

SITE NOTES

- BOUNDARY AND SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY LAND DESIGN, DATED \_\_\_\_\_, REFER TO SHEET C0.1 FOR INFORMATION REGARDING SURVEY.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKERS AND THE GENERAL PUBLIC SHALL BE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCH WHITE LINES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURB AND STREETS GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT COLLINS-AIKMAN DRIVE TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE STREET SIGNS PER CLDSM# 50.05. (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DIRECT VEHICULAR ACCESS TO PIKE ROAD AND/OR TRACT 3B FROM TRACT 2, IS PROHIBITED.
- IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
- CURB AND GUTTER SHOWN ON PLANS ALONG PIKE ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY SHALL REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION / NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- REFER TO SHEET C3.0 FOR GRADING AND DRAINAGE.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES, WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT, MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA, SINCE SEPTEMBER 1978, WILL REQUIRE STORM DRAINAGE DETENTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9" SIGNS ONLY).

- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION / NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- A SIDEWALK EASEMENT TO THE CITY OF CHARLOTTE IS REQUIRED FOR ALL SIDEWALKS ALONG PIKE ROAD THAT ARE OUTSIDE THE RIGHT-OF-WAY. THIS EASEMENT WILL INCLUDE THE LAND BETWEEN THE RIGHT-OF-WAY AND TWO FEET BEHIND THE BACK OF SIDEWALK.

N/F  
EASLAN CAPITAL VININGS  
AT UNIVERSITY CENTER  
PID: 04721112  
DB 18166-825

N/F  
PALILLO UNIVERSITY  
DEVELOPMENT, LLC  
PID: 04721207  
DB 16140-596

TRACT 3-B  
4.796 ACRES  
PORTION OF TAX ID: 04721217  
DB 23513 PG 556  
ZONED: O-2(CD) & B-2(CD)

TRACT 3-A  
6.091 ACRES  
PORTION OF TAX ID: 04721217  
DB 23513 PG 556  
ZONED: O-2(CD) & B-2(CD)

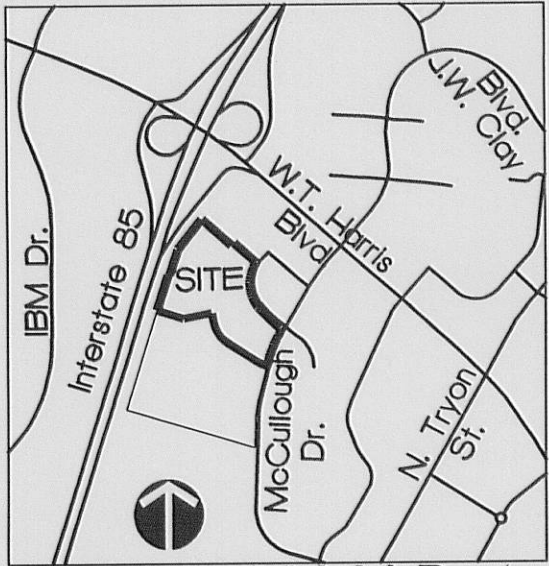
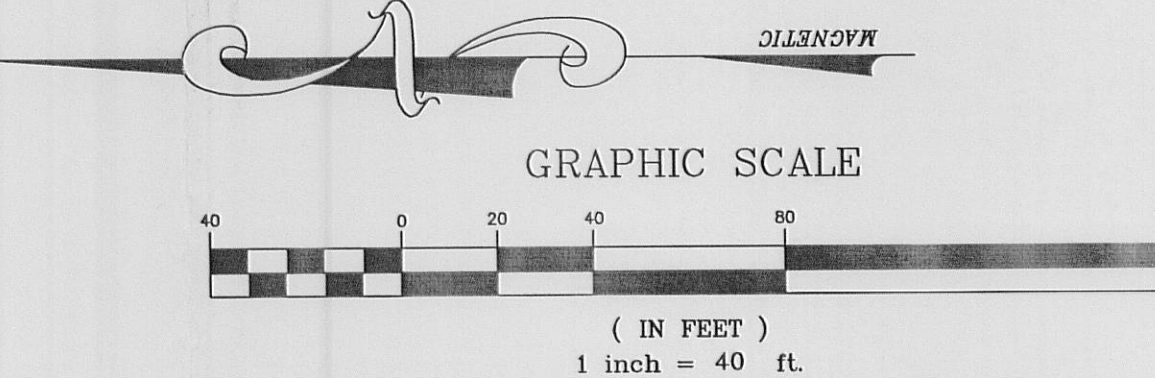
N/F  
CARLISLE APARTMENTS LP (THE)  
AND  
PHILLIPS DEVELOPMENT & REALTY  
142 WEST PLATT ST  
TAMPA, FL 33606  
PID# 04721504  
DB 23244-545

N/F  
CARLISLE APARTMENTS LP (THE)  
AND  
PHILLIPS DEVELOPMENT & REALTY  
142 WEST PLATT ST  
TAMPA, FL 33606  
PID# 04721205  
DB 23244-545

APPROVED FOR  
CONSTRUCTION  
CMPC  
2/5/09

CONSTRUCTION OF PIKE  
ROAD EXTENSION  
COMPLETION DATE:  
FEBRUARY 2009

THERE ARE NO CONSTRUCTION DEMOLITION DEBRIS LANDFILLS ON THE PROJECT SITE. BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, TREE STUMPS, SOLID WASTES AND/OR HAZARDOUS MATERIALS SHALL NOT BE ALLOWED ON THE PROJECT SITE."

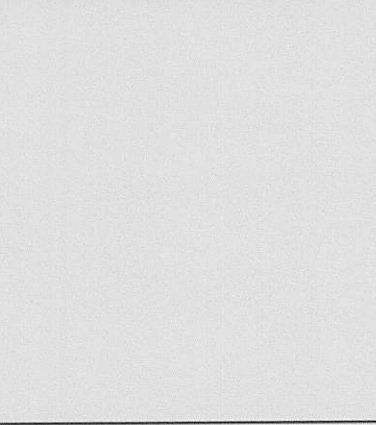
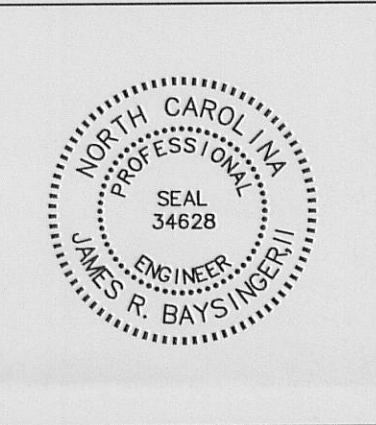


NO.	DATE	PER CITY COMMENTS	DESCRIPTION
2	11/2/09		
1	12/12/08		

200 S COLLEGE ST  
SUITE 720  
CHARLOTTE, NC 28202  
T 704.334.7925  
F 704.334.7926  
www.stewart-eng.com

**STEWART**

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CARLISLE APARTMENTS  
PIKE ROAD EXTENSION

HARRIS-McCULLOUGH, LLC  
PHILLIPS DEVELOPMENT & REALTY, LLC  
CHARLOTTE, NORTH CAROLINA

OVERALL  
SITE PLAN

DATE: 10.15.08

SCALE: HORIZ : 1" = 40'

JOB NO. X8045.00

SHEET: C2.0