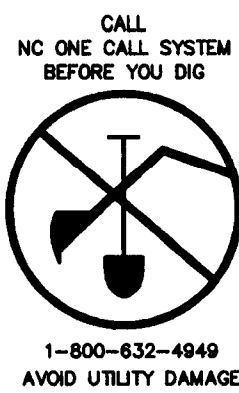


VICINITY MAP (NOT TO SCALE)

- Tree Planting Notes and Requirements**
- (1) All strapping and top 2/3 of wire basket must be cut away and removed from the root ball prior to backfilling planting pit. Remove top 1/3 of the burlap from root ball.
 - (2) For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 24" new topsoil-or-uncompact and amend the top 24" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet per tree). Call 704-336-4330 for an inspection of soil BEFORE planting trees.
 - (3) Large maturing trees may not be planted where overhead distribution or transmission lines exist. If trees conflict with power lines or signs, call the Urban Forester to resolve BEFORE planting.
 - (4) Please call 704-336-4330 for an inspection of tree protection and/or tree planting areas 1 to 2 days before the temporary or final certificate of occupancy is needed.
 - (5) Adjust tree-planting locations to avoid underground utilities.
 - (6) New trees shall be 2" caliper for street tree requirements. Supplemental trees shall be 1 1/2" caliper if planted in individual lots, and 3/4" caliper if planted in common open space.
 - (7) Perimeter/street trees to be planted within 20 ft. from the back of curb.
 - (8) Common open space must be recorded on plat to plant 3/4" trees. Otherwise plant 1 1/2" caliper large maturing shade trees.
- LEGEND**
- - Proposed large maturing tree from the approved Charlotte-Mecklenburg tree list

STREET TREE PLANTING		
STREET NAME	ROAD FRONTAGE (L.F. BOTH SIDES)	TREES REQUIRED
LYDIA RIDGE LANE	697	7 (WHITE OAK) 7 (SUGAR MAPLE) 4 (WILLOW OAK)
CRAIG AVENUE	109	4 (WILLOW OAK)

- NOTES:**
- (1) CALCULATIONS:
GROSS TOTAL SITE AREA = 3.31 AC.
NET SITE AREA = 3.16 AC. (GROSS AREA LESS DEDICATED R/W)
TOTAL TREE SAVE AREA REQUIRED = 0.32 AC. (10% NET AREA)
TOTAL TREE SAVE AREA PROVIDED = 0.33 AC. (10.44%)
 - (2) TREE SAVE AREAS SHALL BE FLAGGED IN FIELD FOR URBAN FORESTRY VERIFICATION.
 - (3) ALL PLANTED STREET TREES, LARGE MATURING TREES SELECTED FROM THE CITY OF CHARLOTTE TREE PLANTING LIST.
 - (4) NUMBER OF STREET TREES PROVIDED = 22
AVERAGE SPACING BETWEEN TREES 40 - 50 FT.



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CMUD SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

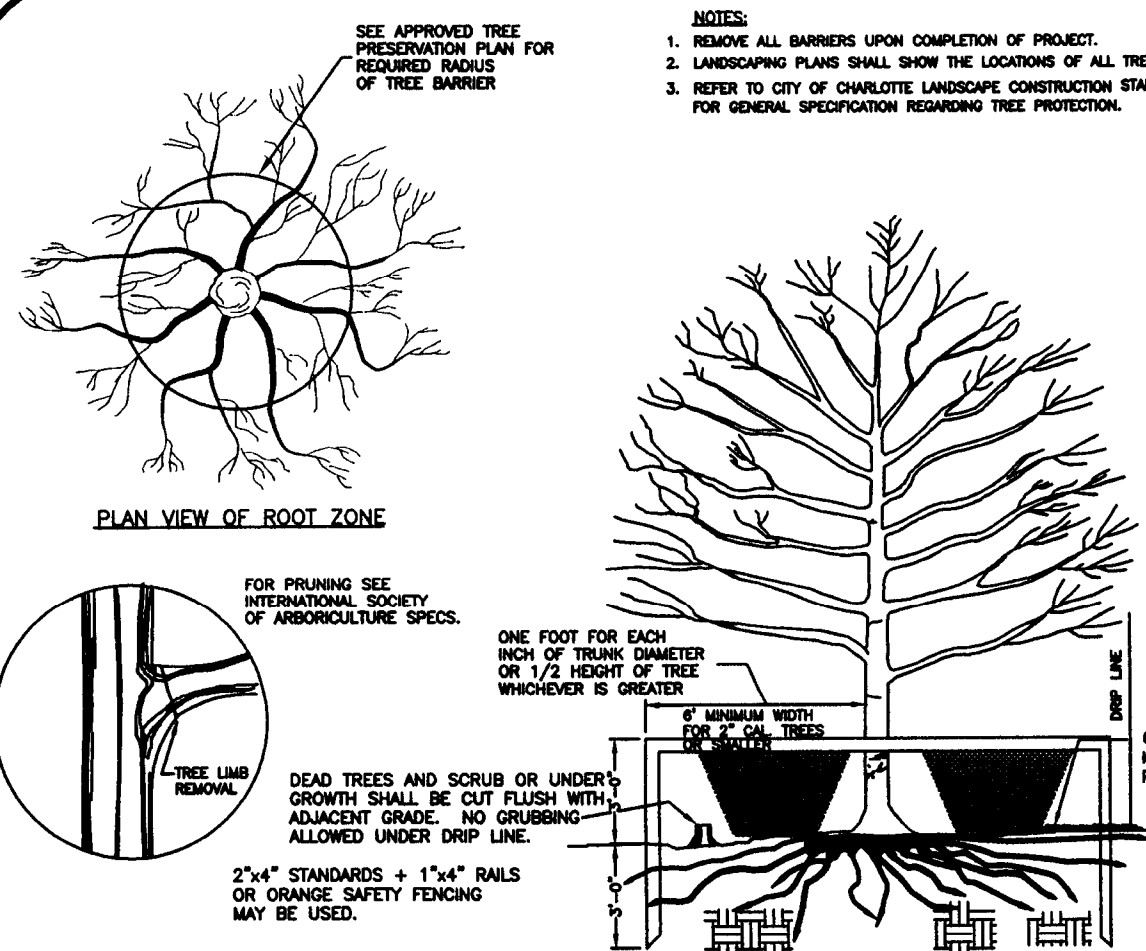
NOW OR FORMERLY
CITY OF CHARLOTTE
TRACT 4 & 6
(MB 6 PG 426)
DB 1853 PG 208
ZONED: I-2
TAX# 157-111-40

NOTE:
SITE HAS BEEN INSPECTED AND NO 'HERITAGE' TREES ARE PRESENT

CURVE TABLE					
CURVE	BEARING	CHORD	RADIUS	LENGTH	PC
C1	N37°52'17"E	58.49'	250.00'	58.63'	1+97.55
					2+56.17

NOTES:

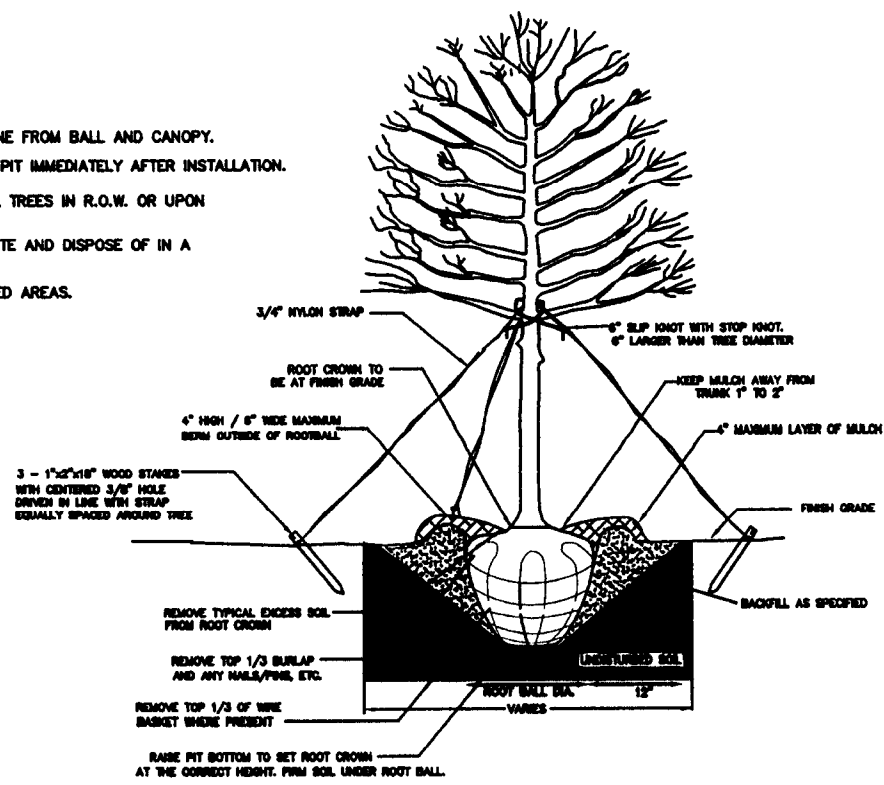
- (1) TREE SAVE AREA SHALL BE SHOWN WITH TREE PROTECTION MEASURES ON ALL PERTINENT SHEETS WITH A NOTE STATING "TREE PROTECTION FENCE TO BE PLACED AT THE DRIPLINE PLUS FIVE(5) FEET, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY".
- (2) ALL EXISTING AND PROPOSED UTILITIES (NOT TO PASS THROUGH TREE SAVE AREA) SHALL BE SHOWN.
- (3) TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
- (4) TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/FINAL INSPECTION BY URBAN FORESTRY STAFF.
- (5) NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
- (6) VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- (7) URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.



TREE PROTECTION DETAIL (40.02)

NOTES:

1. REMOVE WIRE AND NYLON TRUNK FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.M. OR UPON REQUEST OF FORESTER.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMATCHED, DISTURBED AREAS.



TREE PLANTING DETAIL (40.01)
(FOR SINGLE AND MULTI-STEM TREES)

LOT 6 PARKSIDE
NOW OR FORMERLY
JEFFERY H. CHILDRESS
MB 9 PG 363
DB 1040 PG 147
TAX# 157-111-21

LOT 5 PARKSIDE
NOW OR FORMERLY
IRIS S. THOMAS
MB 9 PG 363
DB 2277 PG 373
TAX# 157-111-22

LOT 4 PARKSIDE
NOW OR FORMERLY
JENNIFER L. WALL
MB 9 PG 363
DB 10615 PG 685
TAX# 157-111-23

LOT 2 PARKSIDE
NOW OR FORMERLY
WORTH & VETTA E. SIMPSON
MB 9 PG 363
DB 2018 PG 473
TAX# 157-111-25

LOT 1 PARKSIDE
NOW OR FORMERLY
JAMES E. BARNETT
MB 9 PG 363
DB 1110 PG 184
TAX# 157-111-24

NOW OR FORMERLY
CITY OF CHARLOTTE
TRACT 4 & 6
(MB 6 PG 426)
DB 1853 PG 208
ZONED: I-2
TAX# 157-111-40

GENERAL NOTES

PRIOR TO PLAT RECORDATION, OFF-SITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7088) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

IF THE OWNER WISHES TO SAVE CERTAIN TREES ON THE SITE, PLACE TREE BARRICADES AS SHOWN ON THE PLAN OR AS SPECIFIED BY THE OWNER BEFORE CONSTRUCTION ACTIVITY BEGINS.

ALL CONSTRUCTION SHALL CONFORM TO CITY OF CHARLOTTE STANDARDS.

IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON CURB.

ALL ROAD IMPROVEMENTS AT CRAIG AVENUE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

THE DEVELOPER SHALL MAINTAIN THE OF EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTURATED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOUR NOTICE PRIOR TO START.

APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

PROPOSED GRADING SUBJECT TO CHANGE BASED ON FIELD CONDITIONS.

ALL STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.

"AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

IN ROLLING AND HILLY TERRAINS, SWEEPING OF STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRES A "RIGHT OF WAY ENCROACHMENT AGREEMENT" WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.

DEVELOPER WILL PROVIDE STREET SIGNS PER CMUDS 50.05 (9" SIGNS ONLY).

SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.

GRADE SLOPES SHALL BE NO STEEPER THAN 2:1.

ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL INTERSECTIONS PER CMUDS 10.31 THRU 10.35.

C.O.S. - COMMON OPEN SPACE

C.M. - CONCRETE MONUMENT

S.D.E. - STORM DRAINAGE EASEMENT

THE PURPOSE OF THE STORM DRAINAGE EASEMENT (S.D.E.) IS TO PROVIDE STORMWATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORMWATER FLOW IS PROHIBITED.

ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC ROADWAYS.

CURB - MIN. 20" RADIUS, R/W MIN. 20" RADIUS UNLESS SHOWN OTHERWISE.

COMMON OPEN SPACE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SIDEWALKS ARE TO MEET ALL A.D.A. REQUIREMENTS FOR SLOPE AND SPACING BETWEEN TURNAROUND AREA.

STREETS AND SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

ALL RIGHT-OF-WAY AND CURB TAPERS ARE 20:1 UNLESS OTHERWISE NOTED.

ALL TOPOGRAPHY IS FROM AERIAL SURVEY.

TAX PARCEL NO.: 157-111-27

DEVELOPMENT DATA

ZONING : R-4

TOTAL SITE AREA:	3.31 AC.
NET SITE AREA:	3.16 AC.
(TREESAVE AREA):	0.33 AC. (10.44%)
TOTAL LOTS:	12 LOTS
MIN. LOT AREA:	6,000 S.F.
MIN. LOT WIDTH:	55'
MIN. FRONT SETBACK:	20'
MIN. SIDEYARD:	5'
MIN. SIDEYARD CORNER LOT:	10'
MIN. REARYARD:	40' EXTERIOR

**THIS PLAN IS A FINAL DESIGN-NOT
RELEASED FOR CONSTRUCTION
UNLESS INITIALLED/DATED AS APPROVED:**

APPROVED: _____ INITIALS _____ DATE _____

NO.	DATE	REVISIONS PER CITY ENG. & CMPC COMMENTS	BY
2	5/1/08	REVISIONS PER CITY ENG. & CMPC COMMENTS	DC
1	3/28/08	REVISIONS PER CITY ENG. & CMPC COMMENTS	DC
NO.	DATE	REVISION	BY
SHEET TITLE			
SITE PLAN			PROJECT NO.
APPROVED FOR CONSTRUCTION			SCALE: 1"=50'
C.M.P.C.			DATE: 3/13/08
PROJECT			DRAWN BY: DC
STRATTON OAKS			CHECKED BY: MAH
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC			DRAWING NO.
FOR: JACOBS FORK PROPERTIES, LLC.			204-84
YARBROUGH-WILLIAMS & HOULE, INC.			SHEET 1 OF 8 SHEETS
Planning • Surveying • Engineering			
730 Windsor Oak Court (28275) P.O. Box 7007 (28241)			
Charlotte, North Carolina			
704.558.1990 704.558.0505(fax)			

THIS PRELIMINARY PLAN MAY NOT CONTAIN FINAL STAKE OUT INFORMATION