

CAMPUS CORNERS

CHARLOTTE, NORTH CAROLINA

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission

CAMPUS CORNERS
CHARLOTTE, NORTH CAROLINA

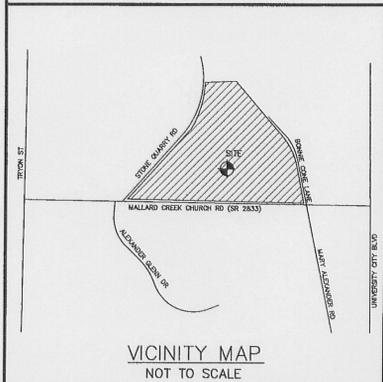
WP EAST ACQUISITIONS, LLC
1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NC 28203

WP EAST ACQUISITIONS, LLC

1001 MOREHEAD SQUARE DRIVE, SUITE 250

CHARLOTTE, NC 28203

PHONE: 704-332-8995 FAX: 704-332-8997



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY BOCK & CLARK'S NATIONAL SURVEYORS NETWORK DATED JANUARY 28, 2006.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DIRECT VEHICULAR ACCESS TO EAST MALLARD CREEK CHURCH ROAD AND STONE QUARRY ROAD IS PROHIBITED.
- ALL ROAD IMPROVEMENTS AT EAST MALLARD CREEK CHURCH ROAD, BONNIE CONE LANE & MARY ALEXANDER ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CMDS# 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG BONNIE CONE LANE & MARY ALEXANDER ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CJS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHAL DURING THE BUILDING PERMIT PROCESS.

SITE ACCESSIBILITY NOTES:

- ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE STATED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED THAT CONFORM TO THE REQUIREMENTS OF "THE AMERICANS WITH DISABILITIES ACT", "FAIR HOUSING STANDARDS", AND GOVERNING STATE HANDICAP CODE STANDARDS. THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:
MAXIMUM WALK SLOPE = 1:20 MAXIMUM
RAMP SLOPE = 1:12 WITH RAILING
MAXIMUM CROSS SLOPE = 1/4" PER FOOT
ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS.
MAXIMUM ACCESSIBLE ROUTE LENGTH (NC) = 200'
- THE PAVEMENT SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
- CONTRACTOR TO CONTACT DESIGN RESOURCE GROUP FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.
- ALL INTERNAL SIDEWALKS TO BE A MINIMUM OF 6 FEET WIDE.

DEVELOPMENT NOTES: (REZONING PETITION 2008-078)

- THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRED BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER, AND SITE DEVELOPMENT ETC.), WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 8, 9, 12, 17, 18, 19, 20, AND 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS. WHERE CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICIES, AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRICTER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY.
- THE AMENITY AREA SHOWN ON THE SITE PLAN WILL INCLUDE A SWIMMING POOL, SUNNING DECK, BBQ AND SITTING/EATING AREAS AND A GAZEBO/BUS STOP.
- THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE.
- BUILDING HEIGHT WILL MEET ORDINANCE STANDARDS.
- BUILDINGS WILL HAVE COMMON ENTRANCES.
- PARKING LOT LIGHTING WILL BE PROVIDED; LIGHTING FIXTURES SHALL BE CLASSIFIED AS FULL CUT-OFF IN DESIGN, AND NOT CAUSE GLARE ON ADJOINING PROPERTIES.
- PARKING LOT SCREENING REQUIREMENTS OF SECTION 12.303 WILL BE MET.
- PETITIONER WILL RE-STRIPE BONNIE CONE LANE AND MARY ALEXANDER ROAD TO ACCOMMODATE OPPOSING LEFT TURN LANES ONTO EAST MALLARD CREEK CHURCH ROAD. IF ADDITIONAL ROAD RIGHT OF WAY IS REQUIRED ALONG MARY ALEXANDER ROAD, THE CITY OF CHARLOTTE WILL CONDEMN PROPERTY BUT PETITIONER WILL BE RESPONSIBLE FOR COST OF THE PROPERTY.
- A 6' BIKE LANE WILL BE ADDED TO THE PORTION OF BONNIE CONE LANE THAT FRONTS THE PETITIONER'S PROPERTY.
- PETITIONER SHALL PROVIDE LANDSCAPING IN SETBACK ALONG MALLARD CREEK CHURCH ROAD INCLUDING REQUIRED PERIMETER TREES AND ONE SMALL MATURING TREE PER 20 LINEAR FEET FOR BUILDING FACES OVER 200 SQ. FT. PETITIONER SHALL ALSO PROVIDE ORNAMENTAL FOUNDATION PLANTINGS ALONG SAME BUILDING FACE. SEE ATTACHED CROSS SECTION.
- BUILDINGS WILL APPEAR TO FRONT EAST MALLARD CREEK CHURCH ROAD.
- PETITIONER WILL SUBMIT A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES TO INCLUDE, AT A MINIMUM, THE PROCEDURES THAT WILL BE USED TO RECYCLE ALL CLEAN WOOD, METAL, AND CONCRETE GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES, WHEN APPLICABLE. THE PLAN WILL ALSO SPECIFY THAT ALL LAND CLEARING AND/OR INERT DEBRIS SHALL BE TAKEN TO A PROPERLY PERMITTED FACILITY. THE PLAN WILL ALSO STATE THAT MONTHLY REPORTING OF ALL TONNAGE DISPOSED AND RECYCLED WILL BE MADE TO THE MECKLENBURG COUNTY SOLID WASTE PROGRAM INCLUDING THE IDENTIFICATION AND LOCATION OF ALL FACILITIES RECEIVING DISPOSED OR RECYCLED MATERIALS.
- THE EXISTING WATER SUPPLY WELLS SHALL BE CORDONED OFF TO PROTECT IT FROM DAMAGE OR ABANDONED PER THE MECKLENBURG COUNTY GROUNDWATER WELL REGULATIONS PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.
- EXISTING SEPTIC TANKS SHALL BE LOCATED, PUMPED BY A LICENSED WASTE HAULER TO REMOVE RESIDUAL CONTENTS, CRUSHED AND BACKFILLED PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.
- ORNAMENTAL GRATES WILL BE USED TO PARTIALLY SCREEN OPENINGS IN PARKING DECK THAT FACES EAST MALLARD CREEK CHURCH ROAD. SHRUBS MATURING TO A HEIGHT OF 6' WILL BE PLANTED AGAINST CMU WALLS OF BUILDING THAT FACES EAST MALLARD CREEK CHURCH ROAD.

CONSULTANTS:

- DEVELOPER: WP EAST ACQUISITIONS, LLC
1001 MOREHEAD SQUARE DRIVE
SUITE #250
CHARLOTTE, NC 28203
704-332-8995
- ARCHITECT: THE NELSON SOUTHEAST OPERATING COMPANY, LLC.
TWO MIDTOWN PLAZA
1348 WEST PEACHTREE STREET, NE
SUITE #1300
ATLANTA, GA 30309
404.873.3697
- LANDSCAPE ARCH: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
- CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
- TRAFFIC ENGINEERS: KUBILINS TRANSPORTATION GROUP, INC.
800 WEST HILL STREET
SUITE 202
CHARLOTTE, NC 28202
980.321.0202
- SURVEYOR: BOCK & CLARK'S NATIONAL SURVEYORS NETWORK
525 NORTH CLEVELAND MASSILLON ROAD
AKRON, OH 44333
(800) SURVEY1

SITE DATA

TAX MAP NO: 05140101, 05140102, 05140104, 05140106, 05140107
R-17M(CD)
ZONING: 2008-078
8.18 ACRES
SITE AREA:
PROPOSED USE: APARTMENTS (FOR RENT)
PROPOSED UNITS: 116 APARTMENTS (BUILDINGS TO HAVE ELEVATORS)
A UNITS: 67A UNITS (50) = HC PARKING SPACES (6)
B UNITS: 116 - 6 = 110 "B" UNITS (2X) = 3 HC PARKING SPACES
DENSITY: 14.28 DUA
TOTAL BUILDINGS SQUARE FOOTAGE: 199,359 SF

PARKING REQUIRED:
PARKING PROVIDED: 174 SPACES (1.5 SPACES/116 UNITS)
REGULAR PARKING: 373 SPACES
COMPACT SPACES: 217 SPACES (37.8% OF TOTAL SPACES)
HANDICAP PARKING: 8 SPACES
VAN ACCESSIBLE PARKING: 7 SPACES
TOTAL: 373 SPACES (3.21 SPACES/UNIT)

BICYCLE PARKING REQUIRED:
BICYCLE PARKING PROVIDED: 6 SPACES (1 SPACE/20 UNITS)
36 SPACES

OPEN SPACE REQUIRED:
OPEN SPACE PROVIDED: 49.93%

IMPERVIOUS AREA: 194,733 S.F. (4.47 ACRES)

SETBACK:
SIDE YARD: 30'
REAR YARD: 10'
BUILDING HEIGHT: 40'

TRASH PICK UP REQUIRED:
SOLID WASTE CONTAINERS REQUIRED: PRIVATE TRASH COMPACTOR SYSTEM
8 CU. YD COMPACTOR PER 90 UNITS
(116 UNITS = 11 CU. YD COMPACTOR)
SOLID WASTE CONTAINER PROVIDED: 40 CU. YD COMPACTOR

REQUIRED RECYCLING CENTERS:
PROVIDED RECYCLING CENTERS: (2) - 144 SF RECYCLING STATIONS OR 288 SF
(2) - 144 SF RECYCLING STATIONS(288 SF)

THERE WILL BE NO PHASING AND THE ESTIMATED TIME OF COMPLETION IS 14 MONTHS.

FIRE NOTES
BUILDING CONSTRUCTION: 5-A
BUILDINGS SPRINKLERED: APARTMENTS 13R SYSTEM,
CLUB 13 SYSTEM
BUILDING AREAS: TYPE I:
TERRACE LEVEL: 3,208 SQ. FT.
FIRST LEVEL: 19,981 SQ. FT.
SECOND LEVEL: 26,975 SQ. FT.
THIRD LEVEL: 26,975 SQ. FT.
FOURTH LEVEL: 23,767 SQ. FT.
FIFTH LEVEL: 14,139 SQ. FT.

TOTAL: 115,025 SQ. FT. TYPE II:
TERRACE LEVEL: 10,006 SQ. FT.
FIRST LEVEL: 18,582 SQ. FT.
SECOND LEVEL: 18,582 SQ. FT.
THIRD LEVEL: 18,582 SQ. FT.
FOURTH LEVEL: 18,582 SQ. FT.

TOTAL: 84,334 SQ. FT.
NOTES: SEE WATER PLAN SHEET C5.0 FOR FDC LOCATIONS.

Sheet List Table

Sheet Number	Sheet Title	Revision #	Revision Date
C0.0	COVER SHEET	1	11.12.08 PER CMPC REVIEW
C1.0	SURVEY 1 OF 3	1	11.12.08 PER CMPC REVIEW
C1.1	SURVEY 2 OF 3	---	---
C1.2	SURVEY 3 OF 3	---	---
C1.3	REZONING 2008-078	---	---
C2.0	SITE PLAN	1	11.12.08 PER CMPC REVIEW
C3.0	PHASE I EROSION CONTROL PLAN	1	11.12.08 PER CMPC REVIEW
C3.1	PHASE II EROSION CONTROL PLAN	1	11.12.08 PER CMPC REVIEW
C3.2	PHASE III EROSION CONTROL PLAN	1	11.12.08 PER CMPC REVIEW
C4.0	GRADING PLAN	1	11.12.08 PER CMPC REVIEW
C4.1	STORM DRAINAGE PLAN	1	11.12.08 PER CMPC REVIEW
C4.2	STORM DRAINAGE AREAS PLAN	1	11.12.08 PER CMPC REVIEW
C4.3	STORMWATER MANAGEMENT PLAN	1	11.12.08 PER CMPC REVIEW
C5.0	WATER AND SANITARY SEWER PLAN	2	11.12.08 PER CMPC REVIEW
C5.1	SANITARY SEWER PROFILES	1	11.12.08 PER CMPC REVIEW
C6.0	REQUIRED PLANTING PLAN	1	11.12.08 PER CMPC REVIEW
C6.1	REQUIRED PLANTING PLAN II	---	---
C8.0	SITE DETAILS	1	11.12.08 PER CMPC REVIEW
C8.1	SITE DETAILS	1	11.12.08 PER CMPC REVIEW
C8.2	SITE DETAILS	1	11.12.08 PER CMPC REVIEW
C9.0	EROSION CONTROL DETAILS I	1	11.12.08 PER CMPC REVIEW
C9.1	EROSION CONTROL DETAILS II	1	11.12.08 PER CMPC REVIEW
C9.2	STORM DRAINAGE DETAILS I	1	11.12.08 PER CMPC REVIEW
C9.3	STORM DRAINAGE DETAILS II	1	11.12.08 PER CMPC REVIEW
C9.4	WET POND DETAILS	1	11.12.08 PER CMPC REVIEW
C9.5	WATER & SANITARY SEWER DETAILS	1	11.12.08 PER CMPC REVIEW
C9.6	WATER & STORM DRAINAGE CROSSING DETAILS	---	---
C9.7	WATER METER AND BACKFLOW DETAILS	1	11.12.08 PER CMPC REVIEW
A4-1	BUILDING 1 ELEVATIONS	---	---
C-1	BONNIE CONE CONSTRUCTION PLAN	---	---

NOTE:
BONNIE CONE LANE AND MARY ALEXANDER ROAD IMPROVEMENTS SEE PLANS PREPARED BY KUBILINS TRANSPORTATION GROUP, INC.

Design Resource Group

1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0608 fax 704.368.3083
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

COVER SHEET

Copyright © 2008 Design Resource Group, PA
This plan or drawing and any accompanying documents or calculations are the property of Design Resource Group, PA, and are intended solely for the use of the recipient noted. No third party use or modification is permitted without written authorization.



Scale: NOT TO SCALE
Date: AUGUST 6, 2008
Project No.: 041-115
Revisions:
1. 11.12.08 PER CMPC REVIEW

