

BENCHMARK

TOP OF MAG NAIL IN PAVEMENT.
ELEV. = 719.27 (NAVD 88)

CURVE DATA TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BRG	DELTA
C1	500.44'	500.00'	479.82'	S11°19'16"E	57°20'48"
C2	472.05'	500.00'	454.72'	N09°41'40"W	54°05'36"
C3	213.67'	365.00'	210.63'	N53°30'41"W	33°32'25"
C4	147.89'	400.00'	147.05'	S69°24'17"W	21°11'01"
C5	308.21'	250.00'	287.42'	S86°05'53"E	70°10'39"
C6	165.41'	235.00'	162.02'	N30°50'41"W	40°19'45"
C7	172.53'	786.00'	172.19'	S45°16'45"W	12°34'37"
C8	235.29'	400.00'	231.91'	S68°25'07"W	33°42'08"
C9	228.15'	1100.00'	227.74'	S59°17'25"W	11°53'02"

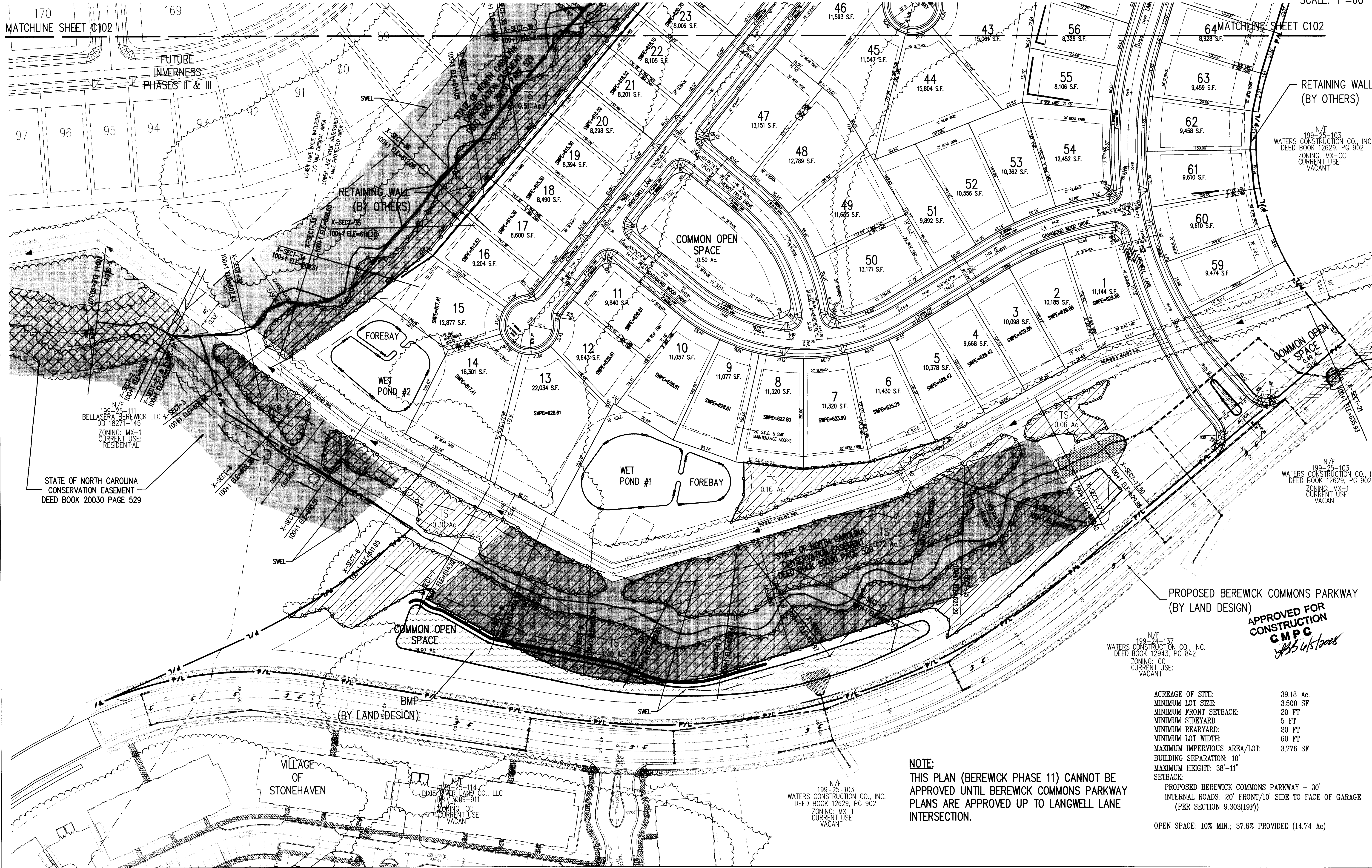
LEGEND

Existing Storm Sewer	Street Barricade
Existing Sanitary Sewer	Dead End Street Barricade
Existing Trees	End of Roadway Marker
Existing Telephone	Conservation Easement
Existing Water Main	Tree Save
Existing Flowline	
Existing Power Pole	
Storm Drain Easement	
Storm Drain Easement	
Storm Water Protection Elevation	
Storm Water Elevation Line	

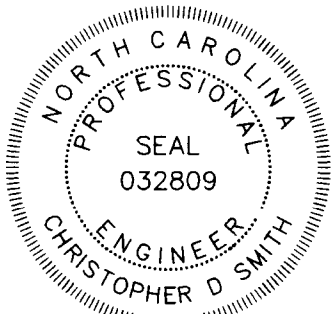


NORTH
SCALE: 1"=60'

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE-MECKLENBURG UTILITIES SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.



REVISIONS:
1. 07/24/07 - E&S - PER CITY OF CHARLOTTE 2ND REVIEW
2. 10/25/07 - E&S - PER CITY OF CHARLOTTE 3RD REVIEW



DATE:
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Fax: 704.697.5990
www.schneidercorp.com

Architecture
Civil Engineering
Environmental Engineering
Geotechnical Services
GIS • LIS
Home Builder Services
Interior Design
Land Surveying
Landscape Architecture
Transportation Engineering

INVERNESS
PHASE I
CHARLOTTE, NORTH CAROLINA

D. R. HORTON
820 FOREST POINT CIRCLE, SUITE 100, CHARLOTTE, N.C. 28273

DATE: 02/09/07 PROJECT NO: 6335.001
DRAWN BY: KJB CHECKED BY: ARG
SHEET TITLE: SITE LAYOUT

DRAWING FILES: B:\64\6335\001\dwg\C101-C102
SHEET NO: C101

ACREAGE OF SITE: 39.18 Ac.
MINIMUM LOT SIZE: 3,500 SF
MINIMUM FRONT SETBACK: 20 FT
MINIMUM SIDEYARD: 5 FT
MINIMUM REARYARD: 20 FT
MINIMUM LOT WIDTH: 60 FT
MAXIMUM IMPERVIOUS AREA/LOT: 3,776 SF
BUILDING SEPARATION: 10'
MAXIMUM HEIGHT: 38'-11" SETBACK

PROPOSED BEREWICK COMMONS PARKWAY - 30'
INTERNAL ROADS: 20' FRONT/10' SIDE TO FACE OF GARAGE (PER SECTION 9.303(19F))

OPEN SPACE: 10% MIN.; 37.6% PROVIDED (14.74 Ac)

APPROVED FOR CONSTRUCTION
CMPC
4/5/2008

199-25-137
WATERS CONSTRUCTION CO., INC.
DEED BOOK 12943, PG 842
ZONING: CC
CURRENT USE: VACANT

199-25-103
WATERS CONSTRUCTION CO., INC.
DEED BOOK 12629, PG 902
ZONING: MX-1
CURRENT USE: VACANT

199-25-103
WATERS CONSTRUCTION CO., INC.
DEED BOOK 12629, PG 902
ZONING: MX-CC
CURRENT USE: VACANT

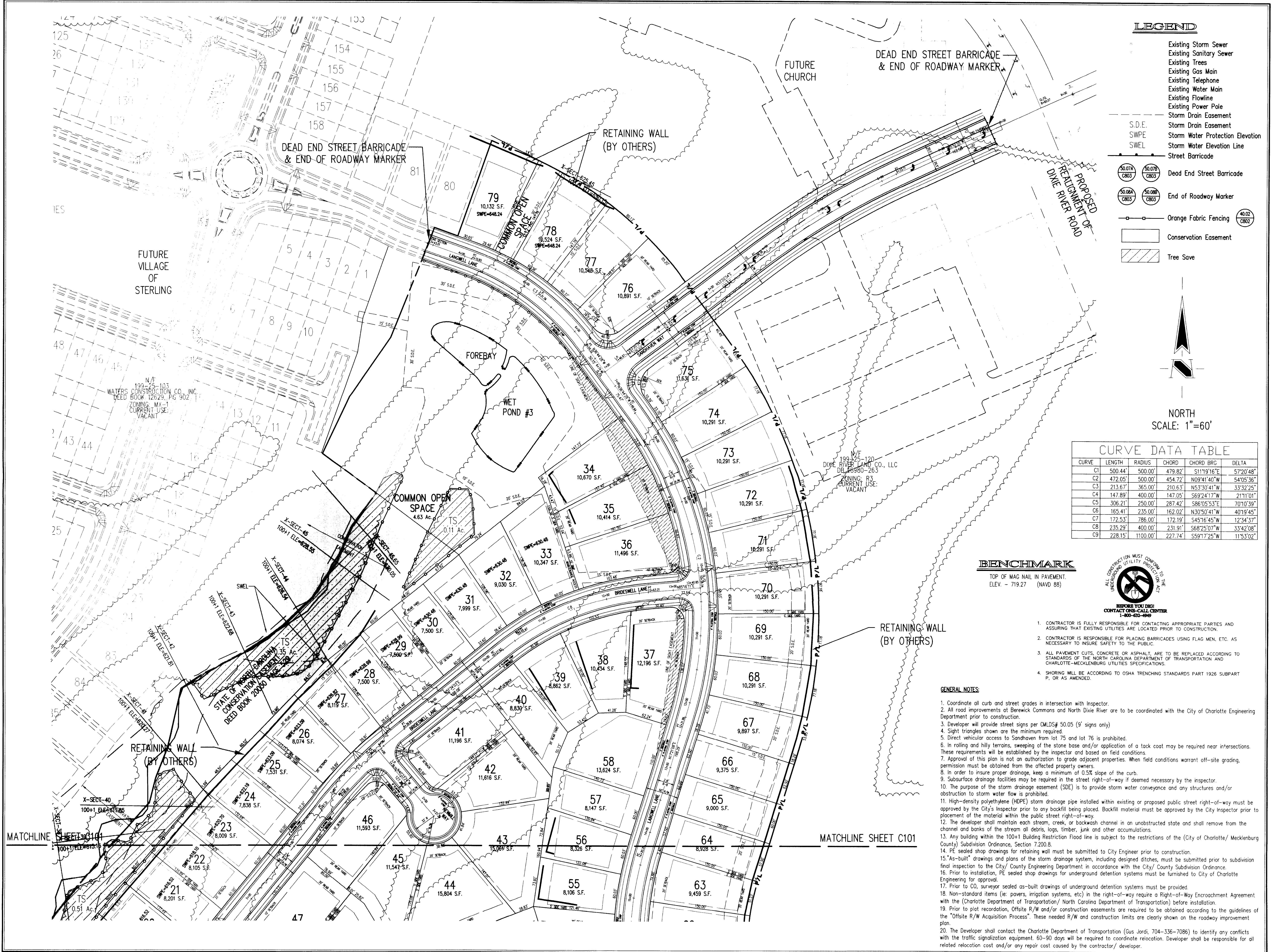
RETAINING WALL (BY OTHERS)

STATE OF NORTH CAROLINA
CONSERVATION EASEMENT
DEED BOOK 20030 PAGE 529

199-25-111
BELLASERA BEREWICK LLC
DB 18271-145
ZONING: MX-1
CURRENT USE: RESIDENTIAL

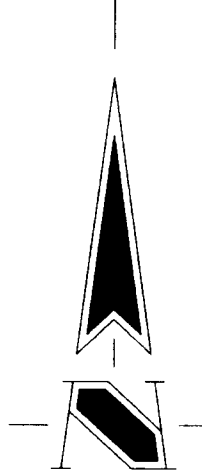
199-25-114
DIXIE RIVER LAND CO., LLC
DB 13089-911
ZONING: CC
CURRENT USE: VACANT

199-25-103
WATERS CONSTRUCTION CO., INC.
DEED BOOK 12629, PG 902
ZONING: MX-1
CURRENT USE: VACANT



LEGEND

- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Trees
- Existing Gas Main
- Existing Telephone
- Existing Water Main
- Existing Flowline
- Existing Power Pole
- Storm Drain Easement
- Storm Drain Easement
- Storm Water Protection Elevation
- Storm Water Elevation Line
- Street Barricade
- Dead End Street Barricade
- End of Roadway Marker
- Orange Fabric Fencing
- Conservation Easement
- Tree Save



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SCALE: 1"=60'

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GENERAL NOTES:

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements at Berewick Commons and North Dixie River are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CMLDS# 50.05 (9' signs only)
- Sight triangles shown are the minimum required.
- Direct vehicular access to Sandhaven from lot 75 and lot 76 is prohibited.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to insure proper drainage, keep a minimum of 0.5% slope of the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance and any structures and/or obstruction to storm water flow is prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public street right-of-way must be approved by the City's Inspector prior to any backfill being placed. Backfill material must be approved by the City Inspector prior to placement of the material within the public street right-of-way.
- The Developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- Any building within the 100+ Building Restriction Flood line is subject to the restrictions of the (City of Charlotte/ Mecklenburg County) Subdivision Ordinance, Section 7.200.8.
- PE sealed shop drawings for retaining wall must be submitted to City Engineer prior to construction.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/ County Engineering Department in accordance with the City/ County Subdivision Ordinance.
- Prior to installation, PE sealed shop drawings for underground detention systems must be furnished to City of Charlotte Engineering for approval.
- Prior to CO, surveyor sealed as-built drawings of underground detention systems must be provided.
- Non-standard items (ie: pavers, irrigation systems, etc) in the right-of-way require a Right-of-Way Encroachment Agreement with the (Charlotte Department of Transportation/ North Carolina Department of Transportation) before installation.
- Prior to plot recording, Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "Offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- The Developer shall contact the Charlotte Department of Transportation (Cus Jodi, 704-336-7086) to identify any conflicts with the traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or any repair cost caused by the contractor/ developer.

REVISIONS: 1. 07/24/07 - PER CITY OF CHARLOTTE AND REVIEW 2. 10/24/07 - 4.40/106-REVISIONS PER CITY OF CHARLOTTE AND REVIEW

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Schneider

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