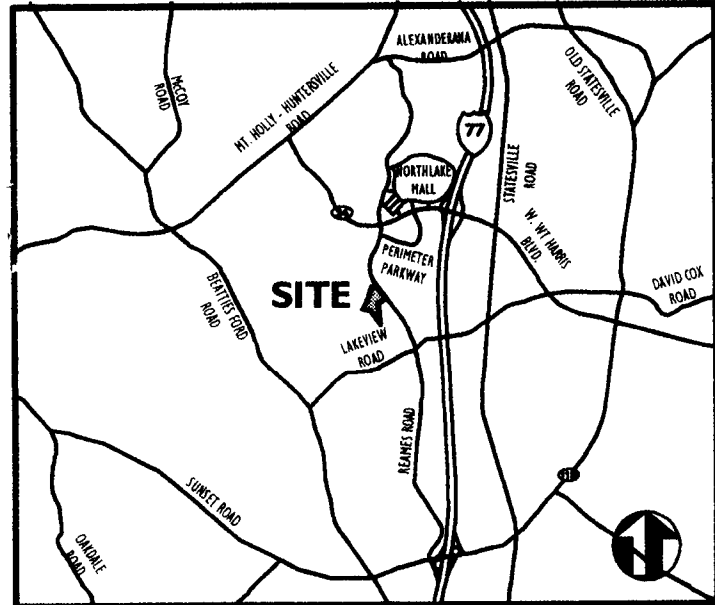


Northlake Crossing Portrait Homes Charlotte, North Carolina



Vicinity Map - NTS

Owner

Portrait Homes
9111 Monroe Road, Suite 100
Charlotte, NC 28270-1490
(704) 849-2221

Designer

SITE SOLUTIONS
2 3 2 0
W. Morehead Street
Charlotte, NC 28208
Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone: 704-521-9880
Facsimile: 704-521-8955
CADD# 2953

Contact: Phillip Hobbs, ASLA

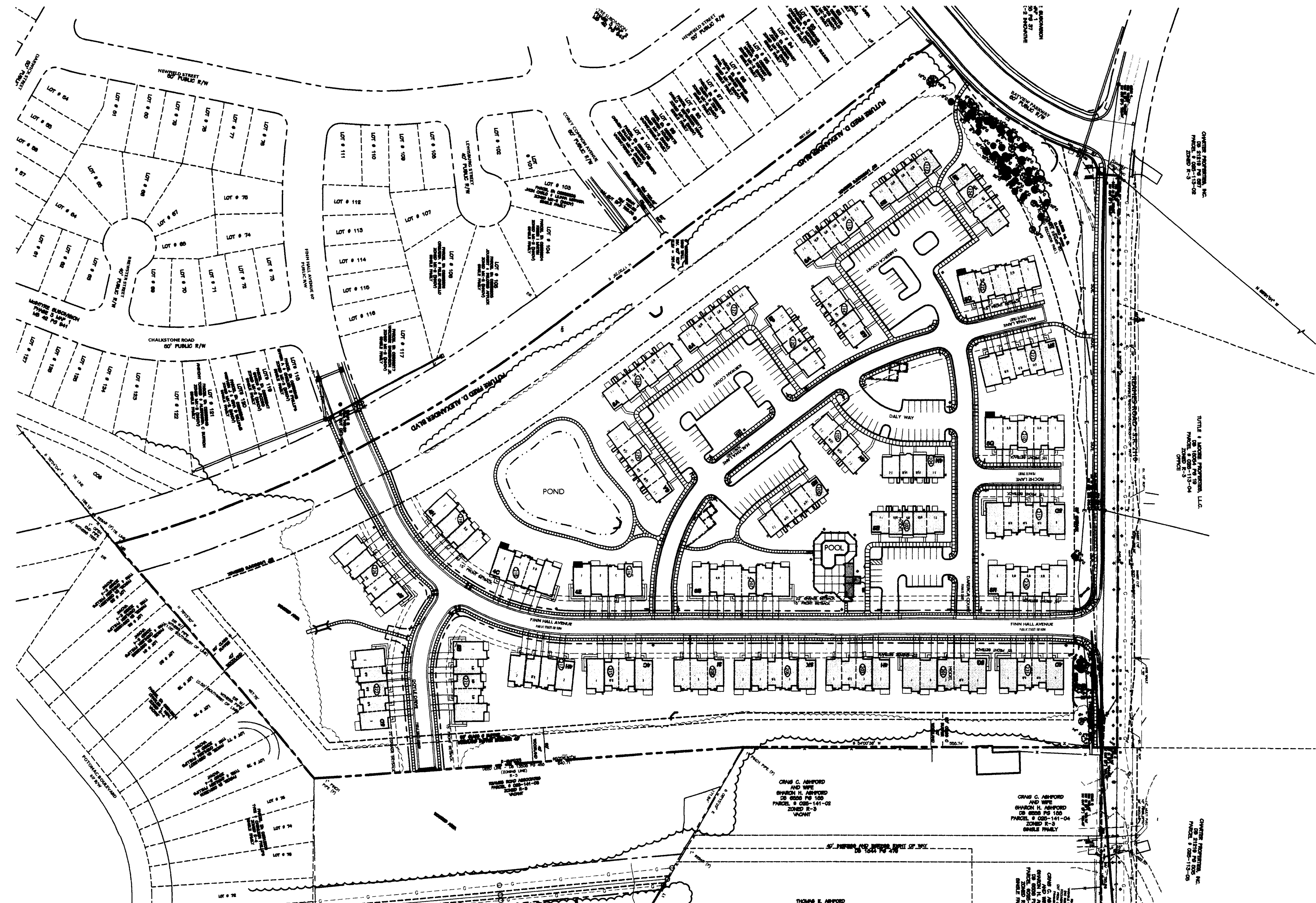
Site Development Data

JURISDICTION: CITY OF CHARLOTTE
EXISTING ZONING: R5-MF (CD)
REZONING PETITION NO.: 2001-107
TAX PARCEL NUMBER: 025-141-05
DEED BOOK NUMBER: DEED BOOK 3700, PAGE 592; AND DEED BOOK 13505, PAGE 455 (PORTION OF)
PROPOSED USE: TOWNHOMES FOR SALE
SITE AREA:
GROSS AREA (R5-MF): 22.865 ACRES
DEDICATED R/W (EXTG & PROPOSED): 2.775 ACRES
NET AREA: 19.09 ACRES
MAXIMUM ALLOWABLE UNITS: 152 SINGLE FAMILY ATTACHED
PROPOSED UNITS (SHOWN): 149 SINGLE FAMILY ATTACHED
SETBACK: 22' FROM R/W FOR FRONT LOADED GARAGES;
15' FOR REMAINDER OF STRUCTURE PER SECTION 9.303 (18P)
REAR YARD: 50'
BUILDING SEPARATION: 16'
MAXIMUM HEIGHT: 40'
REQUIRED PARKING (1.5/TOWNHOUSE UNIT): 224 SPACES
PROVIDED PARKING SPACES: 304 SPACES
REQUIRED BICYCLE PARKING (1/20 TOWNHOUSE UNITS): 7 SPACES
PROVIDED BICYCLE SPACES: 7 SPACES
PROPOSED GROSS DENSITY: 6.57 UNITS/AC
NET DENSITY: 7.49 UNITS/AC
PRIVATE OPEN SPACE: 149 TOWNHOME UNITS (400 SF/UNIT) = 59,600 SF
EACH TOWNHOME UNIT WILL HAVE MIN. OF 400 S.F. SUBLOT (SEE SHEET L9.1)
COMMON OPEN SPACE:
REQUIRED (PER REZONING): 4.89 AC (20.7%)
PROVIDED: 4.71 AC (20.5%)
SOLID WASTE/ RECYCLING CONTAINER REQUIREMENTS
- ONE EIGHT (8) CU.YD. COMPACTOR DUMPSTER IS REQUIRED PER 90 UNITS
2 PROVIDED
- ONE (1) 144 S.F. RECYCLING STATION REQUIRED FOR 30 - 50 UNITS
2 PROVIDED
BUILDING COVERAGE: 153,140 SF (3.52 AC), 17.7% OF NET AREA
STREETS, DRIVES, PARKING COVERAGE = 131,775 SF (3.03 AC), 15.2% OF NET AREA
SIDEWALK COVERAGE: 45,430 SF (1.04 AC), 5.2% OF NET AREA
POOL DECK: 5,030 SF (0.12 AC), 0.5% OF NET AREA
TOTAL NATURAL AREA: 12.15 AC, 61.2% OF NET AREA

Sheet Schedule

Sheet Title	Sheet No.	Original Date	Latest Revision Date	Latest Revision Number	Revision Index
Cover Sheet		3.17.08	4.23.08	3	Rev. comments
Rezonning Plan	RZ1	12.17.01			
Rezonning Plan	RZ2	12.17.01			
Rezonning Plan	RZ3	12.17.01			
Survey		4.3.07			
Clearing/Demolition Plan	L-1.1	3.17.08			
Site Plan	L-2.1	3.17.08	4.23.08	3	Rev. comments/assessments
Site Plan	L-2.2	3.17.08	4.23.08	3	Rev. comments/ramps
Initial Erosion Control Plan	L-3.1	3.17.08			
Final Erosion Control Plan	L-3.2	3.17.08			
Grading/Storm Drainage Plan	L-3.3	3.17.08	4.23.08	3	Rev. comments/assessments
Grading/Storm Drainage Plan	L-3.4	3.17.08	4.23.08	3	Rev. comments/ramps
Component Drainage Area Plan	DA-3	3.17.08			
CMUD Cover	1 of 4	3.17.08	4.15.08	2	CMU 2nd rev.
CMUD Permit	2 of 4	3.17.08	4.15.08	2	CMU 2nd rev.
CMUD Plan & Profile	3 of 4	3.17.08	4.15.08	2	CMU 2nd rev.
Private Utility Plan	L-4.1	3.17.08			
Private Utility Plan	L-4.2	3.17.08			
Sanitary Sewer Profiles	L-4.3	3.17.08			
Road Plan and Profile Public Streets	L-5.1	3.17.08	4.23.08	3	Rev. comments
Road Plan and Profile Private Streets	L-5.2	3.17.08	4.23.08	3	Rev. comments
Road Plan and Profile Private Streets	L-5.3	3.17.08	4.23.08	3	Rev. comments
Road Plan and Profile Private Streets	L-5.4	3.17.08			
Future Fred D. Alexander Blvd Plan & Profile	L-5.5	3.17.08			
Rezonning Rd Demolition Plan	L-5.6	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Roadway Improvements Plan	L-5.7	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Roadway Improvements Profile	L-5.8	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Pavement Marking Plan	L-5.9	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Proposed Site Det. Plan & Profile	L-5.10	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Future Site Det. Plan & Profile	L-5.11	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Traffic Control Plan General Notes	L-5.12	3.17.08			
Rezonning Rd Traffic Control Plan Phase 1	L-5.13	3.17.08			
Rezonning Rd Traffic Control Plan Phase 2	L-5.14	3.17.08			
Rezonning Rd Cross Sections	L-5.15	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Cross Sections	L-5.16	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Cross Sections	L-5.17	3.17.08			
Rezonning Rd Cross Sections	L-5.18	3.17.08			
Rezonning Rd Cross Sections	L-5.19	3.17.08			
Rezonning Rd Cross Sections	L-5.20	3.17.08	4.23.08	3	NCDOT Rev
Rezonning Rd Cross Sections	L-5.21	3.17.08	4.23.08	3	NCDOT Rev
Storm Sewer Profiles	L-6.1	3.17.08			
Storm Sewer Profiles	L-6.2	3.17.08			
Storm Sewer Profiles	L-6.3	3.17.08			
Retaining Wall Elevations	L-6.4	3.17.08			
Site Construction Details	L-7.1	3.17.08			
Site Construction Details	L-7.2	3.17.08			
Site Construction Details	L-7.3	3.17.08			
Site Construction Details	L-7.4	3.17.08			
Site Construction Details	L-7.5	3.17.08			
Site Construction Details	L-7.6	3.17.08			
Landscape Plan	L-8.1	3.17.08	4.23.08	3	Rev. comments
Landscape Plan	L-8.2	3.17.08	4.23.08	3	Rev. comments
Open Space Plan	L-8.1	3.17.08			

This Set current Through Sheet Date: April 23, 2008



KNOWSLEY	TYPE	COUNT	% OF TOTAL
NO. OF 3 UNIT BLDGS.	1	(5.3% OF TOTAL)	
NO. OF 4 UNIT BLDGS.	7	(36.7% OF TOTAL)	
NO. OF 5 UNIT BLDGS.	10	(52.6% OF TOTAL)	
NO. OF 6 UNIT BLDGS.	1	(5.3% OF TOTAL)	
TOTAL KNOWSLEY BLDGS	19		

KNOWSLEY	TYPE	COUNT	% OF TOTAL
B UNITS	9	10.4%	
C UNITS	20	23.0%	
D UNITS	23	26.4%	
E UNITS	21	24.1%	
F UNITS	14	16.1%	
TOTAL	87	100.0%	

WINDSOR	TYPE	COUNT	% OF TOTAL
NO. OF 4 UNIT BLDGS.	2	(16.67% OF TOTAL)	
NO. OF 5 UNIT BLDGS.	6	(41.67% OF TOTAL)	
NO. OF 6 UNIT BLDGS.	4	(33.33% OF TOTAL)	
TOTAL WINDSOR BLDGS	12		

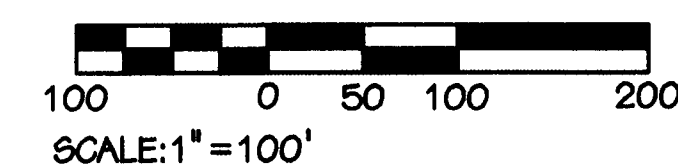
WINDSOR	TYPE	COUNT	% OF TOTAL
F UNITS	24	30.7%	
G UNITS	4	6.5%	
H UNITS	10	16.1%	
I UNITS	9	12.9%	
J UNITS	12	19.3%	
N UNITS	4	6.5%	
TOTAL	62	100.0%	

2 STORY BUILDINGS, NOT SPRINKLERED

Site Construction Phasing Schedule

PHASE	START DATE	*COMPLETION DATE
Obtain Permits	April 2008	
Site Work	April 2008	Jan. 2009
Building Construction	Aug. 2008	April 2010

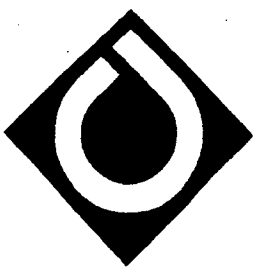
Site Plan



LEGEND

+	PROPOSED STREET SIGN
+	PROPOSED STOP SIGN
+	PROPOSED STREET LIGHT
+	PROPOSED FIRE HYDRANT
+	PROPOSED BACKFLOW PREVENTER
+	EXISTING FENCE
+	PROPOSED CHAIN LINK FENCE
+	PROPOSED CURB AND GUTTER
+	PROPERTY LINE
+	BUILDING NUMBER
+	OPEN SPACE

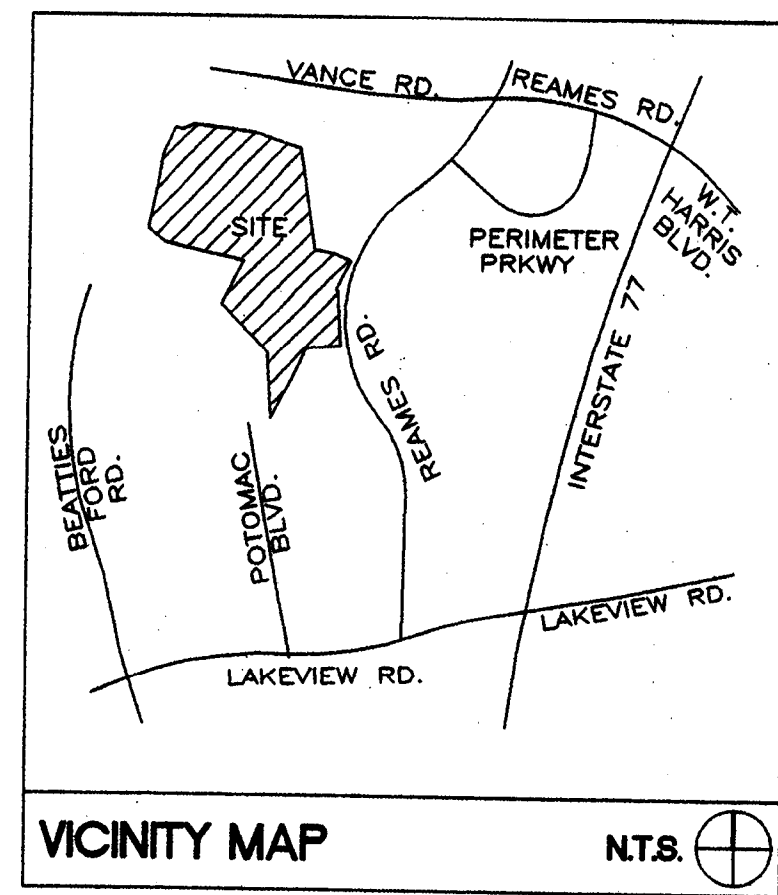
Set No. _____



ColeJenest & Stone

Land Planning
Landscape Architecture
Civil Engineering
Urban Design

112 South Tryon Street
Suite 300
Charlotte
North Carolina
28284
Tele 704.376.1555
Fax 704.376.7851



SURVEY NOTE

BOUNDARY SURVEY FOR PROJECT BY:
R. B. Phor & Associates, P.A.
420 Hawthorne Lane, Charlotte, NC 28204 (704) 376-2186
DATED: 06/22/01

SITE SUMMARY: TOTAL SITE

PROVIDED FOR REFERENCE	
TAX PARCEL NUMBERS	025-141-05 025-141-06 025-181-18
SITE AREA	192.15 ACRES
FRED D. ALEXANDER BLVD. DEDICATION	±4.58 ACRES
EXISTING ZONING	R-3
PROPOSED ZONING	MX-2 (INNOVATIVE) AND R-3MF (CD)
PROPOSED DENSITY (4.8 D.U.'s PER ACRE MAX.)	387 ATTACHED D.U.'s MAX. TRACT I 152 ATTACHED D.U.'s MAX. TRACT II 398 SINGLE FAMILY/DUPLEX D.U.'s MAX. 937 D.U.'s TOTAL
MAXIMUM BLDG. HEIGHT	40' HT.
PROPOSED USE	RESIDENTIAL
COMMON OPEN SPACE	±40 ACRES MIN. (24.7% OF SITE)
REQUIRED YARDS:	
SINGLE FAMILY/MULTI FAMILY	15' SETBACK 3' SIDE YARD (DETACHED & DUPLEX) MIN. BUILDING SEPARATION ATTACHED: 16 FEET 45' REAR YARD MIN. ALONG PERIMETER OF MX2 DISTRICT 20' REAR YARD MIN. WHERE COMMON OPEN SPACE OR DEDICATED GREENWAY OF ≥25 EXISTS

SITE SUMMARY: CITY OF CHARLOTTE

PORTION OF 025-141-05 025-181-18	
TAX PARCEL NUMBERS	025-141-05 025-181-18
SITE AREA	±90.45 ACRES
EXISTING ZONING	R-3
PROPOSED ZONING	MX-2 (INNOVATIVE) AND R-3MF (CD)
PROPOSED DENSITY (6.18 D.U.'s PER ACRE MAX.)	387 ATTACHED D.U.'s MAX. TRACT I 20 SINGLE FAMILY D.U.'s MAX. 152 ATTACHED D.U.'s MAX. TRACT II 559 D.U.'s TOTAL
MAXIMUM BLDG. HEIGHT	40' HT.
PROPOSED USE	RESIDENTIAL
COMMON OPEN SPACE	±18.49 ACRES MIN. (20.4% OF SITE)
REQUIRED YARDS:	
SINGLE FAMILY/MULTI FAMILY	15' SETBACK 3' SIDE YARD (DETACHED & DUPLEX) MIN. BUILDING SEPARATION ATTACHED: 16 FEET 45' REAR YARD MIN. ALONG PERIMETER OF MX2 DISTRICT 20' REAR YARD MIN. WHERE COMMON OPEN SPACE OR DEDICATED GREENWAY OF ≥25 EXISTS

LEGEND

	PRIMARY ACCESS POINT
	EXISTING ZONING
	ADJACENT PROPERTY OWNER (SEE SHEET R22 FOR LIST OF ADJACENT PROPERTY OWNERS)
	VEGETATIVE BUFFER (WIDTHS VARY)

REAMES ROAD PROPERTY

CHARLOTTE, NORTH CAROLINA

TECHNICAL DATA SHEET

PETITION NO. 2001-107
2324

05/16/01

Issued

10/24/01 - REVISED PER CMPC COMMENTS
08/30/01 - REVISED PER OWNER'S REQUEST
08/23/01 - REVISED PER CMPC COMMENTS
07/13/01 - REVISED PER OWNER'S COMMENTS
06/25/01 - REVISED PER OWNER'S COMMENTS

Revised

SCALE: 1"= 200'-0"
0 100 200 400

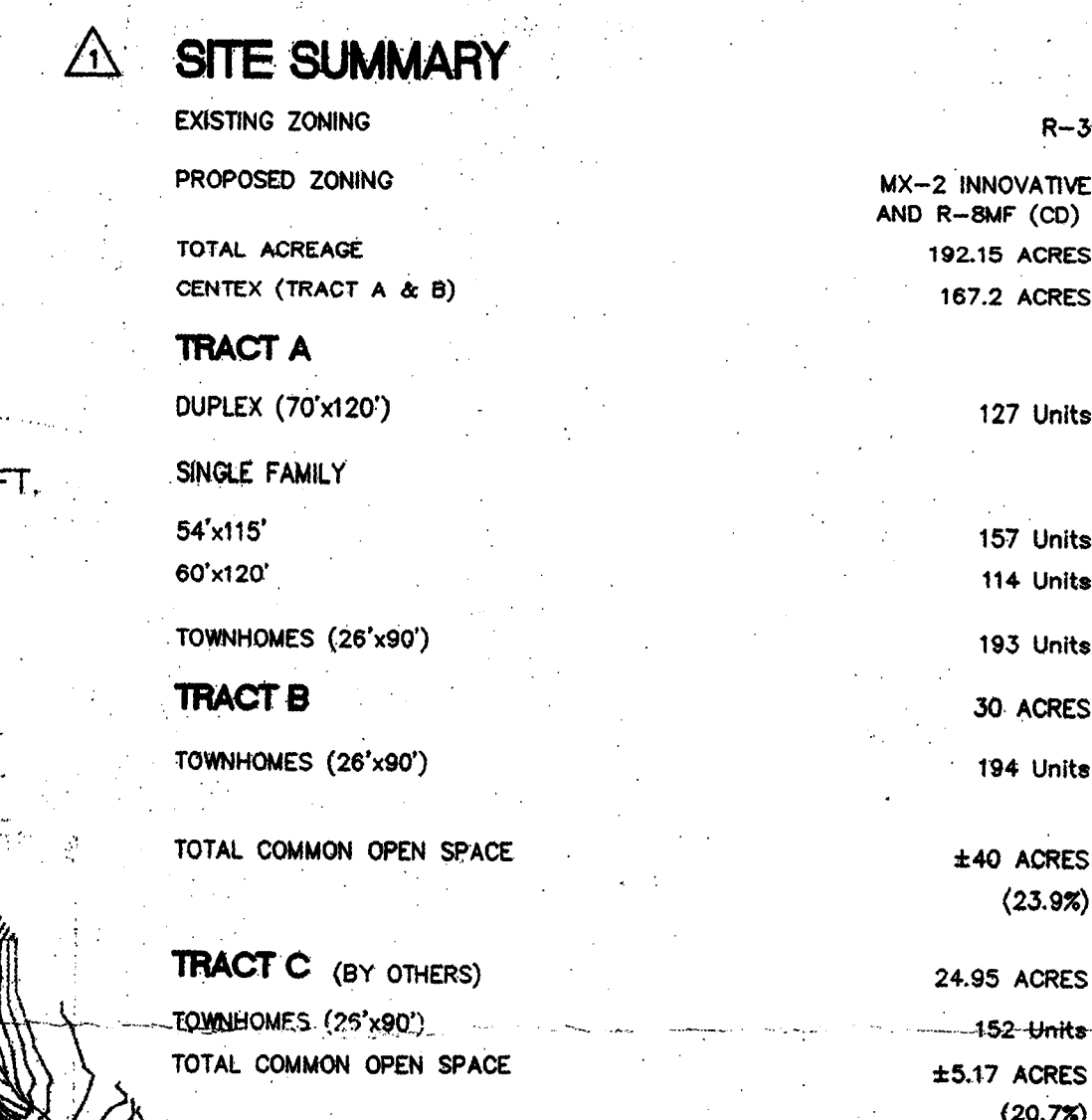
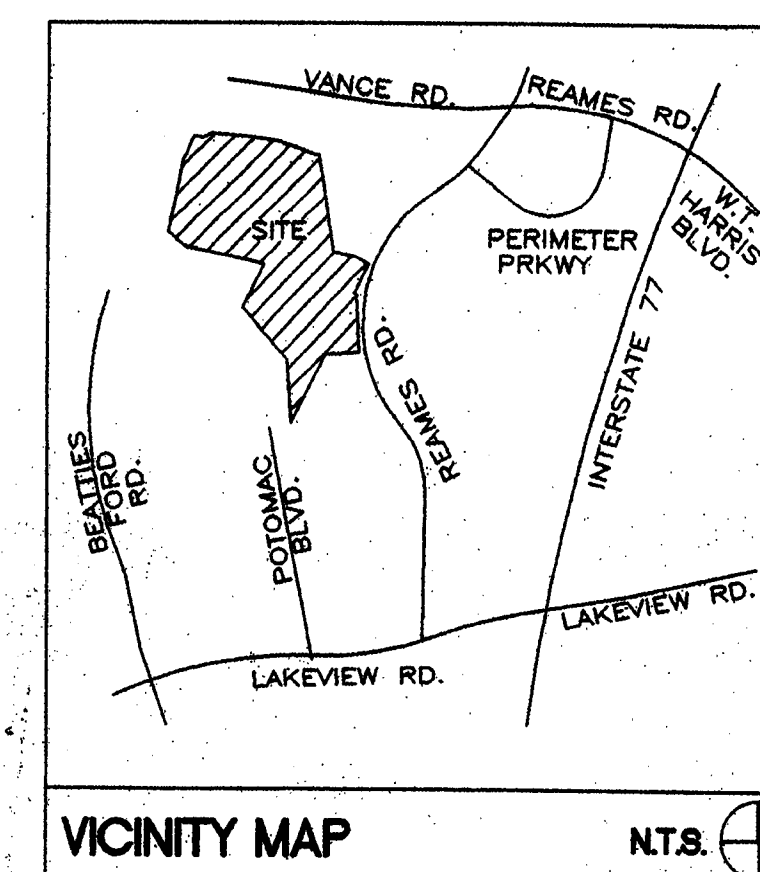
RZ1 3

Sheet of

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112 South Tryon Street
Suite 300
Charlotte
North Carolina
28284
Tele 704.376.1555
Fax 704.376.7851



VANGUARD CENTRE
5350 77-CENTER DRIVE, SUITE 100
CHARLOTTE, NORTH CAROLINA 28217

**REAMES
ROAD
PROPERTY**
CHARLOTTE, NORTH CAROLINA
FOR PUBLIC HEARING

SCHEMATIC SITE PLAN

PETITION NO. 2001-107
2324


06/25/01

◆ **Issued**

11/28/01 - REVISED PER CMPC COMMENTS
10/24/01 - REVISED PER CMPC COMMENTS
08/30/01 - REVISED PER OWNER'S REQUEST
08/23/01 - REVISED PER CMPC COMMENTS
07/13/01 - REVISED PER OWNER'S COMMENTS

◆ *Revised*

SCALE: 1"=200'-0"



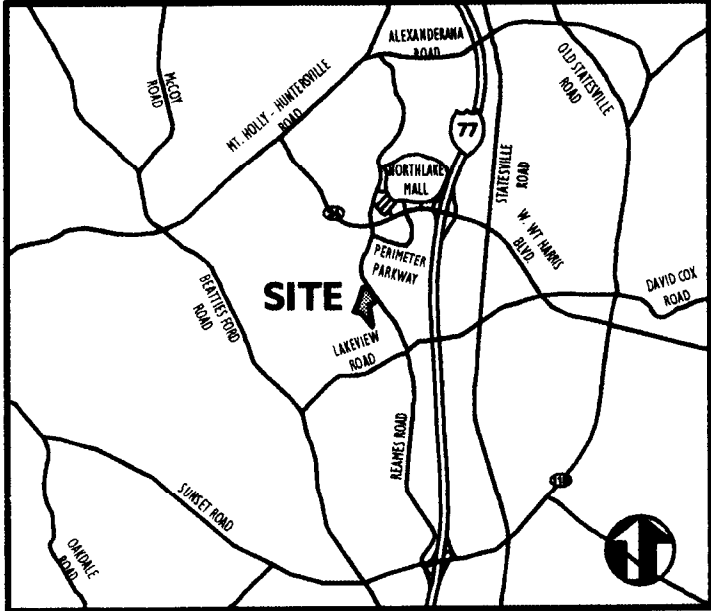
0 100 200 400

RZ3 3

◆ Sheet of

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ORIGINAL

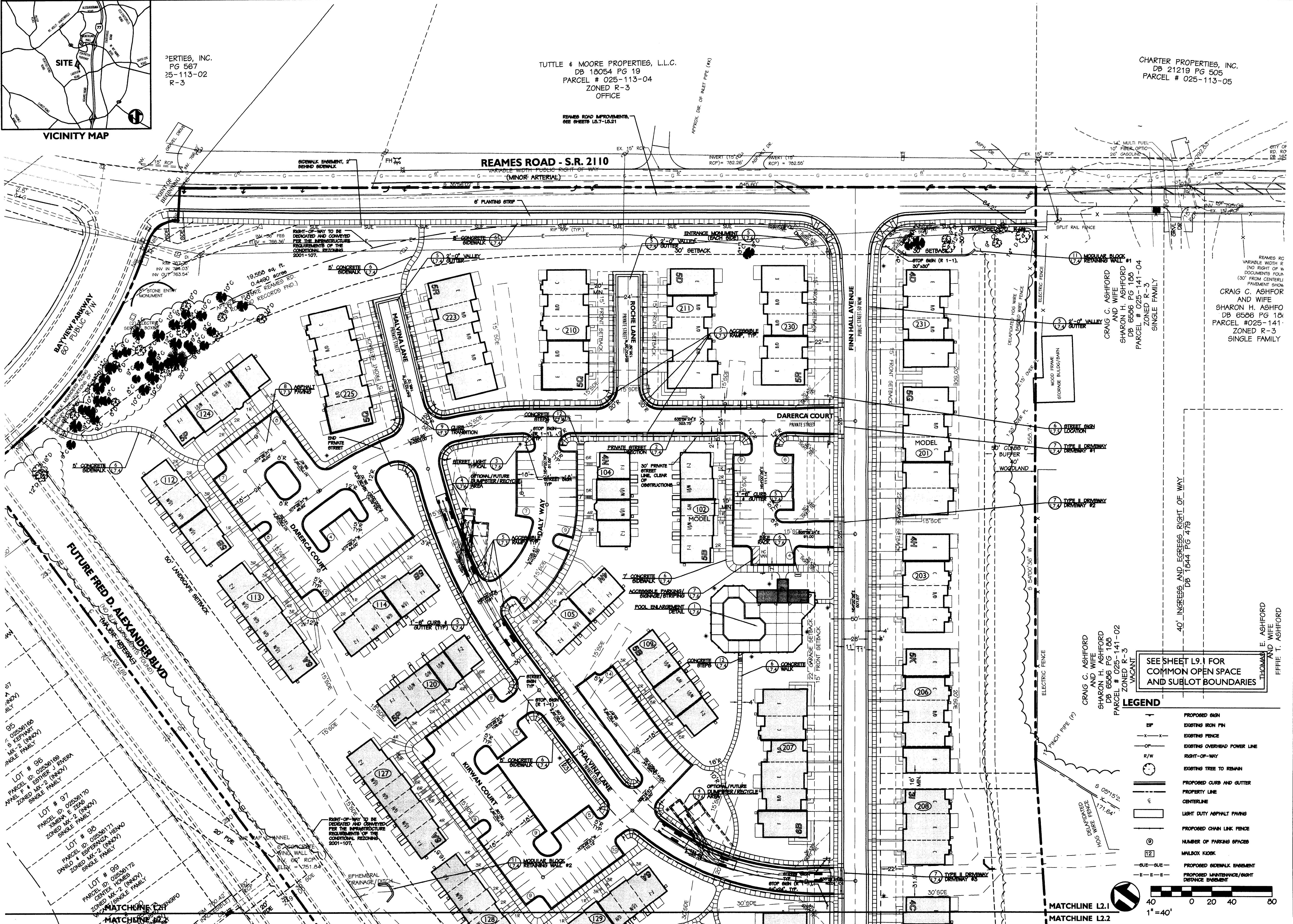


VICINITY MAP

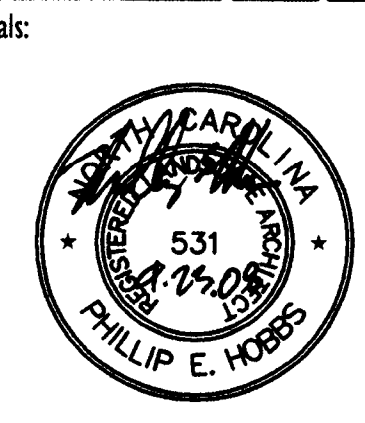
ERTIES, INC.
PG 567
25-113-02
R-3

TUTTLE & MOORE PROPERTIES, L.L.C.
DB 18054 PG 19
PARCEL # 025-113-04
ZONED R-3
OFFICE

CHARTER PROPERTIES, INC.
DB 21219 PG 505
PARCEL # 025-113-05



2 3 2 0
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Charlotte, NC 28208
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Site Planning
Civil Engineering
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Telephone: 704-521-9880
Facsimile: 704-521-8955



Northlake Crossing Portrait Homes

9349 Reames Road
Charlotte, North Carolina

Project No: 2953
Drawn By: P. Gorsuch/L. Coleman
Designed By: P. Hobbs
Checked By: P. Hobbs
Date: 3.17.08

Revisions:
Rev. Per CDOT Comments - easements/removed accessible ramps 4.23.08

Sheet Title:
Site Plan

Sheet No:
L-2.1

SEE SHEET L9.1 FOR
COMMON OPEN SPACE
AND SUBLOT BOUNDARIES

- LEGEND**
- PROPOSED SIGN
 - EXISTING IRON PIN
 - EXISTING FENCE
 - EXISTING OVERHEAD POWER LINE
 - RIGHT-OF-WAY
 - EXISTING TREE TO REMAIN
 - PROPOSED CURB AND GUTTER
 - PROPERTY LINE
 - CENTERLINE
 - LIGHT DUTY ASPHALT PAVING
 - PROPOSED CHAIN LINK FENCE
 - NUMBER OF PARKING SPACES
 - MAILBOX KIOSK
 - PROPOSED SIDEWALK EASEMENT
 - PROPOSED MAINTENANCE/EIGHT DISTANCE EASEMENT

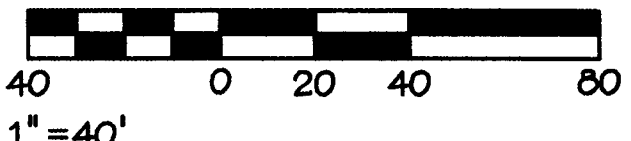
CRAIG C. ASHFORD
AND WIFE
SHARON H. ASHFORD
DB 6506 PG 186
PARCEL # 025-141-02
ZONED R-3
VACANT

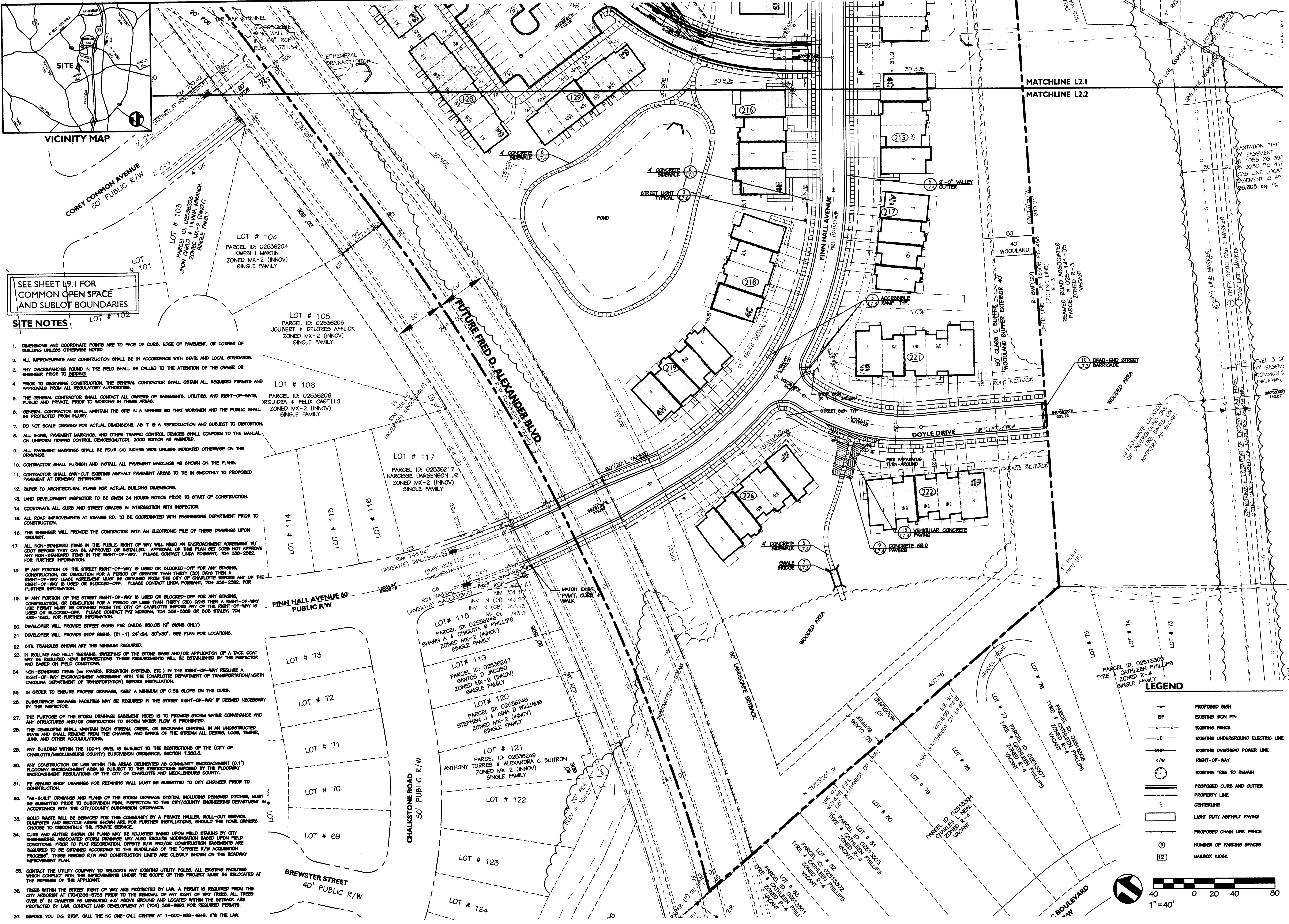
E. ASHFORD
AND WIFE
THOMAS
EFFIE T. ASHFORD

CRAIG C. ASHFORD
AND WIFE
SHARON H. ASHFORD
DB 6506 PG 186
PARCEL # 025-141-04
ZONED R-3
SINGLE FAMILY

40' INGRESS AND EGRESS RIGHT OF WAY
DB 1644 PG 479

MATCHLINE L2.1
MATCHLINE L2.2





SEE SHEET L9.1 FOR COMMON OPEN SPACE AND SUBLOT BOUNDARIES

- SITE NOTES**
- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURBS, EDGE OF PAVEMENT, OR CORNER OF BUILDINGS UNLESS OTHERWISE NOTED.
 - ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
 - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO BIDDING.
 - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AGENCIES.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKSMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 - DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2000 EDITION AS AMENDED.
 - ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
 - CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
 - REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 - LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
 - ALL ROAD IMPROVEMENTS AT REAMES RD. TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
 - THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
 - ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA FORBANT, 704 336-2662, FOR FURTHER INFORMATION.
 - IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA FORBANT, 704 336-2662, FOR FURTHER INFORMATION.
 - IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORGAN, 704 336-3555 OR ROB STREIB, 704 432-1562, FOR FURTHER INFORMATION.
 - DEVELOPER WILL PROVIDE STREET SIGNS PER CADD #50.05 (8" SIGNS ONLY).
 - DEVELOPER WILL PROVIDE STOP SIGNS, (R1-1) 24"x24, 30"x30". SEE PLAN FOR LOCATIONS.
 - SITE TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
 - IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED TO PREVENT SEPARATION. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
 - NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURBS.
 - SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
 - THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
 - THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWATER CHANNEL, IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, JUNK AND OTHER ACCUMULATIONS.
 - ANY BUILDING WITHIN THE 100+1 SWEL IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.6.
 - ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY ENCROACHMENT REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
 - PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
 - "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
 - SOLID WHITE WILL BE SERVED FOR THIS COMMUNITY BY A PRIVATE HAULER, ROLL-OUT SERVICE. CHUMPER AND RECYCLE AREAS SHOWN ARE FOR FURTHER INSTALLATIONS. SHOULD THE HOME OWNERS CHOOSE TO DISCONTINUE THE PRIVATE SERVICE.
 - CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERS. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS. PRIOR TO PLAT RECORDECTION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE REQUIRED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 6" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6562 FOR REQUIRED PERMITS.
 - BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4646. IT'S THE LAW.

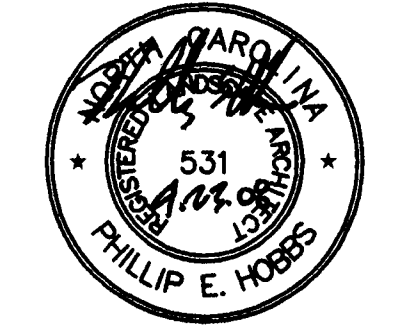
LEGEND

	PROPOSED SIGN
	EXISTING IRON PIN
	EXISTING FENCE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD POWER LINE
	RIGHT-OF-WAY
	EXISTING TREE TO REMAIN
	PROPOSED CURB AND GUTTER
	PROPERTY LINE
	CENTERLINE
	LIGHT DUTY ASPHALT PAVING
	PROPOSED CHAIN LINK FENCE
	NUMBER OF PARKING SPACES
	MAILBOX KIOSK

SITE SOLUTIONS

2 3 2 0
W. Morehead Street
Charlotte, NC 28208

Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone: 704-521-9880
Facsimile: 704-521-8955

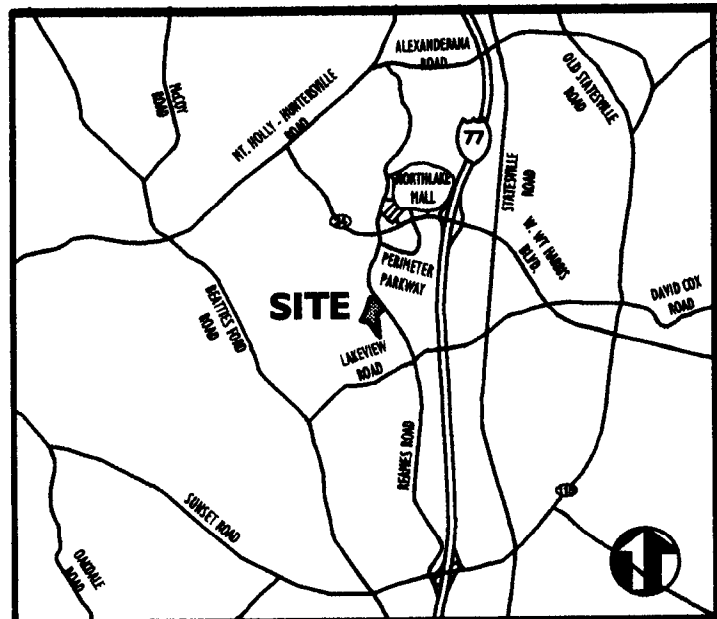


Northlake Crossing Portrait Homes

9349 Reames Road
Charlotte, North Carolina

Project No: 2953
Drawn By: P. Gorsuch/C. Coleman
Designed By: P. Hobbs
Checked By: P. Hobbs
Date: 3.17.08

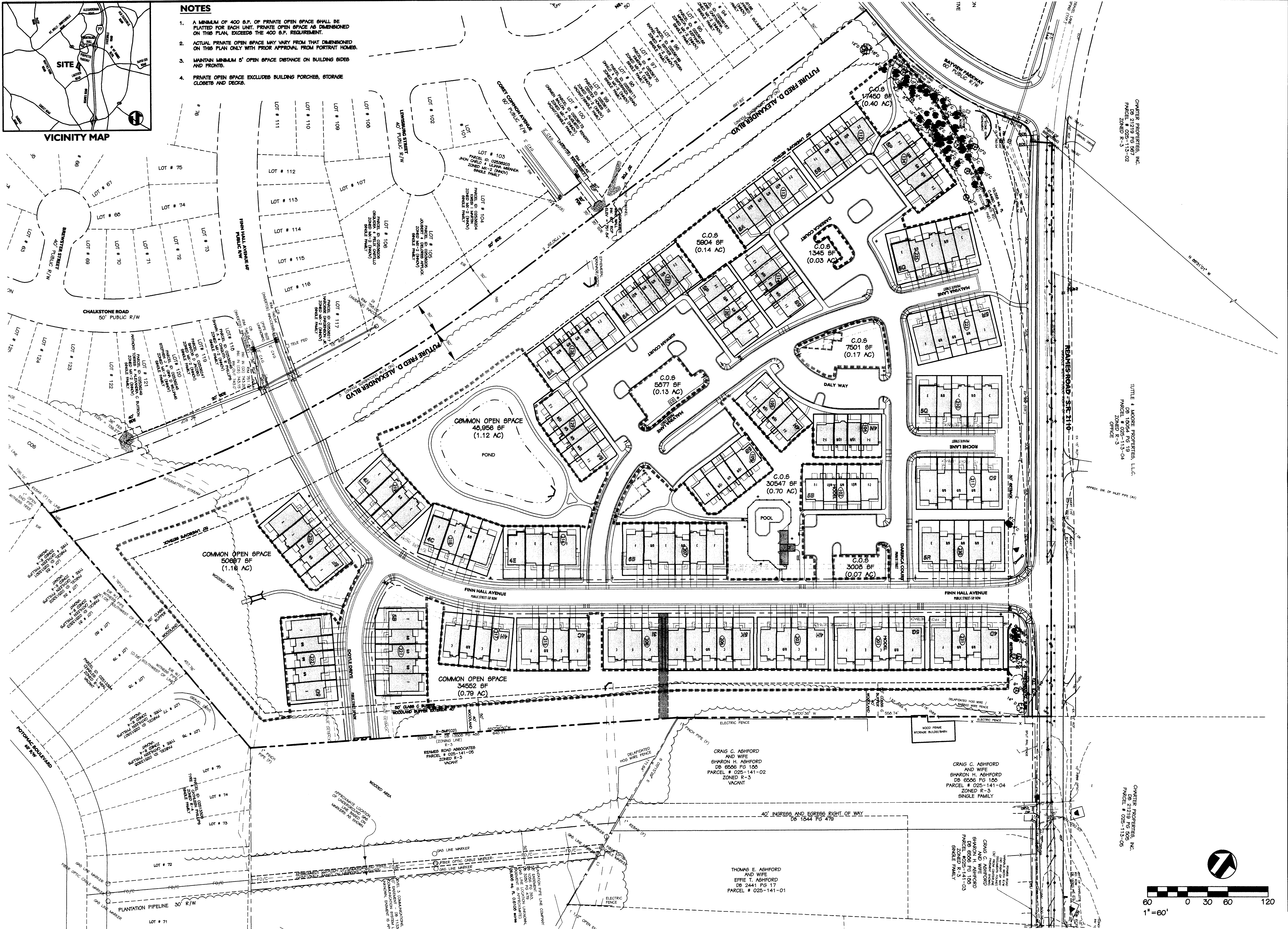
Revisions:
Rev. Per CDOT Comments removed accessible ramps 423.06



VICINITY MAP

NOTES

1. A MINIMUM OF 400 S.F. OF PRIVATE OPEN SPACE SHALL BE PLANTED FOR EACH UNIT. PRIVATE OPEN SPACE AS DIMENSIONED ON THIS PLAN, EXCEEDS THE 400 S.F. REQUIREMENT.
2. ACTUAL PRIVATE OPEN SPACE MAY VARY FROM THAT DIMENSIONED ON THIS PLAN ONLY WITH PRIOR APPROVAL FROM PORTRAIT HOMES.
3. MAINTAIN MINIMUM 5' OPEN SPACE DISTANCE ON BUILDING SIDES AND FRONTS.
4. PRIVATE OPEN SPACE EXCLUDES BUILDING PORCHES, STORAGE CLOSETS AND DECKS.



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Revisions:

Sheet Title:
**Openspace
Plan**

Sheet No:
L-9.1