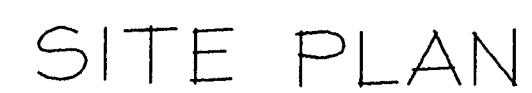
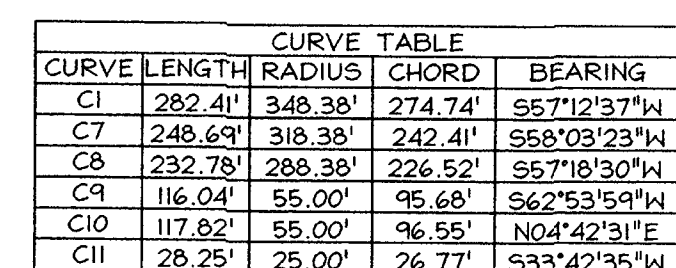
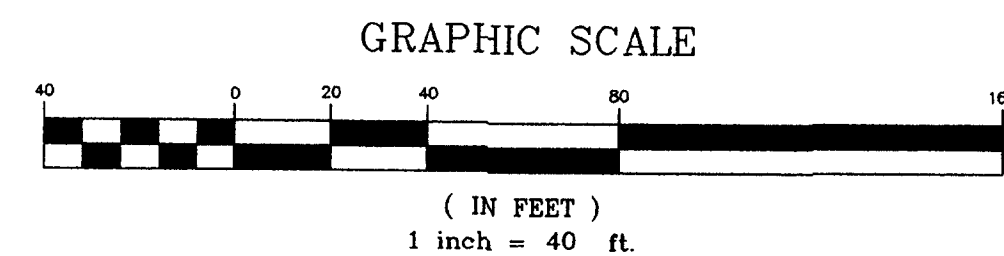
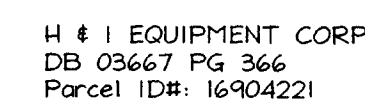


1. PARCEL ID: 1690401/1, 16904222.
EXISTING ZONING: I-1
FRONT SETBACK: 20'
REAR YARD: 10'
SIDE YARD: 0/4'
2. TOTAL ACREAGE FOR DEVELOPMENT
(RIGHT-OF-WAY DEDICATION ONLY)
IS 0.09 ACRES.
R/W ACREAGE IS 0.09 ACRES.
3. PIPE SYSTEMS AND OPEN CHANNELS WITHIN
STORM DRAINAGE EASEMENTS ARE
THE MAINTENANCE RESPONSIBILITY OF
THE PROPERTY OWNER.
4. ALL CONSTRUCTION TO BE IN ACCORDANCE
WITH THE CHARLOTTE-MECKLENBURG LAND
DEVELOPMENT STANDARDS MANUAL.
5. THIS PROJECT TO COMMENCE ON: MARCH 1, 2008
AND BE COMPLETED ON: MAY 15, 2008
6. IN ROLLING AND HILLY TERRAIN, SWEEPING OF
THE STONE BASE AND/OR APPLICATION OF A TACK
COAT MAY BE REQUIRED NEAR INTERSECTIONS.
THESE REQUIREMENTS WILL BE ESTABLISHED BY
THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
7. NON-STANDARD ITEMS (i.e. PAVERS IRRIGATION SYSTEMS,
ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY
ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT
OF TRANSPORTATION BEFORE INSTALLATION.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION
TO GRADE OF ADJACENT PROPERTIES. WHEN FIELD
CONDITIONS WARRANT OFF-ITE GRADING, PERMISSION
MUST BE OBTAINED FROM THE AFFECTED PROPERTY
OWNER.
9. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM
DRAINAGE SYSTEM MUST BE SUBMITTED TO THE CITY
ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE
CHARLOTTE SUBDIVISION ORDINANCE.
10. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN
THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY
THE INSPECTOR.
11. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MIN.
OF 0.5% SLOPE ON THE CURB.
12. COORDINATE ALL CURB AND STREET GRADES
WITH INSPECTOR.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH
CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM
THE CHANNEL BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER,
JUNK AND OTHER ACCUMULATIONS.
14. CURB AND GUTTER SHOWN ALONG PEACHTREE DRIVEWAY BE ADJUSTED
BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM
DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD
CONDITIONS.
15. THE PURPOSE OF STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE
STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE
EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER
FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

1. ELEVATIONS SHOWN ARE TOP OF ASPHALT.
2. ALL GRADING/ DISTURBANCES WILL BE INSIDE LIMITS OF NEW RIGHT OF WAY.
3. CATCH BASINS TO BE CONSTRUCTED TO NCDOT STD. #840.02/840.01.

*ALL PIPES TO BE CLASS 3 RCP UNLESS OTHERWISE NOTED.



LINETYPE LEGEND	
PUBLIC R/W	_____
ADJOINER	_____
PROPERTY LINE	_____

200 PEACHTREE LLC
C/O MCKENNEY'S INC
DB 21270 PG 895
2.119 AC.
PARCEL ID#: 16904222

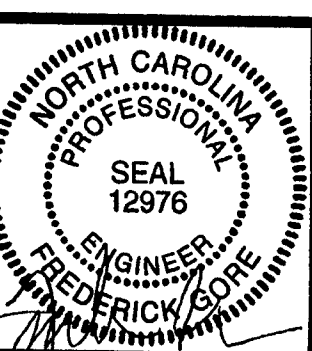
**APPROVED FOR
CONSTRUCTION**
C M P C
JAS 3/18/20

Civiltek Associates
Engineering Planning Surveying
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(704) 332-9191

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*Cul-de-sac Plan
of
Peachtree Drive South Termination
City of Charlotte
Mecklenburg County, North Carolina*

Revisions:
 CIPOT
 REVISED AS PER CHARLOTTE (CIPOT & ENGINEERING) FEEDBACK
 1.16.08
 COMMENTS



Drawn by: CJEB
Approved by: FIG
Date: 10/31/2007
Job name: peachtree drive.dwg

Scale:
1"=40' (H)
(V)

Sheet No. 1

