

STAKING AND MATERIALS LEGEND:

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	PROPOSED HANDICAP SIGNS CLDS #50.10A CLDS #50.10B CLDS #50.10C
	PROPOSED SIDEWALK CLDS #10.22
	PROPOSED HANDICAP RAMP CLDS #10.32A CLDS #10.32B
	PROPOSED HEAVY DUTY ASPHALT 6/C10.0
	PROPOSED HEAVY DUTY CONCRETE -/-
	PROPOSED 1'-6" CURB AND GUTTER 10/C10.0 CLDS #10.17A CLDS #10.17C
	PROPOSED 1'-6" MOUNTABLE CURB CLDS #10.17A CLDS #10.17C MEDIAN AT CLOISTERS CLUB LANE
	PROPOSED 2'-6" CURB AND GUTTER 10/C10.0 CLDS #10.17A CLDS #10.17C PUBLIC STREETS ONLY
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER AT STEELCROFT PARKWAY & LITTLE GEM LANE CONNECTION MUTCD R1-1 30 x 30
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER AT INTERIOR INTERSECTIONS MUTCD R1-1 24 x 24
	PROPOSED KEEP RIGHT SIGN TO BE INSTALLED BY DEVELOPER MUTCD R4-7 24 x 30
	PROPOSED FENCING 16/C10.0
	PROPOSED PRECAST CONCRETE WHEEL STOPS AT DEPRESSED CURB -/-
	DEPRESSED CURB AND GUTTER -/-
	PROPOSED CARD BOARD DUMPSTER 3/C10.1
	PROPOSED RECYCLE CENTER 4/C10.1
	PROPOSED COMPACTOR 1-3/C10.0
	FIRE DEPARTMENT CONNECTION -/-
	INTERIOR BIKE RACK-3 PER LOCATION 16/C10.0
	PERVIOUS GRASS PAVER 12/C10.1

SITE DATA: (Phase II)

PIN: 199-511-08, 199-511-10
 OWNER: Charter Properties, Inc.
 ADDRESS: 1520 South Boulevard, Suite 215
 Charlotte, NC 28203
 TELEPHONE NUMBER: (704) 377-4172
 ZONING PETITION #: 2005-149
 ZONING: R-17 MFCO
 JURISDICTION: City of Charlotte
 PROPOSED USE: 270 Units Residential Units (Apartments)
 336 Existing Apt. Units in Phase I

ACCESSIBLE UNITS:
 Required Type A: 5% of 270=13.5=14
 Provided Type A: 14
 Required Type B: (Remaining none "A" Ground units)
 Provided Type B: 92-14=78

BUILDING HEIGHT(feet):
 Club House: 31'-0"
 Building I: 47'-0"
 Building II: 47'-0"
 Building III: 47'-0"

LOT SIZE: (OVERALL DEVELOPMENT) 43.2 Acres Total
 Right of way: 4.32 Acres Total
 Little Gem Lane 0.82 Acres
 Steelecroft Parkway 3.08 Acres
 Steelecroft Creek Road 0.421 Acres
 Phase I 26.40 Acres
 Phase II 12.34 Acres
 Steelecroft Office LLC 0.14 Acres
 Land Conveyed

DENSITY: Phase II : 21.88 Du/Ac
 Overall Development 14.03 Du/Ac (see rezoning)

OPEN SPACE: (Phase I and II Combined)
 Required: 45%=17.43 Acres (Phase I & II)
 Provided: 15.40 Acres (Phase I)
 4.80 Acres (Phase II)

TREE SAVE AREA: (Phase I and II Combined)
 Required: 52%=20.20 Acres (Phase I & II)
 Provided: 10%=3.87 Acres (Phase I & II)
 4.22 Acres (Phase I)
 0 Acres (Phase II)
 10.9%=4.22 Acres (Phase I & II)

YARD REQUIREMENTS:
 Setback (front): 15 FT (PER SECTION 9.303 -19F)
 *From Right-of-Way: 10 FT
 *Side Yard: 10 FT
 Rear Yard: 40 FT
 *See General Note # 15
 Building Separation: 16 FT

PARKING DATA:
 Required:(1.50 per unit) 270*1.5=405
 Provided: 435 Total
 Surface Parking: 352
 Street Parking: 54
 Garage Parking: 29
 Handicap Parking:
 Required: (CLDS 50.10A) 7+2 Van Accessible
 Provided: 2 Garage, 2 Van Accessible, 13 Standard
 1 Van at Club House
 14 for Type "A" units
 2 for Type "B" units

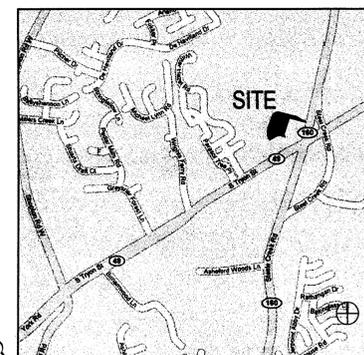
SOLID WASTE/RECYCLING STATION REQUIREMENTS
 Solid Waste:
 Required: 8 cu.yd. Compactor Per 90 Units
 270 Units=24 cu. yd.
 30 cu. yd. Compactor
 Provided: 241-320 Units Req. 4 x 144 sf.
 Recycle Stations
 Provided: 4 Recycling Stations
 (4 x 144 = 576 sf)

BIKE PARKING
 Required: 1 Per 20 Units
 270/20=13.5=14
 Provided: 75 (25 sets of 3) Located in Stairwell
 All are Covered Spaces. See Architectural plans
 See 16/C10.0 for Detail

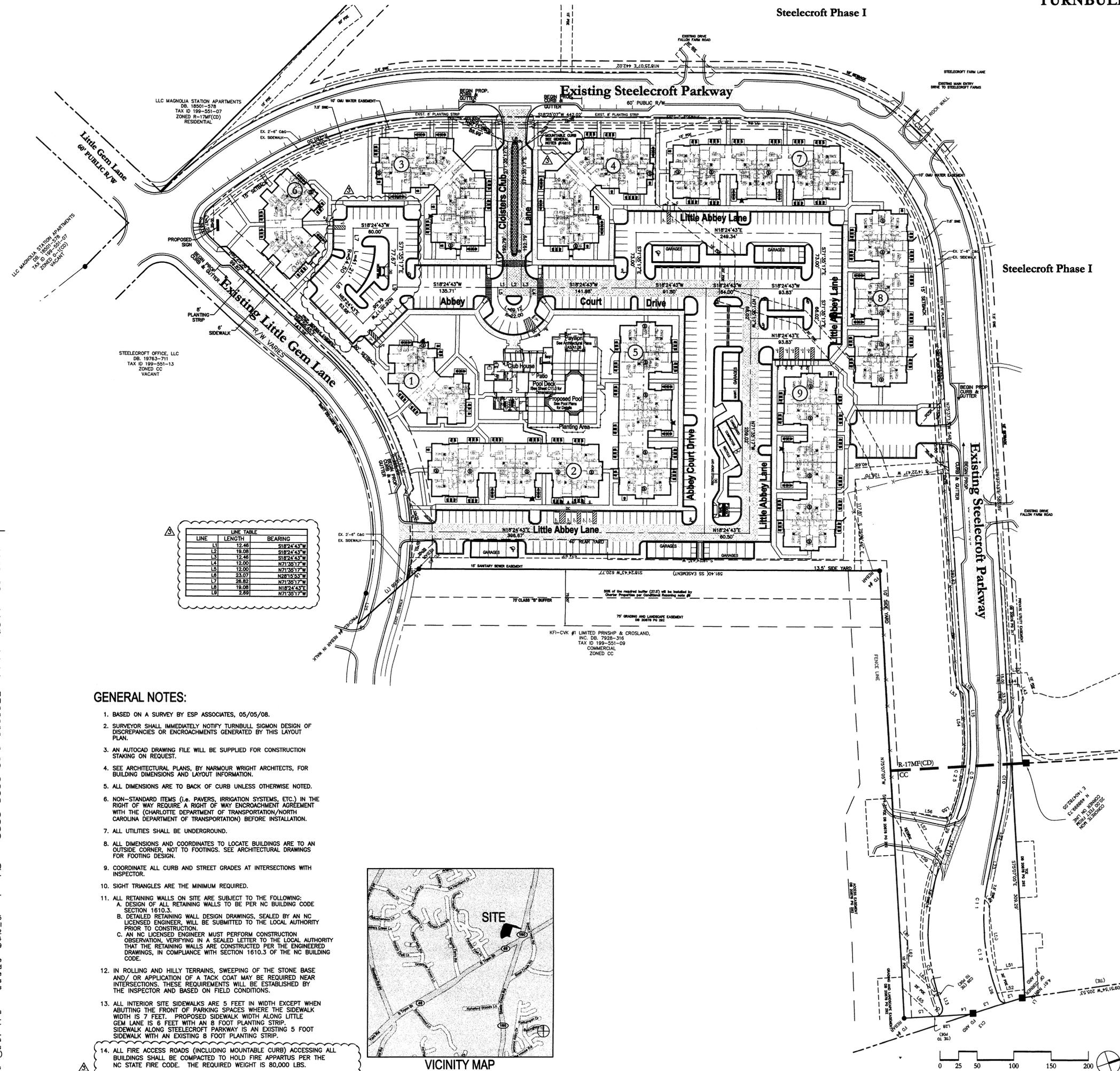
LINE	LENGTH	BEARING
L1	12.46	S18°24'43"W
L2	19.08	S18°24'43"W
L3	12.46	S18°24'43"W
L4	12.00	N71°36'17"W
L5	12.00	N71°36'17"W
L6	23.07	N28°19'55"W
L7	26.82	N71°36'17"W
L8	19.08	N18°24'43"E
L9	2.88	N71°36'17"W

GENERAL NOTES:

- BASED ON A SURVEY BY ESP ASSOCIATES, 05/05/08.
- SURVEYOR SHALL IMMEDIATELY NOTIFY TURNBULL SIGMON DESIGN OF DISCREPANCIES OR ENCROACHMENTS GENERATED BY THIS LAYOUT PLAN.
- AN AUTOCAD DRAWING FILE WILL BE SUPPLIED FOR CONSTRUCTION STAKING ON REQUEST.
- SEE ARCHITECTURAL PLANS, BY NARMOUR WRIGHT ARCHITECTS, FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- ALL UTILITIES SHALL BE UNDERGROUND.
- ALL DIMENSIONS AND COORDINATES TO LOCATE BUILDINGS ARE TO AN OUTSIDE CORNER, NOT TO FOOTINGS. SEE ARCHITECTURAL DRAWINGS FOR FOOTING DESIGN.
- COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
- SIGHT TRIANGLES ARE THE MINIMUM REQUIRED.
- ALL RETAINING WALLS ON SITE ARE SUBJECT TO THE FOLLOWING:
 A. DESIGN OF ALL RETAINING WALLS TO BE PER NC BUILDING CODE SECTION 1610.3.
 B. DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
 C. AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE.
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- ALL INTERIOR SIDEWALKS ARE 5 FEET IN WIDTH EXCEPT WHEN ABUTTING THE FRONT OF PARKING SPACES WHERE THE SIDEWALK WIDTH IS 7 FEET. PROPOSED SIDEWALK WIDTH ALONG LITTLE GEM LANE IS 6 FEET WITH AN 8 FOOT PLANTING STRIP. SIDEWALK ALONG STEELCROFT PARKWAY IS AN EXISTING 5 FOOT SIDEWALK WITH AN EXISTING 8 FOOT PLANTING STRIP.
- ALL FIRE ACCESS ROADS (INCLUDING MOUNTABLE CURB) ACCESSING ALL BUILDINGS SHALL BE COMPACTED TO HOLD FIRE APPARATUS PER THE NC STATE FIRE CODE. THE REQUIRED WEIGHT IS 80,000 LBS.
- CONTRACTOR TO SUBMIT PAVEMENT DESIGN FOR FIRE ACCESS ROADS (REFER TO NOTE #14) TO ENGINEER FOR APPROVAL.



Steelecroft Phase I



TURNBULL ● SIGMON DESIGN



LAND DEVELOPMENT DESIGN SERVICES



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Charter Properties Inc.

1520 SOUTH BLVD.
 CHARLOTTE, NC 28203
 704-377-4172

The Cloisters at Steelecroft Phase II

CITY OF CHARLOTTE
 NORTH CAROLINA

Overall Site Plan
 PRELIMINARY
 MULTI-FAMILY SUBMITTAL
 APPROVED
 Charlotte-Mecklenburg Planning 4/11/08

PROJECT NUMBER: 07-084
 DRAWN BY: JKG
 DESIGNED BY: BCS
 ISSUE DATE: 05/08/08

2. 8/27/08 ESP PER CITY PLANNING & BLDG. STD. COMMENTS
 2. 8/27/08 ESP PER CLIENT REVIEW COMMENTS
 1. 7/1/08 ESP PER CITY REVIEW COMMENTS
 NO. DATE: BY: REVISIONS:

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Turnbull Sigmon Design
1001 Morehead Square Dr.
Suite 530
Charlotte, NC 28203
Phone: 704.529.6500
Fax: 704.522.0882

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The Cloisters
at
Steelecroft
Phase II

CITY OF CHARLOTTE
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30 Scale Site
Layout Plan

PROJECT NUMBER: 07-084

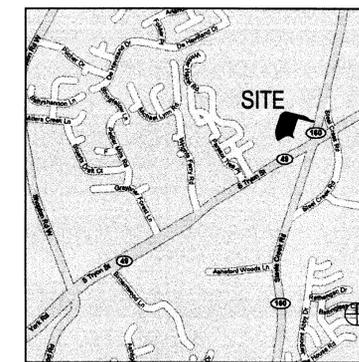
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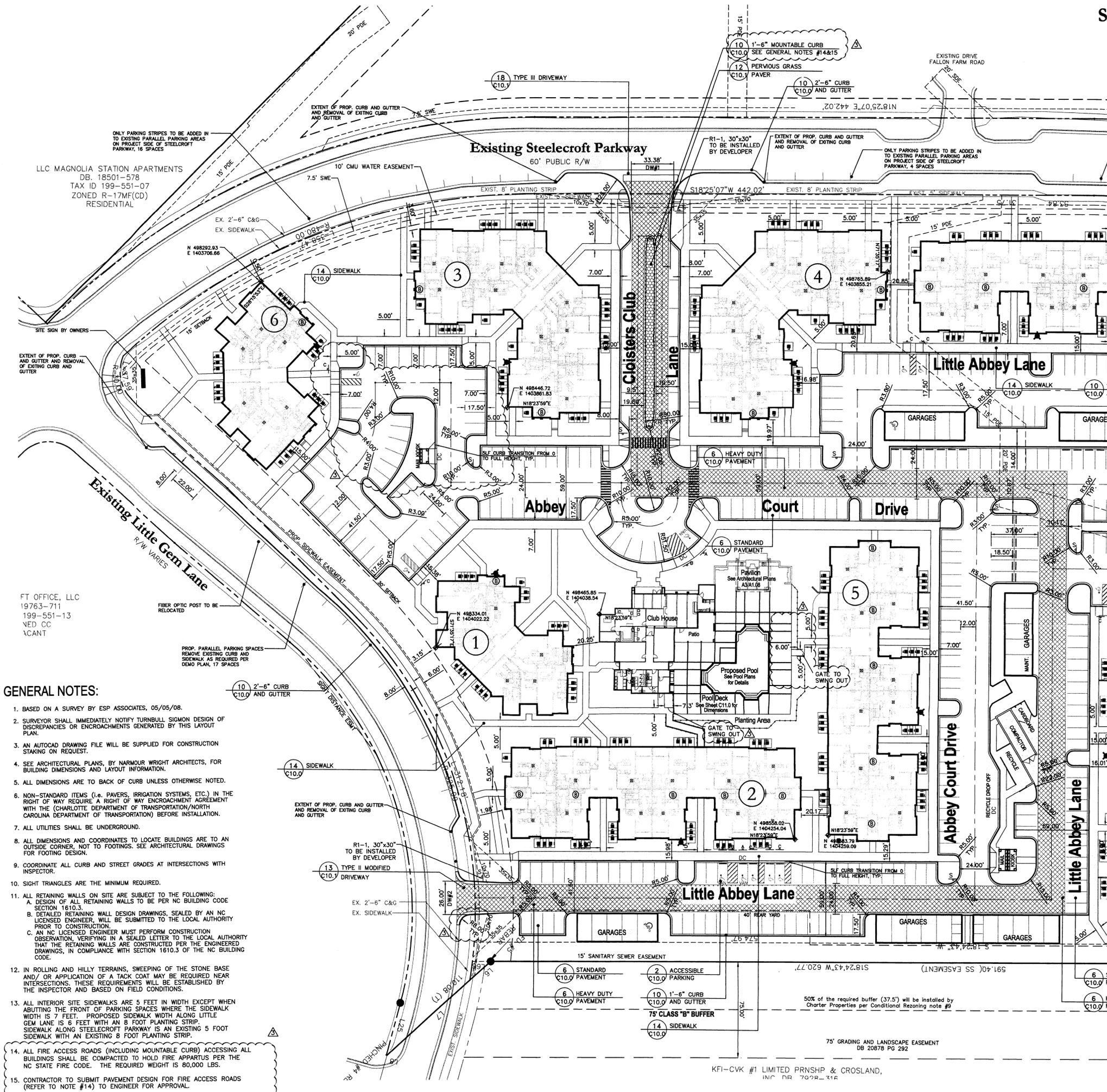
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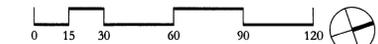
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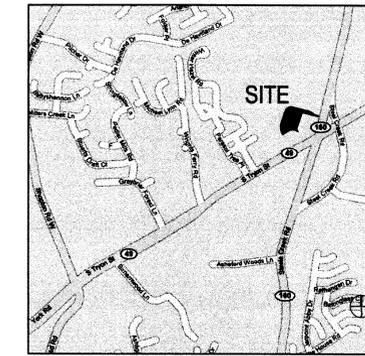
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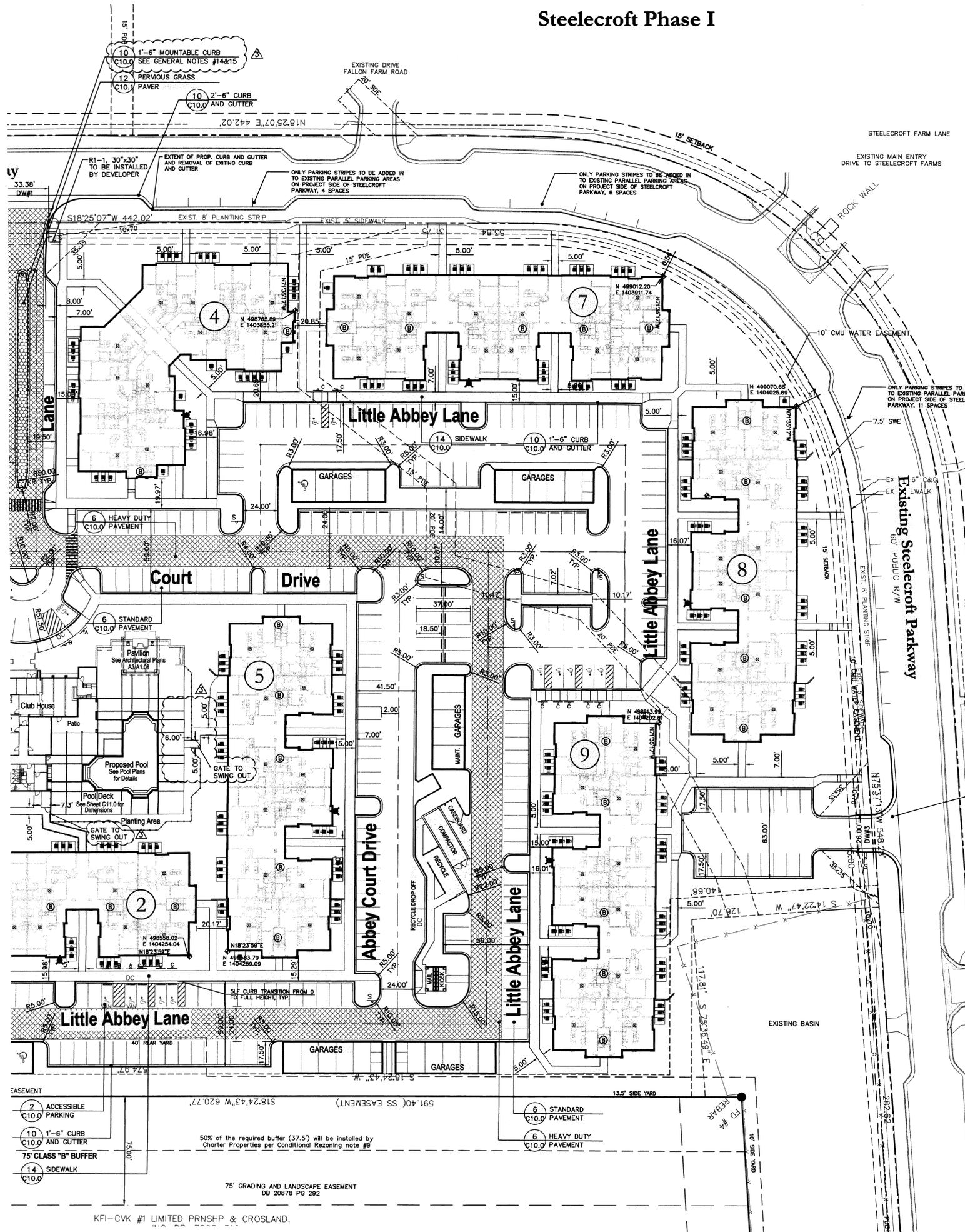


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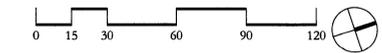
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