATION. THIS INFILL CONSISTS OF:
BUILDING ONE: A 3 STORY MULTI FAMILY BUILDING. MAX HEIGHT=60'
BUILDING TWO: A 2 STORY MULTI FAMILY BUILDING, WITH RESIDENTIAL LIVING UNITS OVER COVERED PARKING. MAX HEIGHT=30'
BUILDING THREE: A 1 TO 2 STORY SINGLE FAMILY HOME AND LOT. MAX HEIGHT=30'
THIS (MIXED USE) SITE PLAN IS DEVELOPED AROUND THE PRESERVATION OF THE EXISTING 64" OAK TREE AND RESIDENTIAL SCALE OF ADJACENT SINGLE HOMES.
A NEW 3 STORY BUILDING, APPROXIMATELY 11000 S.F. CONSISTING OF MAXIMUM OF 12 RESIDENTIAL LIVING UNITS IS PROPOSED AT THE CORNER OF 36TH ST. AND MCDOWELL ST.
APPROXIMATE GROSS SF:
BUILDING ONE:
1ST FLOOR = 3600 S.F., 4 RESIDENTIAL UNITS
2ND FLOOR = 3700 S.F., 4 RESIDENTIAL UNITS
3RD FLOOR = 3700 S.F., 4 RESIDENTIAL UNITS
TOTAL = 11000 S.F. 12 RESIDENTIAL UNITS
BUILDING TWO:
ONE FLOOR (WHICH IS ABOVE COVERED PARKING) = 2300 S.F.
4 RESIDENTIAL UNITS
BUILDING THREE: A 1 TO 2 STORY SINGLE FAMILY HOME AND LOT.
SINGLE FAMILY HOME WILL HAVE A 8' DEEP FRONT PORCH.
SINGLE FAMILY HOME= 1200 SF TO 2200 SF
LOT: APPROXIMATELY 45'X100'
4. PETITIONER RESERVES THE RIGHT TO INCREASE THE S.F. BY 10% BY ADJUSTING THE FLOOR PLANS AND BUILDING ELEVATIONS AS NECESSARY FOR FINAL DESIGN / CONSTRUCTION DOCUMENTS / PERMITTING.
5. MAX OF 12+4=16 MULTI-FAMILY RESIDENTIAL LIVING UNITS + A SINGLE FAMILY HOME FOR THE POTENTIAL FUTURE BUILDINGS PER SITE PLAN.
6. FUTURE REQUIRED PARKING : 17, PER UR-2 (CD)
RESIDENTIAL: 1 SPACE PER DWELLING UNIT.
12+ 4= 16 MF UNITS. PROPOSED = 18 ON-SITE PARKING PROVIDED
SINGLE HOME: ONE REQUIRED. ONE PARKING SPACE AT A MIN OF 22' OR TWO PARKING SPACES AT A MIN OF 40' WILL BE PROVIDED ON THE SINGLE FAMILY LOT.
7. FINAL PARKING COUNT MAY VARY PER CONSTRUCTION DOCUMENTS AND PERMITTING. HOWEVER, THE PARKING REQUIREMENTS WILL BE MET PER UR-2 (CD) .
8. TRASH COLLECTION SERVICE WILL BE ON SITE SCREENED ROLL-OUT AND RECYCLING AS REQUIRED. WILL MEET SECTION 12.403
9. PETITIONER IS COMMITTED TO PRESERVE THE EXISTING 64" OAK TREE.
ALSO:
PETITIONER WILL PUT IN PLACE A RESTRICTIVE COVENANT THAT RUNS WITH THE SINGLE FAMILY LOT RESTRICTING TREE TRIMMING OR TREE CUTTING FOR THE PRESERVATION OF THE EXISTING 64" OAK TREE. SUCH RESTRICTION SHALL NOT APPLY TO TREE BRANCHES THAT ARE DECAYED, DEAD OR UNSAFELY HANGING FROM THE TREE.
ALSO: A TREE PRESERVATION BY A CERTIFIED ARBORIST WILL BE SUBMITTED PRIOR TO A BUILDING PERMIT FOR THE SINGLE FAMILY DWELLING.
10. STORM WATER REQUIREMENTS WILL MEET CITY REGULATIONS.
11. PER UR-2 (CD) , ALONG 36TH STREET, 14' MIN. SETBACK WILL BE MAINTAINED FROM BACK OF CURB TO THE NEW BUILDING.
12. PER UR-2 (CD) , ALONG MCDOWELL STREET, 14' MIN. SETBACK WILL BE MAINTAINED FROM BACK OF FUTURE CURB TO THE NEW BUILDING.
13. PER UR-2 (CD) , ALONG THE ALLEY WAY, 5' MIN. REAR YARD WILL BE MAINTAINED HOWEVER PROPOSED PARKING IS APPROXIMATELY 10' FROM THE REAR PROPERTY LINE.

FIRE NOTES

CONSTRUCTION TYPE: VB
BUILDING SPRINKLER: 13R SYSTEM
BUILDING AREA:
BUILDING #1:
FIRST FLOOR: 2,703 SF
SECOND FLOOR: 2,903 SF
THIRD FLOOR: 2,903 SF
BUILDING #2:
1,708 SF

FLOW TEST RESULTS
HYDRANT # 013607
730 E. 36TH STREET
3 / 31 / 10 09:10
DATE TIME
62 54
STATIC RESIDUAL
PRESSURE PRESSURE

RESIDUAL FLOW 1034 GPM.
FLOW @ 20 PSI 2532 GPM.

NOTE:
1. PAVEMENT SECTIONS PROVIDED ARE TO BE USED IN CONJUNCTION WITH APPROPRIATE SUBBASE WITH A CBR (CALIFORNIA BEARING RATIO) TO PROVIDE THE SUPPORT FOR FIRE DEPT. VEHICLES OF 80,000 LBS.

SITE ACCESSIBILITY NOTES

ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE STATED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED THAT CONFORM TO THE REQUIREMENTS OF "THE AMERICANS WITH DISABILITIES ACT", "FAIR HOUSING STANDARDS", AND GOVERNING STATE HANDICAP CODE STANDARDS.

THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:

1. MINIMUM WIDTH OF SIDEWALKS = 5'
2. MAXIMUM WALK SLOPE = 5%
3. MAXIMUM RAMP SLOPE = 8.33% (1:12)
- RAMP LANDINGS A MINIMUM OF 72" LONG x WIDTH OF THE RAMP AND MUST HAVE HANDRAILS AT EACH RAMP RUN
4. MAXIMUM CROSS SLOPE = 2.0%
5. MAXIMUM 1/2" DROP FROM INTERIOR FINISHED FLOOR TO EXTERIOR FINISHED SURFACE
6. MINIMUM CLEAR SPACE 6'x6', WITH A MAXIMUM 2.0% SLOPE, ON EXTERIOR SIDE OF THE DOOR/GATE.
- 18" ON PULL SIDE OF DOOR/GATE TO BE INCLUDED IN THE 6'x6' CLEAR SPACE
7. MINIMUM 60" CLEAR ON CURB RAMPS
8. MAXIMUM CURB RAMP SLOPE = 8.33% (12:1)
9. TRUNCATED DOMES (3' DEEP x WIDTH OF RAMP) MUST BE LOCATED 6" OF RAMP END.
10. ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS
11. HANDICAP SPACES MUST BE A MINIMUM OF 8' WITH A 5' WIDE ACCESS ISLE
12. THE PAVEMENT SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
13. CONTRACTOR TO CONTACT DESIGN RESOURCE GROUP FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.

INTERNAL TREE REQUIREMENTS

ONE TREE PER 10,000 S.F. OF IMPERVIOUS AREA. ALL PARKING SPACES WITHIN 60 FT. OF A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED SITES AND 10% FOR NEW SITES.

CALCULATIONS:
IMPERVIOUS AREA: 7,602 SQ FT
LANDSCAPE AREA: 14,047 SQ FT
TOTAL SITE AREA: 21,649 SQ FT

IMPERVIOUS AREA: 7,602 SQ FT
7,602 / 10,000 = 1 TREE REQUIRED
(1) 64" EXISTING OAK TO BE SAVED

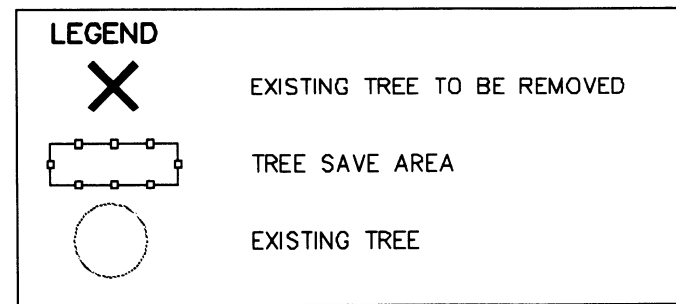
PERIMETER TREE REQUIREMENTS

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAYS

STREET: E 36TH STREET = 117 LF
REQUIRED: 3 LARGE MATURING TREES OR 4 SMALL MATURING TREES
PROVIDED: (3) 3" CAL. SUGAR MAPLES PROPOSED

STREET: N MCDOWELL STREET = 185 LF
REQUIRED: 5 LARGE MATURING TREES OR 7 SMALL MATURING TREES
PROVIDED: (5) 3" CAL. JAPANESE ZELKOVA 'MUSASHINO' PROPOSED

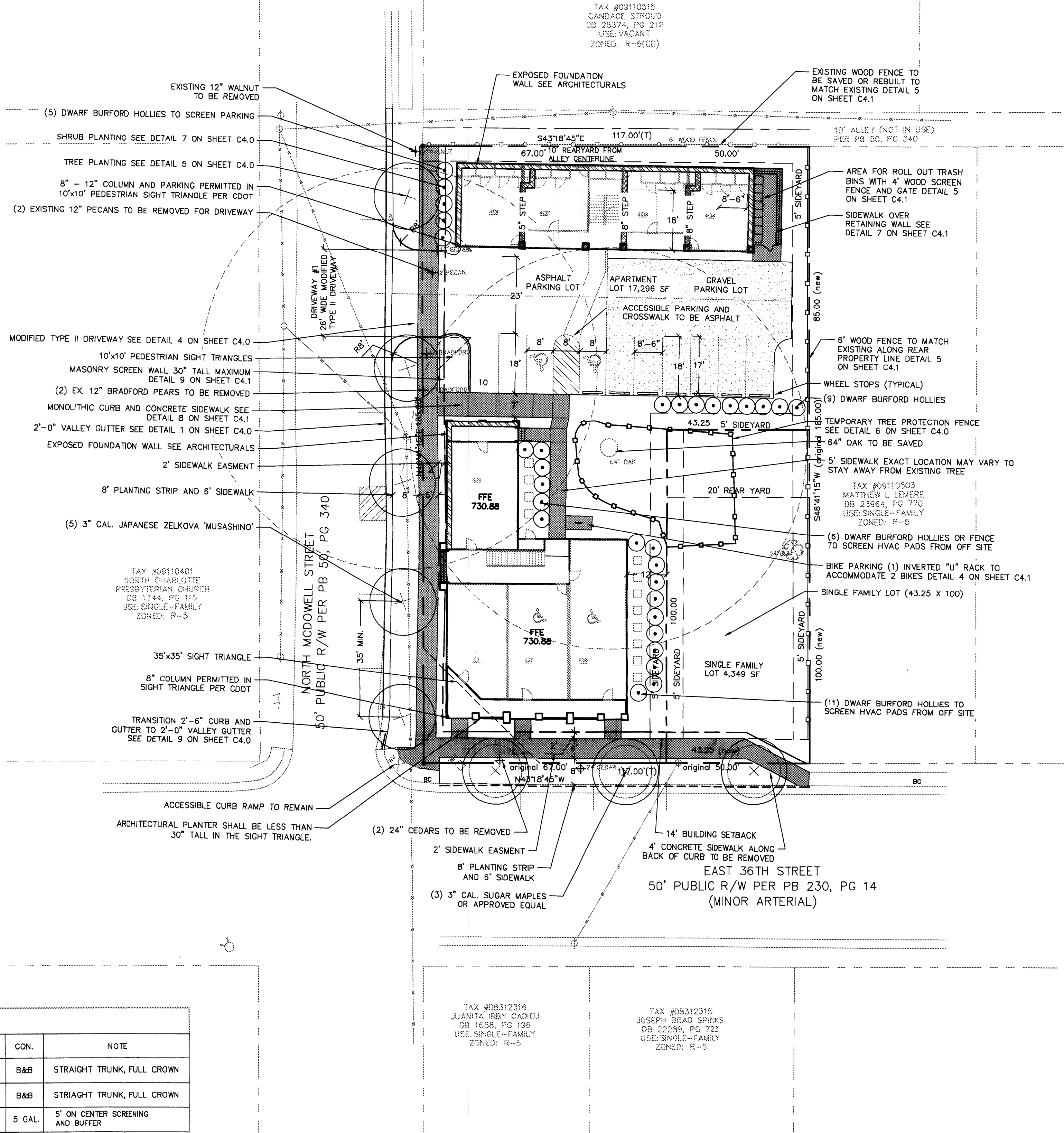
IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25 FT. OF LINES. OTHERWISE 75% OF NEW TREES MUST BE LARGE MATURING.



REQUIRED PLANTING SCHEDULE								
QTY.	KEY	SCIENTIFIC NAME	COMMON NAME	CAL.	HT.	SPD.	CON.	NOTE
3	SM	ACER SACCHARUM	SUGAR MAPLE	3" MIN.	8' MIN.		B&B	STRAIGHT TRUNK, FULL CROWN
5	JZ	ZELKOVA SERRATA 'MUSASHINO'	JAPANESE ZELKOVA 'MUSASHINO'	3" MIN.	8' MIN.		B&B	STRAIGHT TRUNK, FULL CROWN
31	DB	ILEX CORNUTA 'BURFORDI NANA'	DWARF BURFORD HOLLY		30"	24"	5 GAL.	5' ON CENTER SCREENING AND BUFFER

GENERAL NOTES FOR PLANTING:

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. HEIGHT AND WIDTH SIZES SHALL BE MET REGARDLESS OF CONTAINER OR CONDITION SHOWN.
2. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
3. CONTRACTOR TO REVIEW PLANT SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND DURING PROPOSAL PREPARATION FOR QUALITY CONTROL AND VALUE ENGINEERING.
4. LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATION IN THE FIELD, PRIOR TO BEGINNING CONSTRUCTION.
5. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES--PLANT 15'-20' OFF SEWER AND STORM DRAINAGE LINES; 10'-15' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.
6. ANY CONFLICT BETWEEN TREES AND UTILITIES SHALL BE RESOLVED IN THE FIELD WITH FINAL TREE LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT AND THE PLANNING DEPARTMENT.
7. LARGE MATURING TREES MAY NOT BE PLANTED UNDER OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
8. PLEASE CALL 704-336-4255 FOR AN INSPECTION OF TREE PROTECTION AND/ OR TREE PLANTING AREAS. 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
9. ATTENTION CONTRACTOR/LANDSCAPER: IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 704-336-4255 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SIGHT, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES.
10. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/ OR IMMEDIATE CORRECTIVE ACTION/ MITIGATION.
11. LARGE MATURING TREES, MINIMUM TREE SIZE AT PLANTING IS 3" CALIPER. SMALL MATURING TREES, MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
12. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
13. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL -OR- UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE FOR LARGE MATURING TREES; OR 200 SQUARE FEET FOR SMALL MATURING TREES). IN URBAN ZONES, LARGE MATURING TREES CAN ALSO BE PLANTED IN 200 SQUARE FOOT PLANTERS IF A SPECIFIC SOIL MIX IS USED.
14. MULCH ALL PLANTING BEDS WITH 4" OF PINE NEEDLE MULCH.
15. APPLY PRE-EMERGENT HERBICIDE TO PLANTING BEDS PRIOR TO MULCHING.
16. SEED ALL DISTURBED AREAS EXCEPT PLANTING BEDS AS NOTED.
17. ALL PLANT BEDS AND LAWN AREAS SHALL HAVE 2" - 4" TRENCH EDGE.
18. SITE LIGHTING MAY NOT BE PLACED IN TREE ISLANDS. PLAN SITE LIGHTING ACCORDINGLY.



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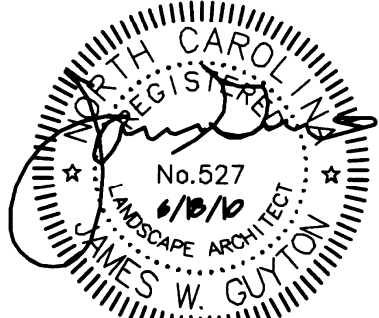
36TH AND MCDOWELL APARTMENTS

801 E. 36TH STREET, CHARLOTTE, NC

LAT PURSER & ASSOCIATES, INC.

4530 PARK ROAD, SUITE 300
CHARLOTTE, NC 28209
704.519.4241

CONSTRUCTION DOCUMENTS



10 0 10 20
SCALE: 1" = 20'

PROJECT #: 272-002
DRAWN BY: SK
CHECKED BY: JG

SITE PLAN &

REQUIRED PLANTING

PLAN

APRIL 30, 2010

REVISIONS:
1. JUNE 18, 2010 PER CMPC REVIEW

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
7/21/10

