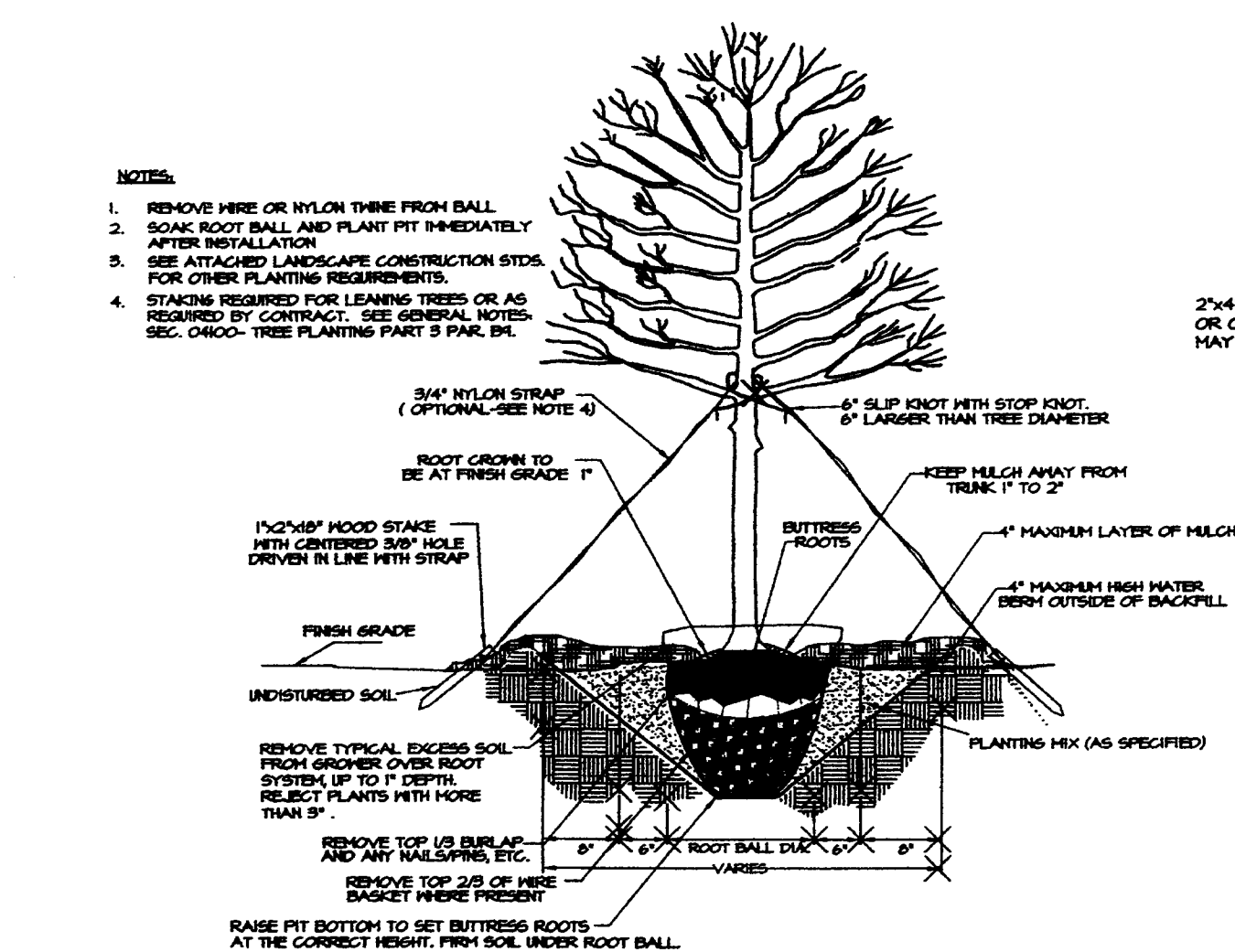
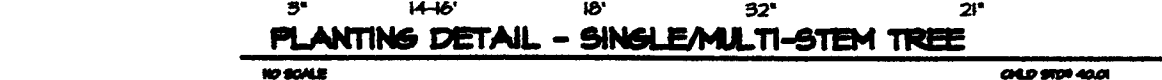


SHEET No.	SHEET Title
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan
4	Roadway & Storm Drainage Profiles & Site Construction Details



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")
 FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX HEIGHT MIN ROOT BALL DIA. MIN ROOT BALL DEPTH



MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER, 8' TALL IF SINGLE STEM;
MINIMUM 8' TALL AND 3 STEMS MAXIMUM IF MULT-STEM. MULCH IS REQUIRED.
STAKING/GUYS IS OPTIONAL.

FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL-OR-UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE). CALL 704-356-4824 FOR AN INSPECTION OF SOIL BEFORE PLANTING TREES.

ALL STRAPPING AND 2/5 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.

PLEASE CALL 704-336-4824 FOR FINAL INSPECTION OF TREES, 7 TO 10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.

PREFERRED TREE SPACING IS:
30' FOR SMALL-MATURING TREES (20" MINIMUM IS PLANTED IN GROUPS)
40'-50' FOR LARGE MATURING TREES (25" MINIMUM IF PLANTED IN GROUPS)

ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES-
PLACE 15'-20' OFF SEWER AND STORM DRAINAGE LINES, 10'-15' OFF GAS,
WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.

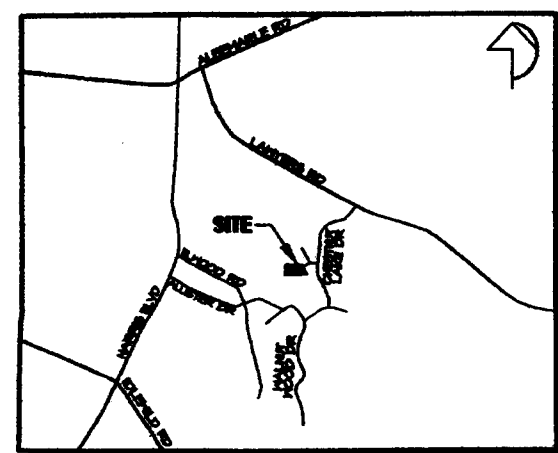
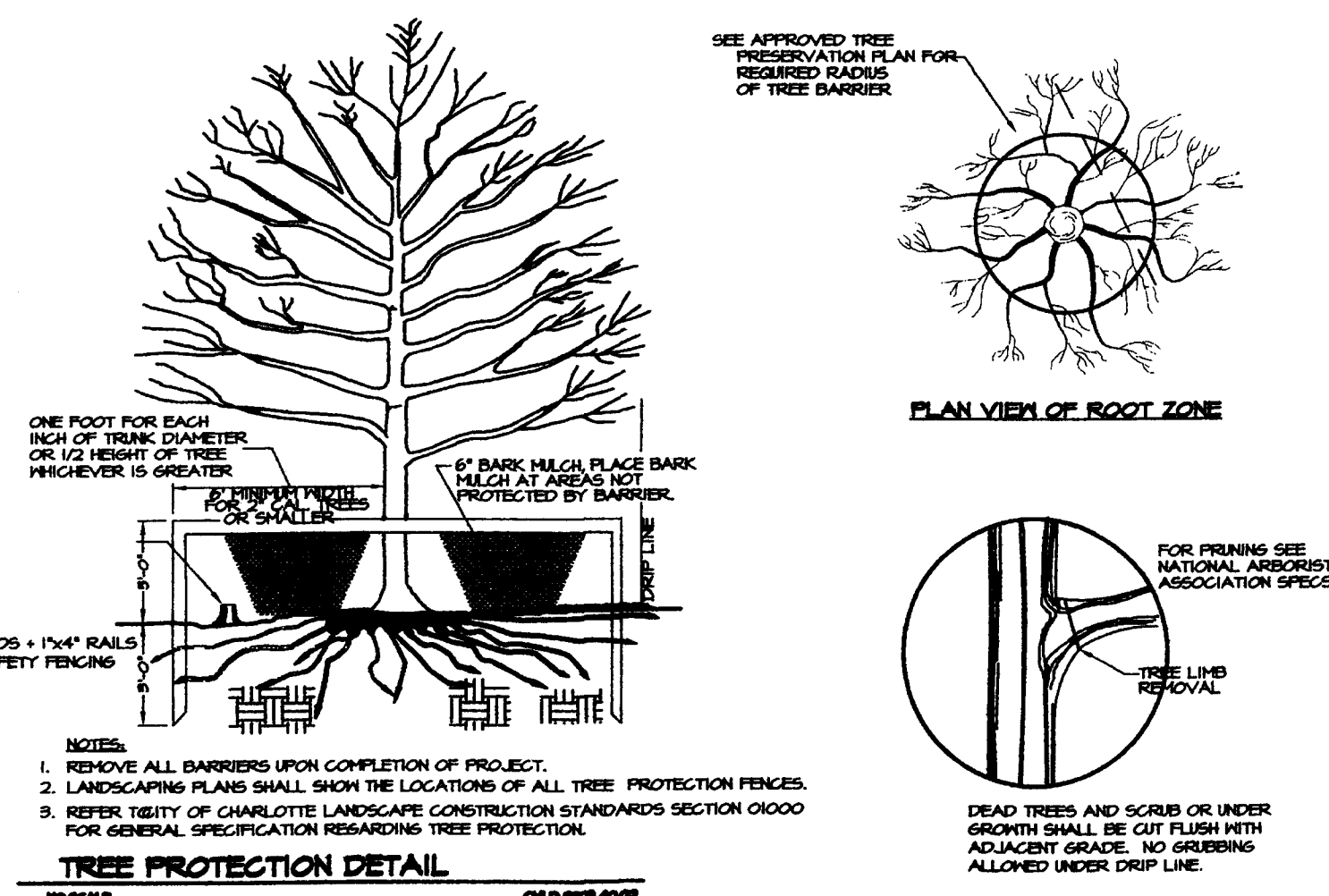
EXISTING HEALTHY TREES WITHIN 25 FEET OF THE RIGHT-OF-WAY LINE MAY BE CREDITED TOWARD THE PERIMETER REQUIREMENT IF SHOWN LANDSCAPE PLAN MAY BE PRESERVED HEALTHY.

LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWERLINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.

— [] — TREE PROTECTION FENCE
[] PROPOSED TREE SAVE AREA

FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET FIRE TR
450	9	0	
450	9	0	TOTAL

ROAD FRONTAGE: 480 LF
STREET TREES REQUIRED: $480 / 50 = 9$ (LARGE MATURING)
STREET TREES PROPOSED: 4, 9 LARGE, 0 SMALL
* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED
1) LARGE MATURING TREES SHALL BE FROM APPROVED
URBAN FORESTRY SPECIES LIST.
DIFFERENT SPECIES OF TREES SHALL BE USED
ON DIFFERENT STREET
NO HERITAGE TREES EXIST ON THIS PROPERTY

[illegible]

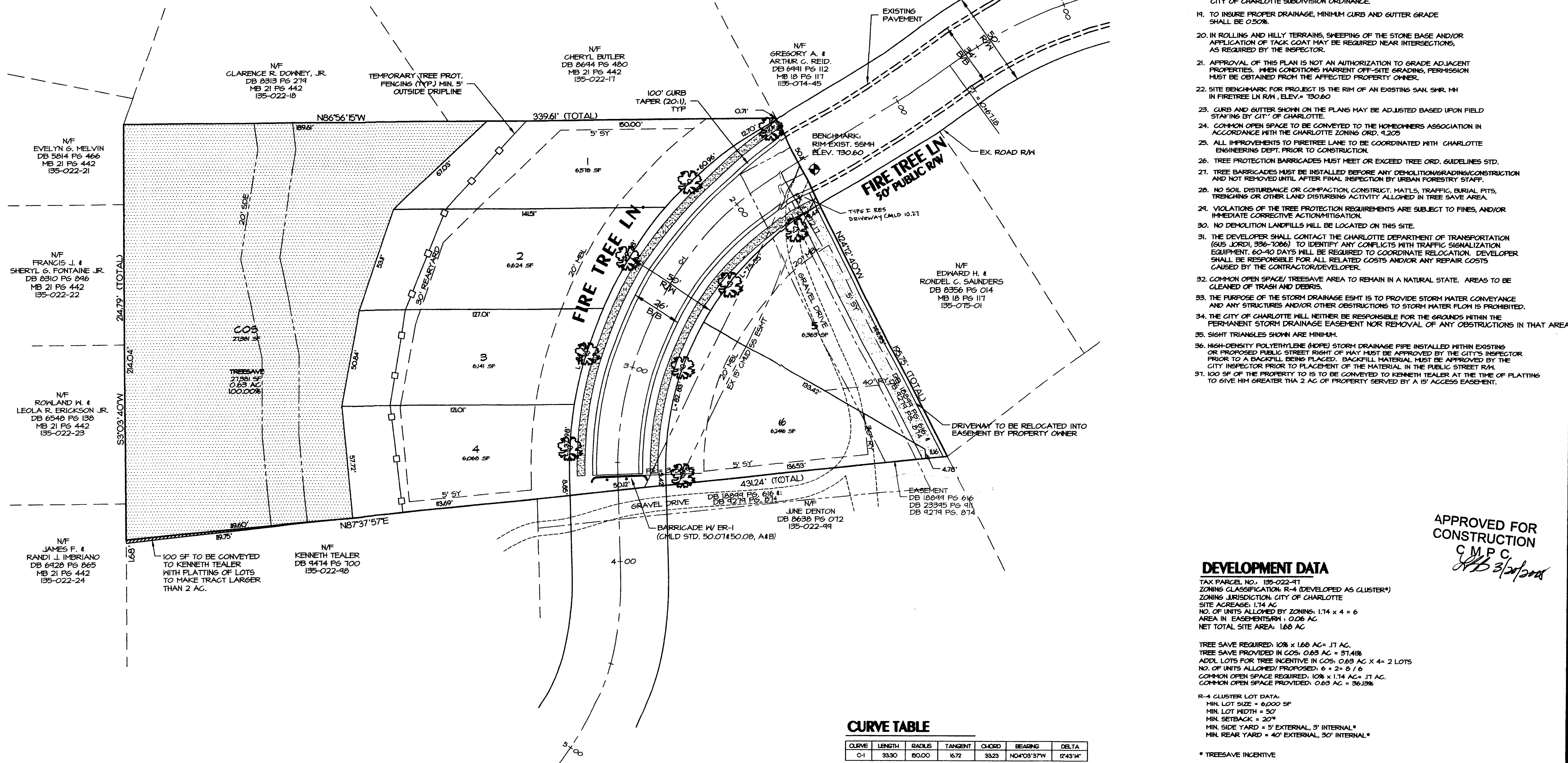
NOTE: NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHES OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/ GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.

TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES APPENDIX).

BEFORE GRADING/CONSTRUCTION BEGINS, CALL 311-364-4624 FOR AN ORDER FOR TREE PROTECTION OF TREE PROTECTION ZONE BARRICADES BY URBAN FORESTERS.

VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/ATTENTION.



CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C-1	33.30	150.00	16.72	33.23	N04°03'37"W	12°43'14"

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE, ZONING AND SUBDIVISION REGULANCES, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION PER SURVEY REQUIRED BY BONDEN SURVEYING.
3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
7. SURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DETERMINED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEET 3 FOR EROSION CONTROL PLAN AND NOTES.
9. REFERENCE SHEET 4 FOR EROSION CONTROL DETAILS.
10. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 4 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE.

ITEM	CMLD STD. NO.
CURB AND GUTTER	10.11
CURB TRANSITION	10.12
CATCH BASIN LOCATION	10.24 & 10.30
(C) BRICK CATCH BASIN	20.01 & 20.02
(DCU) DOUBLE CATCH BASIN	20.03 & 20.04
5 FT EET NAME SIGN	50.05
CONCRETE MONUMENT	50.03
SIDEWALK	10.22
BARRICADE	50.01 & 50.08

ITEM	CMLD STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.19
CATCH BASIN LOCATION	10.24 & 10.30
(G1) BRICK CATCH BASIN	20.01 & 20.02
(DC1) DOUBLE CATCH BASIN	20.03 & 20.04
STREET NAME SIGN	50.05
CONCRETE MONUMENT	50.03
SIDEWALK	10.22
BARRICADE	50.07 & 50.08

- APPROXIMATE COMPLETION TIME IS FALL 2006.
1. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT SYSTEM.
2. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF CURB RAMPS AND/OR SIDEWALKS.
3. DURING CONSTRUCTION OF THE IMPROVEMENTS SPECIFIED BY THESE PLANS, THE DEVELOPER SHALL MAINTAIN THE STREAMBED OF ALL STREAMS, CREEKS, AND CHANNELS IN AN UNOBTURCATED STATE, AND SHALL REMOVE FROM THE CHANNEL AND/OR ITS BANKS, DEBRIS, LOGS OR OTHER ACCUMULATIONS AS REQUIRED TO FACILITATE PROPER DRAINAGE.
4. DRAINAGE EASEMENTS INDICATED AS SIDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
5. THE DEVELOPER SHALL PROVIDE STREET SIGNS (4" SIGNS ONLY) PER CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARD NO. 50.05.
6. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
7. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLING.
8. AS-BUILT DRAWINGS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED, PRIOR TO SUBDIVISION FINAL INSPECTION, TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.
9. TO INSURE PROPER DRAINAGE, MINIMUM CURB AND GUTTER GRADE SHALL BE 0.50%.
10. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, AS REQUIRED BY THE INSPECTOR.
11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.
12. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SHW. MH IN FIRETREE LN R/W, ELEV. = 750.60
13. CURB AND GUTTER SHOWN ON THE PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY OF CHARLOTTE.
14. COMMON AREAS TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 42.05
15. ALL IMPROVEMENTS TO FIRETREE LANE TO BE COORDINATED WITH CHARLOTTE ENGINEERING DEPT. PRIOR TO CONSTRUCTION.
16. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
17. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND MUST REMAIN AFTER FINAL INSPECTION BY USAN FORESTRY STAFF.
18. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT, MATLS, TRAFFIC, BURIAL PITS, TRENCING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
19. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
20. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
21. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
22. COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
23. THE PURPOSE OF THE STORM DRAINAGE ESMT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OTHER OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.
24. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
25. SIGHT TRIANGLES SHOWN ARE MINIMUM.
26. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING GROUND PROFILES SHALL BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO A BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL IN THE PUBLIC STREET R/W.
27. SIGHT TRIANGLES TO BE CONVEYED TO KENNETH TRINER AT THE TIME OF FLATTING TO GIVE HIM GREATER THAN 2 AC. OF PROPERTY SERVED BY A 1/2" ACCESS EASEMENT.

TAX PARCEL NO.: 135-022-9T
ZONING CLASSIFICATION: R-4 (DEVELOPED AS CLUSTER*)
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 1.74 AC
NO. OF UNITS ALLOWED BY ZONING: $1.74 \times 4 = 6$
AREA IN EASEMENTS/RM: 0.06 AC
NET TOTAL SITE AREA: 1.68 AC

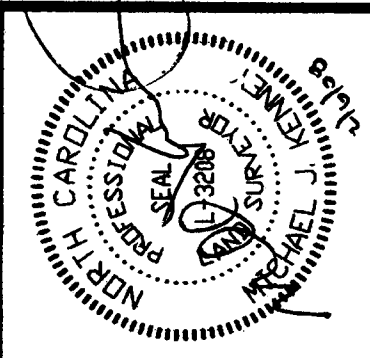
TREE SAVE REQUIRED: $10\% \times 1.68 \text{ AC} = .17 \text{ AC}$.
 TREE SAVE PROVIDED IN COS: $0.63 \text{ AC} = 37.41\%$
 ADDL LOTS FOR TREE INCENTIVE IN COS: $0.63 \text{ AC} \times 4 = 2 \text{ LOTS}$
 NO. OF UNITS ALLOWED/ PROPOSED: $6 + 2 = 8 / 6$
 COMMON OPEN SPACE REQUIRED: $10\% \times 1.74 \text{ AC} = .17 \text{ AC}$.
 COMMON OPEN SPACE PROVIDED: $0.63 \text{ AC} = 36.13\%$

R-4 CLUSTER LOT DATA:
MIN. LOT SIZE = 6,000 SF
MIN. LOT WIDTH = 50'
MIN. SETBACK = 20'
MIN. SIDE YARD = 5' EXTERNAL, 3' INTERNAL*
MIN. REAR YARD = 40' EXTERNAL, 30' INTERNAL*

- TREESAVE INCENTIVE

Revisions:

1. 11/15/06 REVISED PER CMPC, CED & CDOT REVIEW COMMENTS
2. 11/26/07 REVISED PER CDOT REVIEW COMMENTS
3. 2/6/08 PUT EASEMENT TO TEALER BACK & DEED HIM 45 SF



Scale:	1"=30'
Date:	5/10/06
Drawn By:	MJK
Designed By:	MJK
Job No.:	1605

PRELIMINARY SUBDIVISION SITE/LANDSCAPE PLAN

FIRETREE

City of Charlotte, Mecklenburg County, North Carolina
Elizabeth Nelson, LLC, 1823 Carmel Ridge Rd., Charlotte, NC 28226

Sheet No.

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