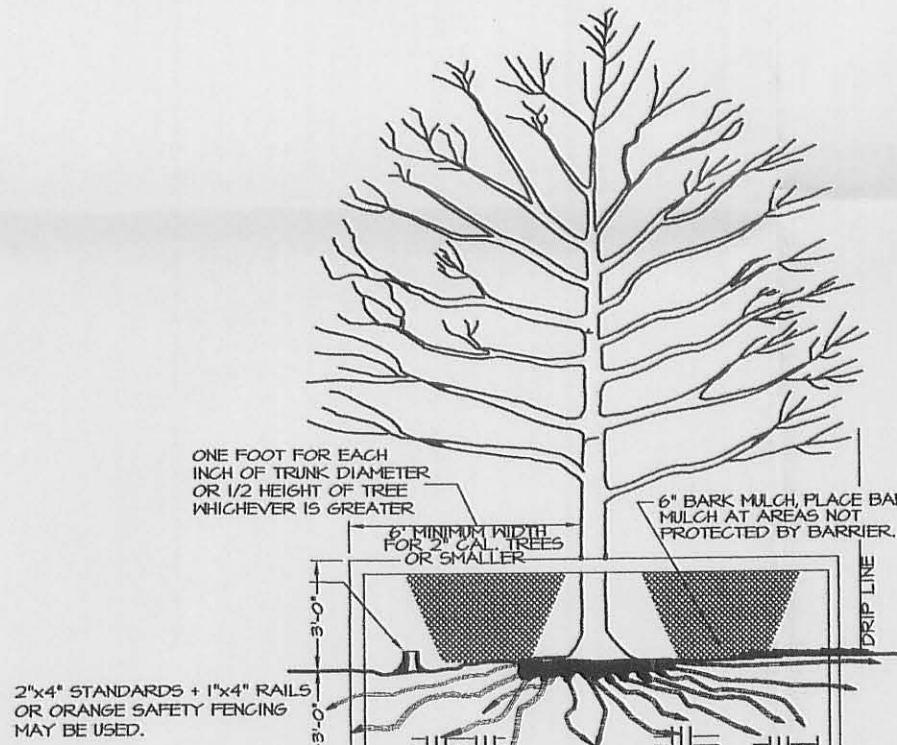


## SHEET INDEX

SHEET NO.	SHEET TITLE
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Pre-Storm Drainage)
4	Erosion Control Plan (Post-Storm Drainage)
5	Roadway & Storm Drainage Profiles
6	& Site Construction Details 100+1 X-Sections Drainage Area Map

## LEGEND

- EX. 100H SHIL  
--- TREE PROTECTION  
--- PROPOSED TREE SAVE AREA

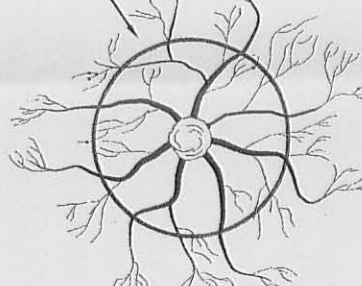


- NOTES:  
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.  
2. LANDSCAPE PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.  
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

## TREE PROTECTION DETAIL

10 SCALE

SEE APPROVED TREE PRESERVATION PLAN FOR REQUIRED RADIUS OF TREE BARRIER.

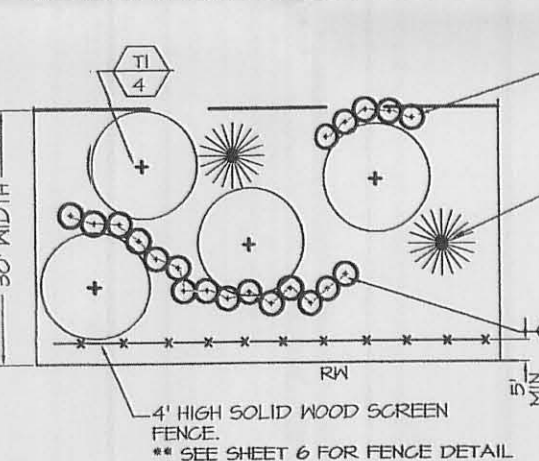


## TREE PROTECTION NOTES

- NOTE: NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.  
TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY.  
BEFORE GRADING/CONSTRUCTION BEGINS, CALL 704-394-4824 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY.  
VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/ATTENTION.

## BUFFER SCREENING REQUIREMENTS WITH FENCE

- 6 TREES PER EVERY 100 L.F.  
25% OF TREES TO BE EVERGREEN  
20 SHRUBS PER EVERY 100 L.F.  
10% OF SHRUBS TO BE EVERGREEN  
(EXISTING TREES AND VEGETATION MAY BE USED TO MEET THE REQUIREMENTS IF THEY ARE OF SUFFICIENT MAGNITUDE TO MEET OR EXCEED THESE REQUIREMENTS.)



## BUFFER NOTES

1. EXISTING VEGETATION WITHIN THE DESIGNATED BUFFER AREA MAY BE CREDITED TOWARD BUFFER REQUIREMENTS UPON FIELD VERIFICATION/PROVAL BY THE ZONING INSPECTOR.  
2. THE PLANT LIST (BELOW) MAY BE MODIFIED, PROVIDED THE SIZE AND PLANTS ARE ALLOWED PER THE LIST OF ACCEPTABLE PLANT SPECIES IN THE ZONING ORDINANCE.  
3. FIELD ADJUST EXACT PLACEMENT OF PROPOSED PLANTING TO AVOID CONFLICT WITH EXISTING SITE CONDITIONS, I.E. SLOPES, SHALES, UTILITIES, OVERHEAD POWER LINES.

## PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE
T1	ACER RUBRUM	RED MAPLE	2" CAL./8' MIN. HT.
T2	PINUS THABERIANA	JAPANESE BLACK PINE	2" CAL./8' MIN. HT.
S1	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	24" MIN. HT. - 5' O.C.
S2	LIGUSTRUM CHINENSIS VARIEGATA	VARIEGATED PRIVET	24" MIN. HT. - 5' O.C.

## GENERAL NOTES

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.  
2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY CONTROL POINT, INC.  
3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE, SUPPLEMENTED WITH FIELD SHOTS.  
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.  
6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.  
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.  
8. DENIED LIMITS ARE LESS THAN ONE ACRE. NO GRADING PERMIT IS REQUIRED.  
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 5 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/CDOT STD. NO.
CURB AND GUTTER	1017
CURB TRANSITION	1014
CATCH BASIN LOCATION	1024 & 1030
(G) CATCH BASIN	0402.1 & 0402.2
(Y) CONCRETE DROP INLET	0401.4
(M) STORM DRAIN MANHOLE	0403.1-0403.3
SIDEWALK	1022
CONCRETE MONUMENT	50.03
STREET NAME SIGN	50.05

10. APPROXIMATE COMPLETION TIME IS SUMMER 2007.  
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT SYSTEM.  
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY HVC RAMP AND/OR SIDEWALK.  
13. DURING CONSTRUCTION OF THE IMPROVEMENTS SPECIFIED BY THESE PLANS, THE DEVELOPER SHALL MAINTAIN THE STREAMBED OF ALL STREAMS, CREEKS, AND CHANNELS IN AN UNOBTURATED STATE, AND SHALL REMOVE FROM THE CHANNEL AND/OR ITS BANKS, DEBRIS, LOGS OR OTHER ACCUMULATIONS AS REQUIRED TO FACILITATE PROPER DRAINAGE.  
14. DRAINAGE EASEMENTS INDICATED AS SEE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.  
15. THE DEVELOPER SHALL PROVIDE STREET SIGNS (4" SIGNS ONLY) PER CHARLOTTE LAND DEVELOPMENT STANDARD NO. 50.05.  
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.  
17. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLING.  
18. AS-BUILT DRAINAGES AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.  
19. TO INSURE PROPER DRAINAGE, MINIMUM CURB AND GUTTER GRADE SHALL BE 0.50%.  
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, AS REQUIRED BY THE INSPECTOR.  
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.  
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING STORM SEWER MH IN OLD PROVIDENCE RD. R/W, ELEV.: 601.81 (NAVD 88), USED FOR FLOOD STUDY.  
23. CURB AND GUTTER SHOWN ON THE PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY OF CHARLOTTE.  
24. COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205.  
25. ANY BUILDINGS WITHIN THE 100H STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORD. SECT. 12.000.B.  
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.  
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.  
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT. MATS, TRAFFIC, BURIAL PITS, TRENCING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.  
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/ATTENTION.  
30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.  
31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (605 JORDI, 336-7006) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-60 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.  
32. COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEANED OF TRASH AND DEBRIS.  
33. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OTHER OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.  
34. PE SEALED SHOP DRAINAGE FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.  
35. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.  
36. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO A BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL IN THE PUBLIC STREET R/W.  
37. SIGHT TRIANGLES SHOWN ARE MINIMUM.  
38. A PRIVACY FENCE OR WALL WILL BE PROVIDED BEHIND R/W PER ZONING ORDINANCE.

## DEVELOPMENT DATA

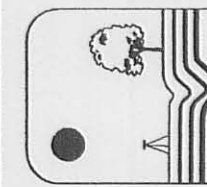
TAX PARCEL NO.: 181-212-12, 181-212-13, 181-212-14.  
ZONING CLASSIFICATION: R-3 (DEVELOPED AS CLUSTER)  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ACREAGE: 3.30 AC  
NO. OF UNITS ALLOWED BY ZONING: 3.30 x 3 = 9.90  
AREA IN EASEMENTS/R/W: 0.12 AC  
NET SITE ACREAGE: 3.18 AC  
TREESAVE REQUIREMENT: 1.08 x 3.18 AC = 0.32 AC  
ADDITIONAL LOTS FOR 10% TREE INCENTIVE IN COS: 0.60 (0.47H) x 3 = 1.80 LOTS  
NO. OF UNITS ALLOWED/PROPOSED: 4.44 (0.60 + 1.11)

R-3 CLUSTER LOT DATA:  
MIN. LOT SIZE = 8000 SF  
MIN. LOT WIDTH = 60'  
MIN. SETBACK = 15', 20' GARAGE  
MIN. SIDE YARD = 6' EXTERNAL, 3' INTERNAL  
MIN. REAR YARD = 45' EXTERIOR, 30' INTERIOR

\* TREESAVE INCENTIVE

APPROVED FOR CONSTRUCTION  
C.M.P.C.  
JAB 4/25/2008

KENNEY DESIGN GROUP, PA



1316 GREENWOOD CLIFF  
CHARLOTTE, NORTH CAROLINA 28204  
PH: 704/377-6099 FAX: 704/377-6097  
EMAIL: KENNEY@KENNEYDESIGN.COM

REVISIONS:  
1. 04/25/08 REVISED PER C.M.P.C. C.D. & C.O.T. REVIEW  
2. 10/05/08 REVISED PER C.M.P.C. C.D. & C.O.T. REVIEW



Scale: 1"=40'  
Date: 2/23/07  
Drawn By: MIK  
Designed By: MIK  
Job No.: 0107

Preliminary Subdivision Site/Landscape Plan

SUMNER HALL

City of Charlotte, Mecklenburg County, North Carolina  
SLD, Inc., 15605 Sullivan Ridge Drive, Charlotte, NC 28277

Sheet No.

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