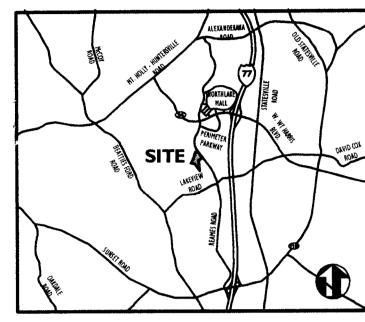
Northlake Crossing

Portrait Homes

Charlotte, North Carolina



Vicinity Map - NTS

Owner

Portrait Homes 9111 Monroe Road, Suite 100 Charlotte, NC 28270-1490 (704) 849-2221

Designer



www.sitesolutionspa.com

Telephone- 704-521- 9880 CADD# 2953

Contact: Phillip Hobbe, ASLA

Site Development Data

DEDICATED R/W (EXTG & PROPOSED): 2.775 ACRES

FROM R/W FOR FRONT LOADED GARAGES;

(1/ 20 TOWNHOUSE UNITE

6.57 UNITS/AC

Latest Revision

SOLID WASTE/ RECYCLING CONTAINER REQUIREMENTS - ONE EIGHT (8) CU.YD. COMPACTOR DUMPSTER 19 REQUIRED PER 90 UNITS

- ONE (1) 144 S.F. RECYCLING STATION REQUIRED FOR 30 - 60 UNITS 2 PROVIDED

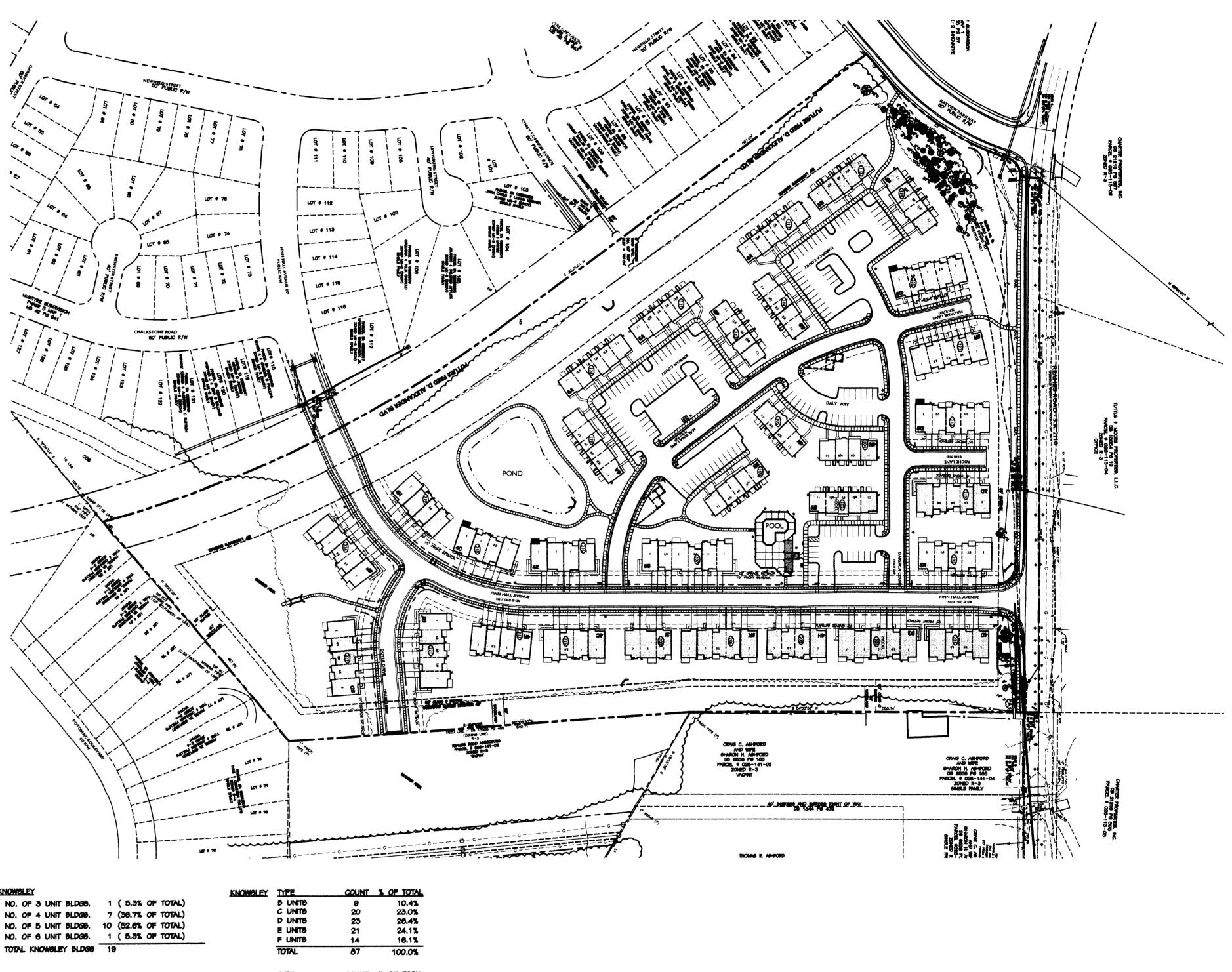
BUILDING COVERAGE: 153,140 SF (3.52 AC), 17.7% OF NET AREA STREETS, DRIVES, PARKING COVERAGE = 131,775 SF (3.03 AC), 15.2% OF NET AREA SIDEWALK COVERAGE: 45,430 SF (1.04 AC), 5.2% OF NET AREA POOL DECK: 5,030 OF (0.12 AC), 0.5% OF NET AREA TOTAL NATURAL AREA: 12.10 AC, 61.2% OF NET AREA

Latest Revision

Revision

Sheet Schedule

		0.11.15.	Latest Revision	Latest Revision	1 (
Sheet Title	Sheet No.	Original Date	Date	Number	Index	
		3.17.08	4.23.08	3	Rev. comments	
Cover Sheet	RZ1	12.17.01			•	
Rezoning Plan	RZ2	12.17.01		•	•	
Rezoning Plan	RZ3	12.17.01			•	
Rezoning Plan		4.3.07				
Survey	L-1.1	3.17.08				
Clearing/Demolition Plan	L-2.1	3.17.08	4.23.08	3	Rev. comments/easements	
Site Plan	L-2.2	3.17.08	4.23.08	3	Rev. comments/ramps	
Site Plan Initial Erceion Control Plan	L-3.1	3.17.08		•	,	
Final Erosion Control Plan	L-3.2	3.17.08			•	
	L-3.3	3.17.08	4.23.08	3	Rev. comments/easements	
Grading/Storm Drainage Plan	L-3.4	3.17.08	4.23.08	3	Rev. commente/rampe	
Grading/Storm Drainage Plan	DA-3	3.17.08	•			
Component Drainage Area Plan	1 of 4	3.17.08	4.15.00	2	CMU 2nd rev.	
CMUD Cover	2 of 4	3.17.08	4.15.08	2	CMU 2nd rev.	
CMUD Permit	3 of 4	3.17.08	4.15.08	2	CMU 2nd rev.	
CMUD Plan 4 Profile	4 of 4	3.17.08	4.15.08	2	CMU 2nd rev.	
CMUD Plan & Profile	L-4.1	3.17.08		-		
Private Utility Plan	L-4.2	3.17.08	· ·			
Private Utility Plan	L-4.3	3.17.08	<u>.</u>		:	
Sanitary Sower Profiles	L-5.1	3.17.08	4,23.08	3	Rev. commente	
Road Plan and Profile Public Streets	L-5.1 L-5.2	3.17.08	4.23.08	3	Rev. comments	
Road Plan and Profile Private Otreets Road Plan and Profile Private Otreets	L-5.2 L-5.3	3.17.08	4.23.08	3	Rev. comments	
m t mt	L-5.4	3.17.08	4.23.08	3	Rev. comments	
	L-5.5	3.17.08		•	•	
Future Fred D. Alexander Blvd Plan 4 Profile Rearnes Rd Demolition Plan	L-5.6	3.17.08		•		
Reames Rd Roadway Improvements Plan	L-5.7	3.17.08	4.23.08	3	NCDOT Rev	
Reames Rd Roadway Improvements Profile	L-5.8	3.17.08	4.23.08	3	NCDOT Rev	
Reamee Rd Pavement Marking Plan	L-5.9	3.17.08	4.23.08	3	NCDOT Rev	
Reames Rd Proposed Site Dist. Plan 4 Profile	L-5.10	3.17.0 8	4.23.08	3	NCDOT Rev	
Reamee Rd Future Site Dist. Plan & Profile	L-5.11	3.17.08	4.23.08	3	NCDOT Rev	
Reamee Rd Traffic Control Plan General Notes	L-5.12	3.17.08	•	•	•	
Reames Rd Traffic Control Plan Phase 1	L-5.13	3.17.08	•	•	•	
Reamee Rd Traffic Control Plan Phase 2	L-5.14	3.17.08	4.03.08	•	NCDOT Rev	
Reames Rd Cross Sections	L-5.15	3.17.08	4.23.06	3 3	NCDOT Rev	
Reames Rd Cross Sections	L-5.16	3.17.08	4.23.08	3	NODOT RBY	
Reames Rd Cross Sections	L-5.17 L-5.18	3.17.08 3.17.08	•	•	•	
Reames Rd Cross Sections	L-5.19	3.17.08	•	•	:	
Reamee Rd Cross Sections	L-5.20	3.17.08	4.23.08	3	NCDOT Rev	
Reames Rd Cross Sections Reames Rd Cross Sections	L-5.21	3.17.08	4.23.08	3	NCDOT Rev	
Storm Sewer Profiles	L-6.1	3.17.06	•		•	
Storm Sewer Profiles	L-6.2	3.17.08	•	•		
Storm Sewer Profiles	L-6.3	3.17.08	•	•	•	
Retaining Wall Elevations	L-6.4	3.17.08	•	•	•	
Site Construction Details	L-7.1	3.17.08	•		•	
Site Construction Details	L-7.2	3.17.08	•	•	•	
Site Construction Details	L-7.3	3.17.06	•	•	• •	
Site Construction Details	L-7.4	3.17.08	•	•	•	
Site Construction Details	L-7.5	3.17.08	•	•	•	
Site Construction Details	L-7.6	3.17.08	•	<u>.</u>	_ •	
Landecape Plan	L-8.1	3.17.08	4.23.08	3	Rev. comments	
Landecape Plan	L-0.2	3.17.08	4.23.08	3	Rev. comments	
Open Space Plan	L-9.1	3.17.08	•	•	•	
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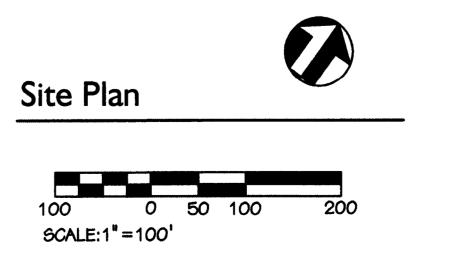


KNOWSLEY		KNOWSLEY	TYPE	COUNT	% OF TOTAL
NO. OF 3 UNIT BLDGS. NO. OF 4 UNIT BLDGS. NO. OF 5 UNIT BLDGS.	1 (5.3% OF TOTAL) 7 (36.7% OF TOTAL) 10 (52.6% OF TOTAL)		B UNITS C UNITS D UNITS	9 20 23	10.4% 23.0% 26.4%
NO. OF 6 UNIT BLDGS.	1 (5.3% OF TOTAL)		E UNITS	21 14	24.1% 16.1%
TOTAL KNOWELEY BLDGE	19		TOTAL	87	100.0%
WINDSOR		WINDSOR	TYPE	COUNT	% OF TOTAL
NO. OF 4 UNIT BLDGS. NO. OF 5 UNIT BLDGS. NO. OF 6 UNIT BLDGS. TOTAL WINDSOR BLDGS	2 (16.67% OF TOTAL) 6 (41.67% OF TOTAL) 4 (33.33% OF TOTAL)		e unite g unite h unite unite j unite n unite	24 4 10 8 12 4	38.7% 6.5% 16.1% 12.9% 19.3% 6.5%
			TOTAL	62	100.0%

2 STORY BUILDINGS, NOT SPRINKLERED

PHASE	START DATE	*COMPLETION DATE
Obtain Permits	April 2008	
Site Work	April 2008	Jan. 2009
Building Construction	Aug. 2008	April 2010

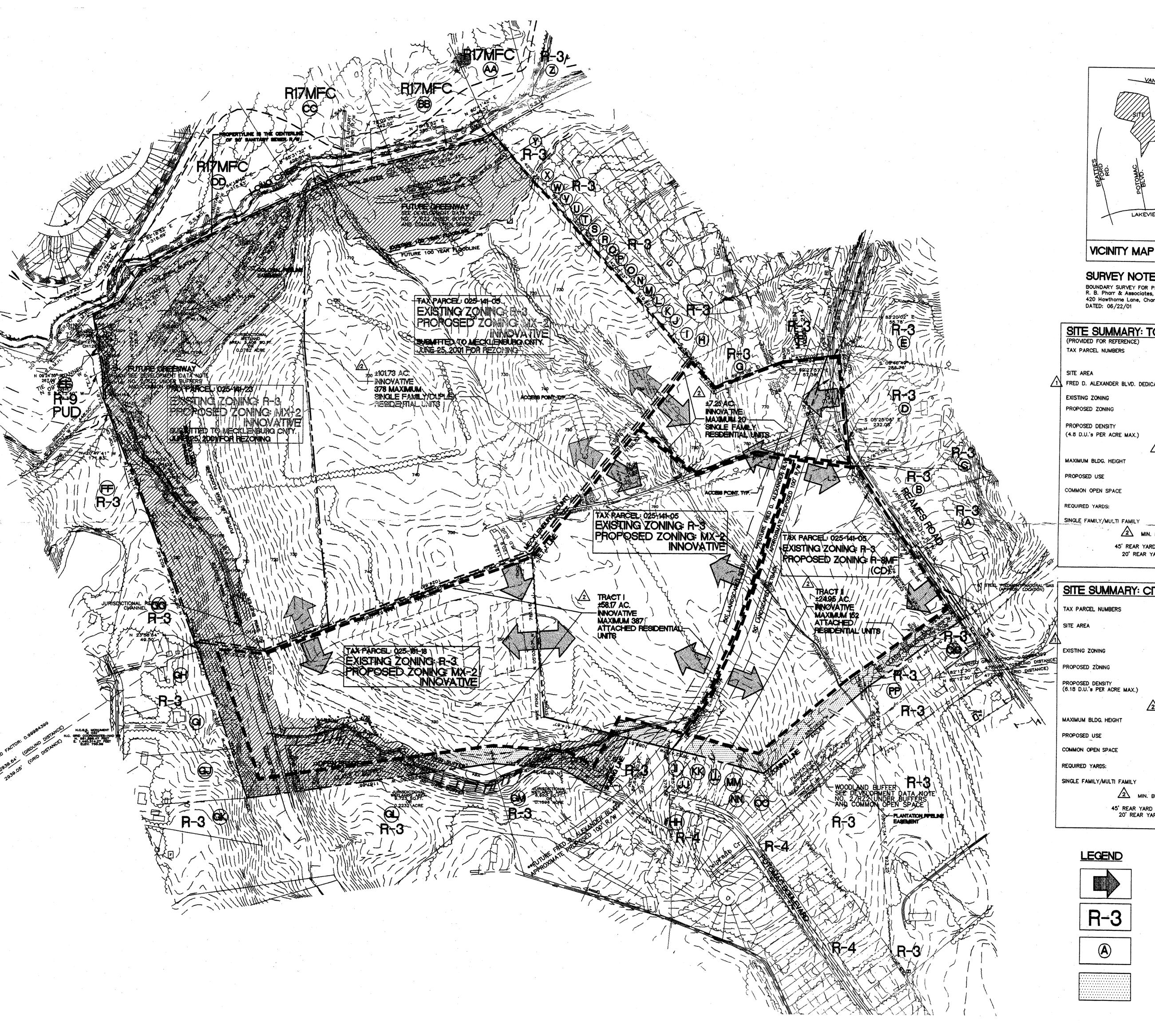
Site Construction Phasing Schedule

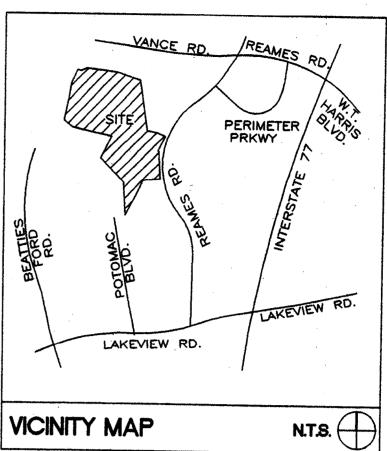


LEGEND	······································
-+-	PROPOSED STREET SIGN
	PROPOSED STOP SIGN
*	PROPOSED STREET LIGHT
- FH	PROPOSED FIRE HYDRANT
250	PROPOSED BACKFLOW PREVENTER
BFP	EXISTING FENCE
	PROPOSED CHAIN LINK FENCE
	PROPOSED CURB AND GUTTER
	PROPERTY LINE
22	BUILDING NUMBER
	OPEN SPACE

Set No.

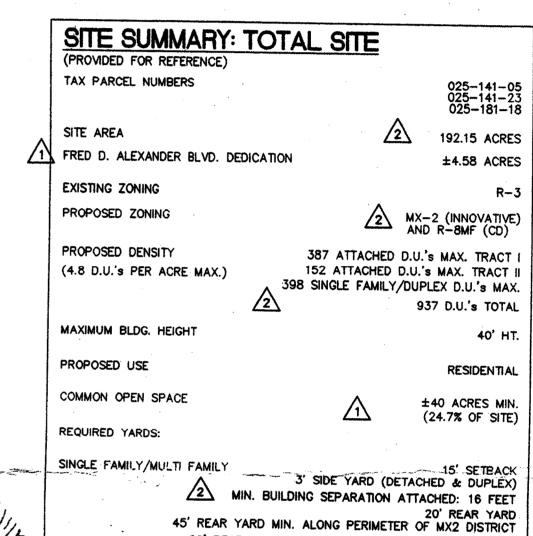
This Set current Through Sheet Date: April 23, 2008





SURVEY NOTE

BOUNDARY SURVEY FOR PROJECT BY: R. B. Pharr & Associates, P.A. 420 Hawthorne Lane, Charlotte, NC 28204 (704) 376-2186 DATED: 06/22/01



SITE SUMMARY: CITY OF CHARLOTTE

20' REAR YARD MIN. WHERE COMMON OPEN SPACE OR DEDICATED GREENWAY OF ≥25 EXISTS

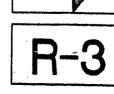
TAX PARCEL NUMBERS PORTION OF 025-141-05 025-181-18 2 ±90.45 ACRES MX-2 (INNOVATIVE)
AND R-8MF (CD) PROPOSED DENSITY (6.18 D.U.'s PER ACRE MAX.) 387 ATTACHED D.U.'S MAX. TRACT I 20 SINGLE FAMILY D.U.'S MAX. 152 ATTACHED D.U.'S MAX. TRACT II 559 D.U.'s TOTAL MAXIMUM BLDG. HEIGHT RESIDENTIAL ±18.49 ACRES MIN.

3' SIDE YARD (DETACHED & DUPLEX)
MIN. BUILDING SEPARATION ATTACHED: 16 FEET

45' REAR YARD MIN. ALONG PERIMETER OF MX2 DISTRICT
20' REAR YARD MIN. WHERE COMMON OPEN SPACE OR
DEDICATED GREENWAY OF ≥25 EXISTS



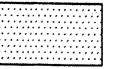
PRIMARY ACCESS POINT



EXISTING ZONING



ADJACENT PROPERTY OWNER (SEE SHEET RZ2 FOR LIST OF ADJACENT PROPERTY OWNERS)



VEGETATIVE BUFFER (WIDTHS VARY)



ColeJenest & Stone

Land Planning Landscape Architecture Civil Engineering Urban Design

112 South Tryon Street Suite 300 CharlotteNorth Carolina 28284 Tele 704.376.1555 Fax 704.376.7851



VANGUARD CENTRE 5350 77-CENTER DRIVE, SUITE 100 CHARLOTTE, NORTH CAROLINA 28217

REAMES ROAD PROPERTY

CHARLOTTE, NORTH CAROLINA

TECHNICAL SHEET

PETITION NO. 2001-107 2324

05/16/01

(20.4% OF SITE)

15' SETBACK

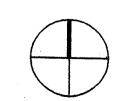
lacktriangle Issued

10/24/01 - REVISED PER CMPC COMMENTS 08/30/01 - REVISED PER OWNER'S REQUEST 1 08/23/01 - REVISED PER CMPC COMMENTS

07/13/01 - REVISED PER OWNER'S COMMENTS 06/25/01 - REVISED PER OWNER'S COMMENTS

◆ Revised

SCALE: 1"= 200'-0"



3

◆ Sheet

THE DRAWINGS, THE PROJECT MANUAL AND THE DESIGN SHOWN THEREON ARE INSTRUMENTS OF COLEJENEST & STONE, P.A. THE REPRODUCTION OR UNAUTHORIZED USE OF THE DOCUMENTS WITHOUT CONSENT OF COLEJENEST & STONE, P.A. IS PROHISITED. COLEJENEST & STONE, P.A., 2001 ©

PERMITTED USES

Tract |

Tract I may be devoted to the following uses:

1. A maximum of 20 for sale single family detached dwelling units in the area depicted on the 2. A maximum of 387 for sale single family attached dwelling units in the area depicted on the Technical Data Sheet Technical Data Sheet.

Tract II may be devoted to the following uses:

(i) A maximum of 152 for sale single family attached dwelling units; or (ii) A public school.

Notwithstanding the foregoing, Petitioner, on behalf of itself and its successors and assigns, reserves the right to develop for sale single family detached dwelling units or for sale single family duplex dwelling units on Tracts I and II within those areas designated on the Technical Data Sheet for the development of for sale single family attached dwelling units.

BUFFERS AND COMMON OPEN SPACE

1. Buffer areas established on the Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance; subject, however, to the provisions of Section 12.304 thereof. In the event that an adjacent parcel is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements on the Site, then Petitioner may reduce or eliminate, as the case may be, the buffers set out on the Technical Data Sheet accordingly.

2. With respect to the buffer established along the perimeter of Tract II, the exterior 40 feet of this buffer shall be a "Woodland Buffer", and the interior 10 feet of this buffer may be disturbed only in accordance with the terms of paragraphs 3 and 6 below. A "Woodland Buffer" is defined as a buffer that permits a limited amount of clearing to take place to promote the growth of existing vegetation and/or to enhance the aesthetic appeal of the Site. The following is allowed in a Woodland Buffer:

(a) Hand pruning only. No heavy equipment or vehicles allowed. (b) Plant material, which may be removed, shall be cut flush with the ground. No disturbance of the

soil will be allowed. (c) No limb removal, with the exception of dead or diseased limbs.

(d) Weeds and vines may be removed. (e) Trees less than 2 inches in caliper at the base that are clearly within the drip line of a tree that is 2 inches in caliper or greater may be removed. Drip line is defined as an imaginary line on

the ground that would form the perimeter of the tree's canopy. Dead trees and materials may be removed. Diseased trees may be removed at the discretion of an Urban Forester. (g) Mulch may be applied to the Woodland Buffer. Mulch must be kept 2 to 3 inches away from the

3. Except with respect to the exterior 40 feet of the buffer located on Tract II that shall be a Woodland Buffer, Petitioner reserves the right to grade, install pedestrian sidewalks or pathways, walls, berms, fences, and utility lines and facilities within the buffer areas.

4. Petitioner commits to providing connectivity to all portions of the Site through the use of

5. No buildings, parking spaces or maneuvering areas may be located within buffer areas.

6. Internal buffers shall not be required between any attached and detached dwelling units within the Site. Buffers shall not be required between single family detached or single family duplex dwelling units constructed within the Site and adjacent single family uses or single family zoning districts.

7. Where existing trees and natural vegetation have been cleared within buffer areas to accommodate pedestrian sidewalks or pathways, walls, berms, fences or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of

8. Common open space areas will be provided in various locations on Tract I of the Site and on Tract II of the Site as depicted on the Technical Data Sheet. The common open spaces on Tract I will be interconnected with the rest of the development on Tract I and with the development on the parcel of land located immediately to the west of the Site that is the subject of a pending Mecklenburg County Rezoning Petition (Petition No. 2001-12(c)) by pedestrian trails and sidewalks provided along the streets. At a minimum, the common open space areas located on Tract I will be improved with a walking trail, and the neighborhood amenity package on Tract I shall consist of the following minimum improvements: (i) a walking/exercise trail and (ii) a picnic area.

9. That area designated on the Technical Data Sheet as "Club" shall be improved at a minimum with a swimming pool and a cabana with bathrooms.

SCREENING AND LANDSCAPED AREAS

1. Screening shall conform with the standards and treatments specified in Section 12.303 of the

2. Any dumpsters located within the Site that are visible from a public street or from an external adjoining property will be screened from view by a solid-enclosure with gates.

Areas of the Site developed with single family attached dwelling units shall conform to any applicable provisions of the City of Charlotte Tree Ordinance.

4. Petitioner shall install landscaping and a berm within the 50 foot Landscaped Setback located on Tract I along Fred D. Alexander Boulevard in accordance with the cross section provided on the Technical Data Sheet, and the then owner of Tract II shall, at the time the same is developed, install landscaping and a berm within the 50 foot Landscaped Setback located on Tract II along Fred D. Boulevard in accordance with the cross section provided on the Technical Data Sheet.

PARKING

Off street parking spaces will satisfy the minimum standards established under the Ordinance. Parking shall be permitted within all building envelopes established on this Technical Data Sheet.

1. All freestanding lighting fixtures installed will be uniform in design, with the final spacing of such

lighting fixtures to be determined by Petitioner. 2. The maximum height of any freestanding lighting fixture, including its base, shall not exceed 15 SIGNS

All signs placed on the Site will be erected in accordance with the requirements of the

INFRASTRUCTURE

The Site is immediately adjacent to an approximately 101 acre parcel of land (the "Adjoining Tract") located in Mecklenburg County's jurisdiction. Petitioner has filed a Rezoning Petition (Petition No. 2001-12(c)) with Mecklenburg County in which it seeks to rezone the Adjoining Tract to the MX-2 Innovative zoning district. Petitioner intends to combine Tract I and the Adjoining Tract (hereinafter collectively referred to as the "Combined Tract") and to develop the Combined Tract as a unified residential development as depicted on the relevant Technical Data Sheets.

Petitioner, or the then owner or owners of Tract I and Tract II, shall convey the right of way for the proposed Fred D. Alexander Boulevard upon the earlier to occur of the filing of the last record map of the final phase of the residential community to be developed on the Combined Tract or the funding of the relevant portion of Fred D. Alexander Boulevard. A 100 foot right—of—way shall be established generally as depicted on the Technical Data Sheet. Petitioner, on behalf of itself and its successor's and assigns, reserves the right to clear, grade and utilize this 100 foot right of way for staging and grading purposes. To the extent so utilized, the cleared area will be seeded and stabilized with grass. No permanent improvements or structures will be placed within this right of way area other than storm drainage or utility crossings that may be required to service the Site.

Realigned Reames Road

The then owner or owners of Tract II shall dedicate the right of way for the realigned portion of Reames Road upon the earlier to occur of the filing of the last record map of the final phase of the residential community to be developed on the Combined Tract or the funding of that portion of Fred D. Alexander Boulevard that is immediately adjacent to Tract II. A 70 foot right—of—way shall be established generally as depicted on the Technical Data Sheet. The owner of Tract II, on behalf of itself and its successors and assigns, reserves the right to clear, grade and utilize this 70 foot right of way for staging and grading purposes. To the extent so utilized, the cleared area will be seeded and stabilized with grass. No permanent improvements or structures will be placed within this right of way area other than storm drainage or utility crossings that may be required to service the Site.

1. Petitioner agrees to construct at its expense prior to the issuance of the certificate of occupancy for the first (1st) dwelling unit built on the Combined Tract a southbound right turn lane from Reames Road onto that street designated as Access A on the Technical Data Sheet.

2. Petitioner agrees to construct at its expense prior to the issuance of the certificate of occupancy for the fiftieth (50th) dwelling unit built on the Combined Tract a northbound left turn lane from Reames Road onto that street designated as Access B on the Technical Data Sheet.

3. Prior to the issuance of the certificate of occupancy for the two hundredth (200th) dwelling unit built on the Combined Tract, Petitioner agrees to do one of the following:

Construct at its expense an eastbound right turn lane from Vance Road onto Reames Road with a minimum of 200 feet of storage; or

(ii) Pay to the North Carolina Department of Transportation a sum of money equal to the cost o installing an eastbound right turn lane from Vance Road onto Reames Road with a minimum of 200 feet of storage. Petitioner will work with representatives of the North Carolina Department of Transportation to determine the cost of installing the foregoing turn lane and the amount of the

4. Prior to the issuance of the certificate of occupancy for the four hundredth (400th) dwelling unit built on the Combined Tract, Petitioner agrees to do one of the following:

(i) Construct at its expense a westbound left turn lane from Reames Road onto Reames Road with a minimum of 275 feet of storage; or

(ii) Pay to the North Carolina Department of Transportation a sum of money equal to the cost of installing a westbound left turn lane from Reames Road onto Reames Road with a minimum of 275 feet of storage. Petitioner will work with representatives of the North Carolina Department of Transportation to determine the cost of installing the foregoing turn lane and the amount of the

5. Prior to the issuance of the certificate of occupancy for the four hundredth (400th) dwelling unit built on the Combined Tract, Petitioner shall pay to the North Carolina Department of Transportation a sum equal to the lesser of (i) twenty five percent (25%) of the cost of installing a traffic signal at the intersection of Reames Road and Vance Road or (ii) \$10,000.

6. In the event that Tract II is not acquired by either the Charlotte-Mecklenburg School System or Mecklenburg County, then prior to the issuance of the certificate of occupancy for the first (1st) dwelling unit built on Tract II, the then owner of Tract II must:

(i) Construct at its expense the public street designated as Access D on the Technical Data Sheet from Reames Road to the centerline of the future Fred D. Alexander Boulevard in the general alignment depicted on the Technical Data Sheet or such other alignment that the Charlotte Department of Transportation may have approve.

(ii) Construct at its expense a northbound left turn lane from Reames Road onto that public street designated as Access D on the Technical Data Sheet.

7. Prior to the recordation of the record map creating the townhome lots situated on Tract I immediately adjacent thereto, Petitioner shall construct that stub street designated as Stub 1 and hatched on the Technical Data Sheet. Stub 1 shall terminate at the centerline of the future Fred D. Alexander Boulevard.

ACCESS POINTS (DRIVEWAYS)/STREETS/SIDEWALKS

1. The number of vehicular access points to the Site shall be limited to the number depicted on the Technical Data Sheet.

2. The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte Engineering Department and the North Carolina Department of Transportation.

3. Petitioner reserves the right to use public or private streets within those portions of the Site devoted to for sale single family attached dwelling units, and any private streets shall be maintained by a Homeowners Association. Any such public street rights of way shall be a minimum of 40 feet in width and any such private street rights of way shall be a minimum of 30 feet in width in accordance with Petitioner's innovative development standards.

4. In the event that any public street within the Site is required to be constructed to collector street standards under the Subdivision Ordinance, a 60 foot right of way will be provided for such street.

5. A 4 foot sidewalk and a 2 foot planting strip will be provided on both sides of any private street installed on the Site. In the event that public streets are utilized within those portions of the Site devoted to for sale single family attached dwelling units, a 4 foot sidewalk and a 2 foot planting strip will be provided on both sides of such streets. In those areas of the Site where a 2 foot planting strip is utilized, street trees will be planted 40 feet on center on that side of the 4 foot

6. A stub street and right of way for a possible future connection to the adjoining property will be provided as depicted on the Technical Data Sheet.

Adequate fire protection in the form of fire hydrants will be provided to the City of Charlotte Fire

Code's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences. ENVIRONMENTAL PROTECTIONS

Development of this site shall conform to Surface Water Improvement and Management stream regulations where applicable.

STORM WATER MANAGEMENT 1. Storm water runoff from the Site will be managed through proven techniques which satisfy the

standards, if any, imposed by the City of Charlotte Engineering Department. 2. Storm water detention shall not be located within required setbacks or buffers.

The Site is immediately adjacent to an approximately 101 acre parcel of land (the "Adjoining Tract") located in Mecklenburg County's jurisdiction. Petitioner has filed a Rezoning Petition (Petition No. 2001-12(c)) with Mecklenburg County in which it seeks to rezone the Adjoining Tract to the MX-2 Innovative zoning district. Petitioner intends to combine Tract I and the Adjoining Tract (hereinafter collectively referred to as the "Combined Tract") and to develop the Combined Tract as a unified residential development as depicted on the relevant Technical

If this Rezoning Petition is approved by the Charlotte City Council and Rezoning Petition No. 2001-12(c) is approved by the Mecklenburg County Board of Commissioners, Petitioner agrees to dedicate those areas depicted on this Technical Data Sheet as "Greenway" to Mecklenburg County for greenway purposes. The Greenway areas shall be dedicated in phases by record plat, with a portion of the Greenway area being dedicated each time a record map creating a phase of the development that contains lots adjacent to the relevant portion of the Greenway area is filed in Mecklenburg County. However, Petitioner will not be required to convey a dedicated Greenway area to Mecklenburg County until at least 50% of the homes to be constructed within the relevant phase of the development have been completed. Prior to the conveyance of a Greenway area to Mecklenburg County, Petitioner shall have the right to construct a pedestrian path through the Greenway area; to maintain the Greenway area; to install and locate utility lines through the Greenway area and to reserve such easements over the Greenway area that are necessary to maintain and repair such utility lines; and to reserve such other easements as may be reasonably necessary in connection with the development of

AMENDMENTS TO REZONING PLAN

Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the

BINDING EFFECT OF THE REZONING APPLICATION

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

POTENTIAL SCHOOL SITE

A. Option to Purchase.

(a) Term and Notice of Exercise. The Owner of Tract II (the "Owner") does hereby grant to the Charlotte-Mecklenburg School System and Mecklenburg County hereinafter collectively referred to as the "Purchaser") the right and option to purchase that certain parcel of land designated as Tract II on the Technical Data Sheet (the "Property"), subject to the terms and conditions hereinafter set forth (the "Option"). The Option shall be effective only upon the approval of Rezoning Petition No. 2001-012(c) by the Mecklenburg County Board of Commissioners, and the approval of Rezoning Petition No. 2001-107 by the Charlotte City Council. The term of the Option shall be two (2) years, such term commencing on the date of the last approval of the foregoing Rezoning Petitions and expiring two (2) years thereafter.

The Purchaser may exercise the Option within the two (2) year term by delivering written notice of exercise to the Owner at the following address:

Reames Road Associates, a North Carolina limited partnership Attention: Yates S. Palmer, Managing General Partner 2601 Sharon Road Charlotte, NC 28211

(b) Examination Period. The Purchaser shall have one hundred and twenty (120) days from and after the date of the delivery of the written notice of exercise to the Owner (the "Date of Exercise") to determine whether the Property is suitable and acceptable for its intended use thereof in its sole judgment and discretion (the "Examination Period"). During the Examination Period, the Purchaser, its authorized agents and employees, as well as others authorized by the Purchaser, shall have the right, at the Purchaser's expense and discretion, to go upon the Property and make such surveying, environmental, architectural, engineering, topographical, geological, soil and other tests, borings, studies and measurements as the Purchaser deems necessary or desirable to thoroughly review and examine the Property. The Purchaser shall indemnify and hold the Owner harmless from any claims, losses, damages and liabilities resulting from the Purchaser's entry onto the Property prior to acquiring the same and proximately caused by any negligent action or intentional misconduct of the Purchaser or the Purchaser's agents or representatives. The Purchaser agrees to repair and

The Purchaser shall also have until the end of the Examination Period to examine title to the Property and to have a survey done of the Property and to give written notice to the Owner of any objections which Purchaser may have. A legal description based on the survey will be used in the deed to be delivered by the Owner at closing. The Owner shall then have fifteen (15) days after receipt of written objections from the Purchaser to cure such objections at the Owner's expense; provided however, that the Owner shall be permitted to satisfy outstanding mortgage indebtedness against the Property from the proceeds of the sale at time of closing. In the event the Owner fails or refuses to cure or remove the Purchaser's objections, the Purchaser shall have the option to either: (i) terminate its obligation to purchase the Property by written notice to Seller. or (ii) waive such defects and proceed toward the closing; provided, however, the Purchaser may pay and satisfy of record any mortgage, security agreement, judgment, lien, claim of lien or other title exception or defect that is monetary in nature, and deduct such amount from the purchase price at closing.

restore the Property to its condition prior to such inspections and tests at its own cost.

(c) Determination of the Purchase Price. The purchase price to be paid by the Purchaser to the Owner shall be the "fair market value" of the Property as of the Date of Exercise, and the purchase price shall be determined during the Examination Period. The Owner and the Purchaser shall attempt to reach an agreement upon a mutually acceptable purchase price for the Property, however, in the event that the Purchaser and the Owner cannot agree upon a mutually acceptable purchase price on or before that date which is thirty (30) days after the Date of Exercise, then each party shall select an MAI appraiser experienced with similar properties in Mecklenburg County, North Carolina, and such two (2) MAI appraisers shall independently determine the "fair market value" of the Property as of the Date of Exercise and then seek to reach an agreement as to the fair market value of the Property. If the two (2) MAI appraisers have not reached an agreement as to the fair market value of the Property as of the Date of Exercise within seventy five (75) days after the Date of Exercise, then the MAI appraisers shall select a third MAI appraiser similarly qualified to make a determination as to the fair market value of the Property as of the Date of Exercise. The third MAI appraiser shall make a determination of the fair market value of the Property as of the Date of Exercise on or before that date which is one hundred and ten (110) days after the Date of Exercise. The purchase price will then be determined prior to the expiration of the Examination Period by averaging the fair market value of the Property as set out in each of the three appraisals. Each party shall bear the cost of the MAI appraiser it selects and the cost of the third MAI appraiser shall be shared equally by the Purchaser and the Owner, and each party shall be provided with a copy of each appraisal immediately upon the completion of the same by the relevant MAI appraiser.

Nothing herein shall be deemed to waive the Purchaser's rights to acquire the Property be eminent domain proceedings and to have just compensation for the Property determined through such legal

(d) Notice of Suitability.

(i) Should the Purchaser determine the Property to be suitable for its intended use and the purchase price to be acceptable within the Examination Period, the Purchaser shall notify the Owner of such determination, and the parties shall proceed to closing.

(ii) Should the Purchaser, in its sole discretion, determine the Property to be not suitable for its intended use for any reason or the purchase price to be unacceptable within the Examination Period, the Purchaser shall notify the Owner of such determination, at which time the Option (as well as the First Right of Refusal described below) shall terminate, and the Purchaser shall have no obligation to purchase the Property and the Owner may sell the Property to any third party free and clear of the Purchaser's rights under the Option or the First Right of Refusal.

(iii) Should the Purchaser fail to provide any notice to the Owner with respect to the Property prior to the end of the Examination Period, the Option (as well as the First Right of Refusal described below) shall automatically terminate, and the Purchaser shall have no obligation to purchase the Property and the Owner may sell the Property to any third party free and clear of the Purchaser's rights under the Option of the First Right of Refusal.

(e) Closing. The closing on the sale and purchase of the Property shall occur on or before that date which is forty-five (45) days after the end of the Examination Period at a location of the Purchaser's choosing.

B. First Right of Refusal.

The Owner does hereby give and grant to the Purchaser a right of first refusal to purchase the Property subject to the terms and conditions hereinafter set forth ("Right of Refusal"). This Right of Refusal shall commence on the date next following the date on which the above described Option expires only in the event that the Option has not been exercised by Purchaser, and it shall expire three years thereafter. The Right of Refusal shall terminate immediately upon the exercise of the

During the term of the Right of Refusal, if the Owner receives from a third party a written bona fide offer to purchase the Property, or a portion thereof, that the Owner is prepared to accept, prior to entering into any purchase agreement with such prospective Ithird party purchaser, the Owner shall notify the Purchaser in writing of the prospective transaction, and such notification shall identify the property to be purchased, the purchase price and the other imaterial terms and conditions of the offer. The Purchaser shall have ten (10) days after such written notification is received from the Owner to elect (by so notifying the Owner in writing) to purchase the Property, or the relevant portion thereof, on the same terms and conditions as set forth in the prospective third party

If the Purchaser elects not to purchase the Property, or the relevant portion thereof, from the Owner pursuant to this Right of Refusal (as evidenced either by the Purchaser's written notice to the Owner to that effect or by the Purchaser's failure to respond to the Owner within the ten (10) day period referenced above), then the Owner shall be entitled to sell the Property, or the relevant portion thereof, to the prospective third party purchaser free and clear of the Purchaser's rights hereunder. Upon the sale of the Property, or a portion thereof, to any party, this Right of Refusal shall expire.

INNOVATIVE DEVELOPMENT STANDARDS

Pursuant to Section 11.208 of the Ordinance, Petitioner seeks to obtain the approval of the use of the following Innovative Development Standards concurrently with the approval of its Rezoning Petition: Single Family Detached and Duplex Dwelling Units

Public Street Rights of Way: 40 feet and 50 feet (provided, however, that any public street required to be constructed to collector street standards will have a 60 foot right of way) Minimum Lot Size-Single Family Detached Lots: 3,800 square feet

Minimum Lot Size-Duplex Lots: 3,500 square feet Minimum Building Setback: 15 feet from public right of way Minimum Side Yard: 3 feet

Minimum Rear Yard (Internal Lots): 20 feet Minimum Rear Yard (Perimeter Lots): 45 feet, or 20 feet where at least 25 feet of common open space or dedicated greenway is situated immediately to the rear of the lot. Minimum Lot Width-Single Family Detached Lots: 40 feet Minimum Lot Width-Duplex Lots: 60 feet

1. Each unit within a duplex structure shall be situated on an individual lot. Each unit shall be sold with a sublot sufficient to accommodate the unit and 400 square feet of private open space excluding all driveways.

2. Parking spaces provided by garages and driveways shall be counted towards off-street parking

Single Family Attached Dwelling Units Private Street Rights of Way Clear of Obstructions: 30 feet

Public Street Rights of Way: 40 feet
Sidewalks and Planting Strips: 4 foot sidewalks and 2 foot planting strips on both sides of any street within areas devoted to single family attached dwelling units Minimum Front Setback: 15 feet from public right-of-way or back of private street easement Minimum Rear Yard (Internal Lots): 20 feet Minimum Rear Yard (Exterior Lots): 45 feet, or 20 feet where at least 25 feet of common open space or dedicated greenway is situated immediately to the rear of the lot Internal Buffers: None Minimum Building Separation: 16 feet

1. Public or private streets may be used in those portions of the Site devoted to single family attached dwelling units. In the event that public streets are utilized, all standards for public street construction shall be met. In the event private streets are installed, private streets shall conform to the Charlotte Mecklenburg Land Development Standards Manual. 2. A 4 foot sidewalk and a 2 foot planting strip will be provided on both sides of any private street installed on the Site. In the event that public streets are utilized within those portions of the Site

strip will be provided on both sides of such streets. 3. Parking spaces provided by garages and driveways shall be counted towards off-street parking

devoted to for sale single family attached dwelling units, a 4 foot sidewalk and a 2 foot planting

PP. 025-141-02 ASHFORD CRAIG C. & WF. SHARON H.

9009 REAMES BLVD.

9009 REAMES BLVD.

CHARLOTTE, NC 28216

CHARLOTTE, NC 28216

ASHFORD CRAIG C. & WF. SHARON H.

ADJACEN	NT PROPERTY OWNERS
A. 025-113-04	FRIENDSHIP ENTERPRISE 1025 LAMB ROAD LEXINGTON, NC 27295
B. 025-113-03	LEE JAMES H. 9138 REAMS ROAD CHARLOTTE, NC 28216
C. 025-113-06	DUCKETT DOLPHUS I. JR. & WF. REBECCA M. 9222 REAMS ROAD CHARLOTTE, NC 28216
D. 025-113-07	SHUMATE LUTHER D. JR. & WF. VIVIAN D. 9232 REAMS ROAD CHARLOTTE, NC 28216
E. 025-113-08	DOBBS GUY N. JR. & WF. BONNIE JEAN 7300 WOODCOCK TRL. STANLEY, NC 28164
F. 025-141-10	WITTEN MICHAEL 3520 BETTERTON LN. CHARLOTTE, NC 28269
G. 025-141-18	WITTEN MICHAEL 3520 BETTERTON LN. CHARLOTTE, NC 28269
H. 025-222-23	MISNER-ELIAS MICHAEL B. & WF. GAYLE A. 9644 NETTLE DR. CHARLOTTE, NC 28216
l. 025-222-34	FRATELLI RICHARD B. & WF. DES K. 9640 NETTLE DR. CHARLOTTE, NC 28216
J. 025-222-35	HINKLEMAN RICHARD & WF. LORIE 9636 NETTLE DR. CHARLOTTE, NC 28216
K. 025-222-36	WYATT CECIL A. & WF. MARY 9630 NETTLE DR. CHARLOTTE, NC 28216
L. 025-222-37	LUKANOV STEFAN P. 9624 NETTLE DR. CHARLOTTE, NC 28216
M. 025-222-38	
N. 025-222-39	STOGNER STEVEN D. & WF. KAY W.

9612 NETTLE DR. CHARLOTTE, NC 28216

O. 025-222-40 GUTMAN NICHOLAS M. & WF. MISTY K. 9606 NETTLE DR. CHARLOTTE, NC 28216 P. 025-222-41 MANN GREGORY S. & WF. LISA A. 9600 NETTLE DR. CHARLOTTE, NC 28216 Q. 025-222-42 ADKINS RYAN S. & CHERYL A.

9532 NETTLE DR. CHARLOTTE, NC 28216 R. 025-222-43 ROZYCKI STEPHANIE & JASON KOEING 9526 NETTLE DR. CHARLOTTE, NC 28216 S. 025-222-76 SWING WILLIAM JEFFERY

4801 E. INDEPENDANCE BLVD. STE.412 CHARLOTTE, NC 28218 T. 025-222-44 PAZUCHA LEONARD B. & WF. SHIRLEY A 9518 NETTLE DR. CHARLOTTE, NC 28216

9514 NETTLE DR. CHARLOTTE, NC 28216 V. 025-222-46 BURNS ROBERT SCOTT & WF. CYNTHIA SIMMONS 9510 NETTLE DR. CHARLOTTE, NC 28216

U. 025-222-45 MCDONOUGH THOMAS L. & WF. BRENDA J.

W. 025-222-47 DRUM JOE DEAN JR. & WF. LISA ADAM 9506 NETTLE DR. X. 025-222-48 TEMPLIN TRACI H. & HSB. BRADLEY

CHARLOTTE, NC 28216 Y. 025-222-94 MECKLENBURG COUNTY CHARLOTTE, NC 28202 Z. 025-221-03 BURT FLOREINE F. FAMILY LP % R. LEA BURT JR.

1123 E. INDEPENDANCE BLVD. CHARLOTTE, NC 28204 AA. 025-312-98 BRAEMAR HOUSING LP. 1349 E. BROAD ST. COLUMBUS, OH 43205

BB. 025-312-70 FIRST COLONY GROUP LTD. 1330 E. 4TH ST. #300 CHARLOTTE, NC 28204 CC. 025-312-71 FIRST COLONY GROUP LTD. 1330 E. 4TH ST. #300

CHARLOTTE, NC 28204 DD. 025-334-60 MULVANEY GROUP LTD. 1330 E. 4TH ST. #300 CHARLOTTE, NC 28204 EE. 025-241-99 MECKLENBURG COUNTY

600 E. 4TH ST. FLR. 11 CHARLOTTE, NC 28202 FF. 025-171-27 THOMAS BENJAMINE H. & WF. PATRICIA B. 4600 MCCLURE RD. CHARLOTTE, NC 28216

GG. 025-171-24 FITE FRANKLIN L. 4550 MCCLURE RD. CHARLOTTE, NC 28216 GH. 025-171-25 EDWARDS JEFFERY BRYAN & WF. SHERRY F. 4530 MCCLURE RD.

CHARLOTTE, NC 28216 GI. 025-181-01 GREENE JAMES FREDERICK & WF. LILLIE C. 4524 MCCLURE RD. CHARLOTTE, NC 28216 GJ. 025-181-02 CHRISTENBURY ROY & WF. GERALDINE

4508 MCCLURE RD.

CHARLOTTE, NC 28216 GK. 025-181-03 STONE CLYDE HUGH & WF. ELVA W. 4432 MCCLURE RD. CHARLOTTE, NC 28216 GL. 025-181-17 NELSON WALTER R. & WF. MILDRAD G.

CHARLOTTE, NC 28297 GM. 025-181-16 NELSON WALTER R. & WF. MILDRED P.O. BOX 16307 CHARLOTTE, NC 28297 HH. 025-132-63 JOHNSON JOHN C. & WF. RUTH T.

P.O.BOX 16307

9023 POTOMAC BLVD.

CHARLOTTE, NC 28216 PHILLIPS TYRE JR. & WF. CATHLEEN II. 025-133-01 9020 POTOMAC BLVD. CHARLOTTE, NC 28216

JJ. 025-133-02 PHILLIPS TYRE JR. & WF. CATHLEEN 9020 POTOMAC BLVD. CHARLOTTE, NC 28216 KK. 025-133-03 PHILLIPS TYRE JR. & WF. CATHLEEN 9020 POTOMAC BLVD. CHARLOTTE, NC 28216

NEAL CHARLES L. LL. 025-133-04 4719 DAWNALIA DR. CHARLOTTE, NC 28208 MM. 025-133-07 PHILLIPS TYRE JR. & WF. CATHLEEN 9020 POTOMAC BLVD.

CHARLOTTE, NC 28216 NN. 025-133-08 PHILLIPS TYRE JR. & WF. CATHLEEN 9020 POTOMAC BLVD. CHARLOTTE, NC 28216

PHILLIPS TYRE JR. & WF. CATHLEEN 00. 025-133-09 9020 POTOMAC BLVD. CHARLOTTE, NC 28216



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VANGUARD CENTRE 5350 77-CENTER DRIVE, SUITE 100 CHARLOTTE, NORTH CAROLINA 28217

REAMES ROAD **PROPERTY**

TECHNICAL DATA SHEET **NOTES**

CHARLOTTE, NORTH CAROLINA

PETITON NO. 2001-107

05/16/01

12/17/01 - REVISED PER CMPC COMMENTS **♦** Issued

11/28/01 - REVISED PER CMPC COMMENTS 10/24/01 - REVISED PER CMPC COMMENTS 2 08/30/01 - REVISED PER OWNER'S REQUEST 1 08/23/01 - REVISED PER CMPC COMMENTS 07/13/01 - REVISED PER OWNER'S COMMENTS 06/25/01 - REVISED PER OWNER'S COMMENTS

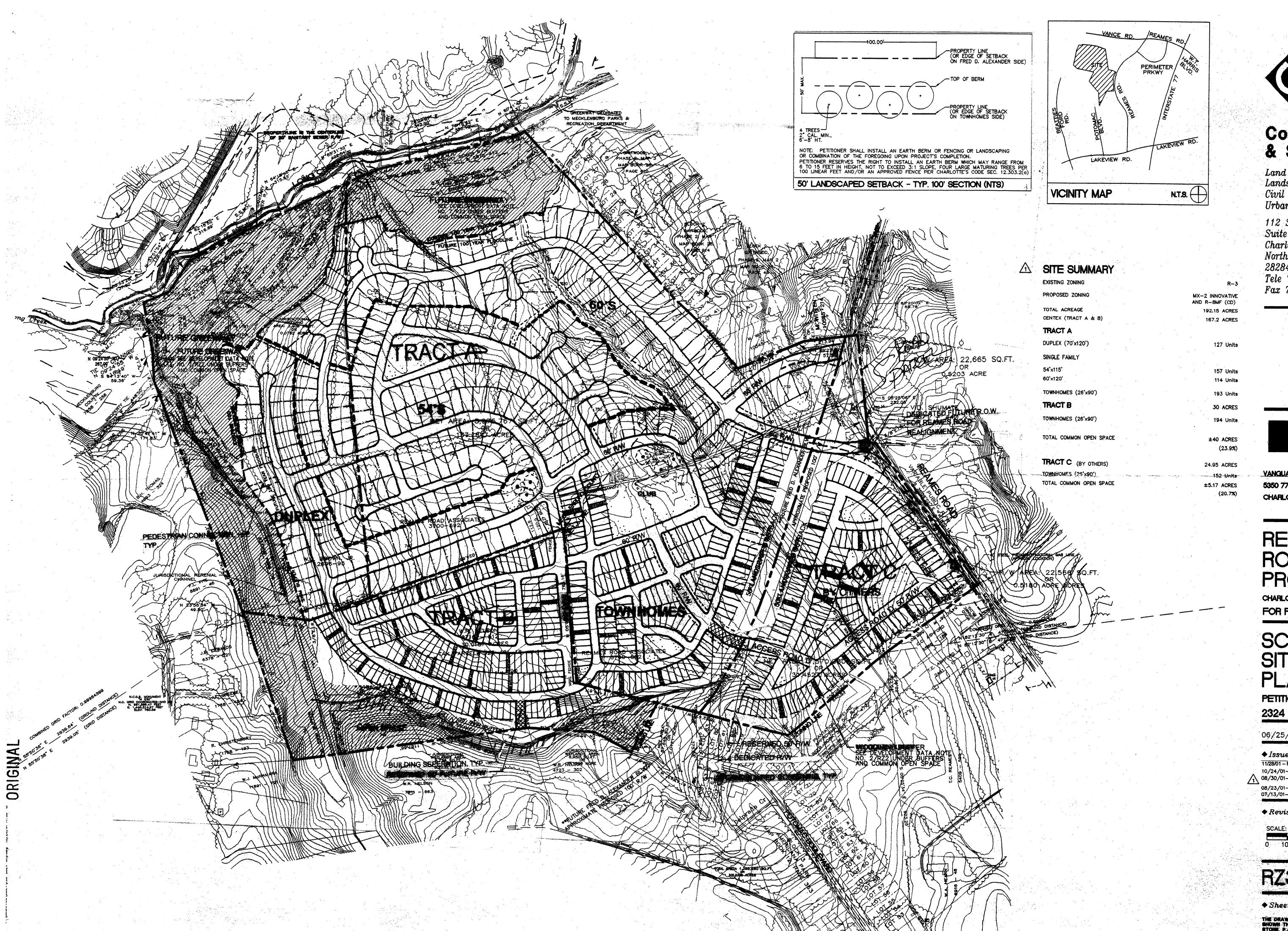
◆ Revised

◆ Sheet

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VANGUARD CENTRE 5350 77-CENTER DRIVE, SUITE 100 CHARLOTTE, NORTH CAROLINA 28217

REAMES ROAD **PROPERTY**

CHARLOTTE, NORTH CAROLINA FOR PUBLIC HEARING

SCHEMATIC SITE PLAN

PETITION NO. 2001-107

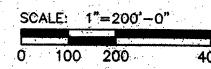
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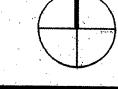
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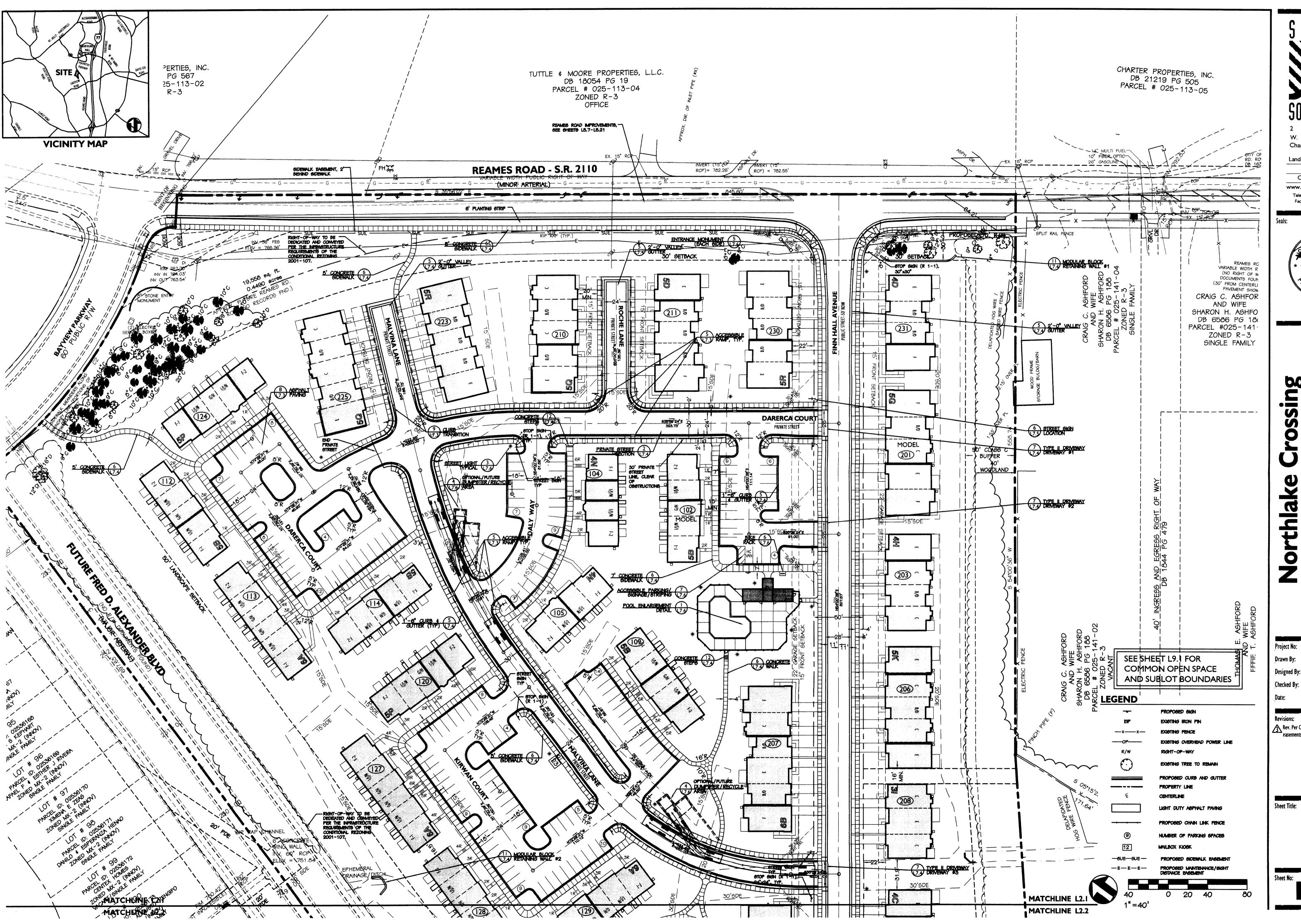
11/28/01 - REVISED PER CMPC COMMENTS 10/24/01-REVISED PER CMPC COMMENTS
08/30/01-REVISED PER OWNER'S REQUEST

08/23/01-REVISED PER CMPC COMMENTS 07/13/01-REVISED PER OWNER'S COMMENTS

♦ Revised









W. Morehead Street Charlotte, NC 28208

Landscape Architecture Site Planning

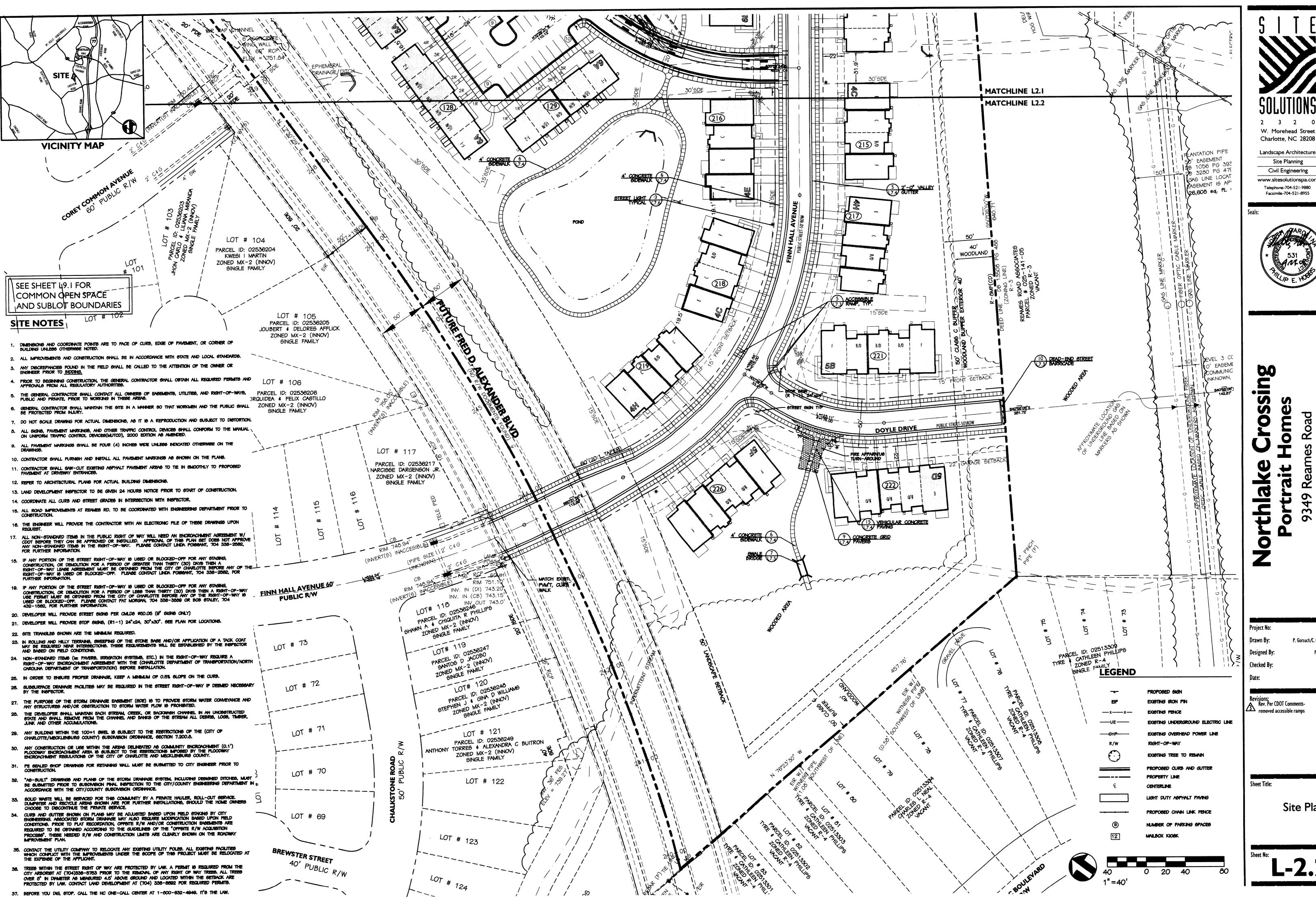
Civil Engineering www.sitesolutionspa.com Telephone-704-521-9880 Facsimile-704-521-8955



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Rev. Per CDOT Commentseasements/removed accessible ramps

Site Plan



Charlotte, NC 28208 Landscape Architecture Site Planning

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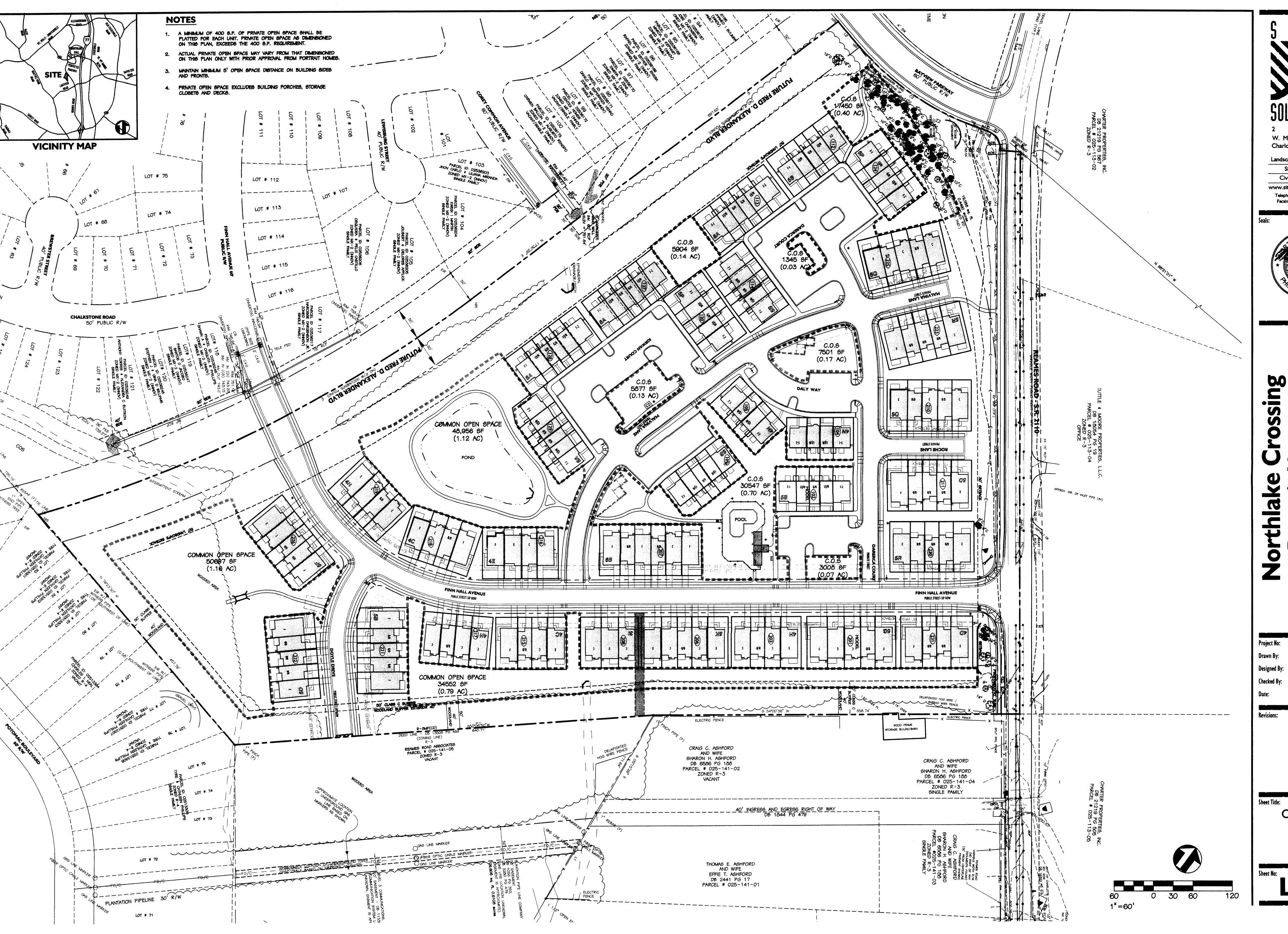
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Charlott

Revisions:

Rev. Per CDOT Commentsremoved accessible ramps

Site Plan





Landscape Architecture

Site Planning

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M E. HOB

Northlake Crossin Portrait Homes 9349 Reames Road

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By: P. Gorsuch/C. Coleman

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3.17.08

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