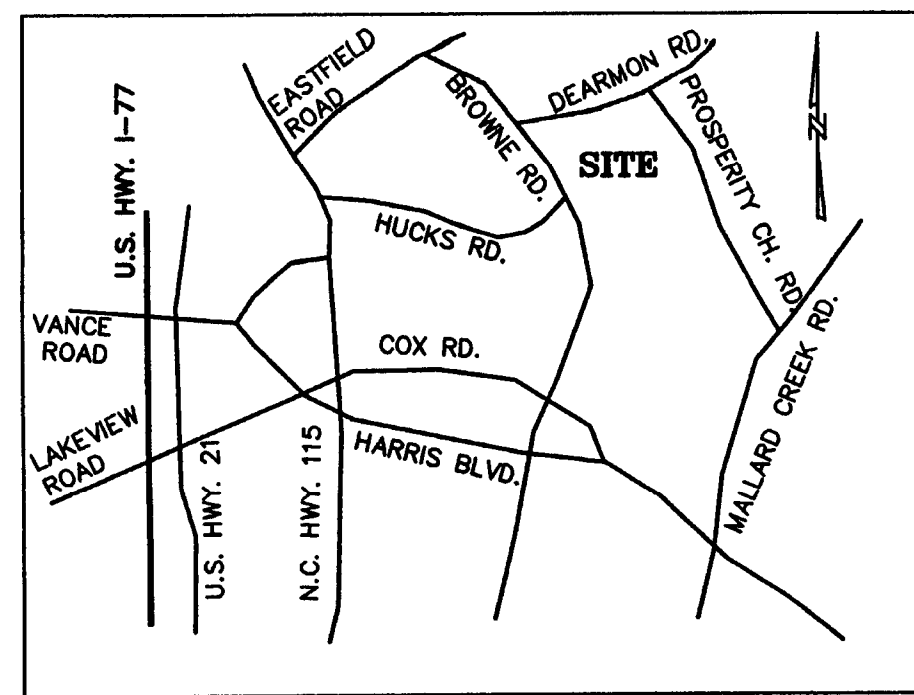


HAMPTON PLACE SUBDIVISION

PHASE 7

CHARLOTTE, NORTH CAROLINA



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

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- PROVIDE MINIMUM OF 48 HOURS NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- THE ESTIMATED COMPLETION OF PHASE 7 IS MAY OF 2008.

LAND DEVELOPMENT NOTES

- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CHIDS 50.05 (9" SIGNS ONLY).
- NONSTANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPT. OF TRANSPORTATION BEFORE INSTALLATION.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDS STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- PROPOSED STREET TREES SHALL BE LARGE MATURING W/MIN. 2" CALIPER • PLANTING. SPACING SHALL BE WITHIN 20' OF CURB & 40'-50' SPACING. TREES SHALL BE BONDED AND PLANTED AFTER HOUSES ARE CONSTRUCTED.
- REFERENCE THE CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND/OR THE FOLLOWING DETAILS:
- IN ORDER TO ENSURE THE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIV. ORDINANCE.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOOD LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 7.2.00.8.7.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET R.O.W. MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT WITHIN THE PUBLIC R.O.W.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG SUTTONVIEW DR., LOOKOUT POINT DR., BRADY DR., AMBER LEIGH WAY DR. MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- NON-STANDARD DRAINAGE STRUCTURES (OB., HW., FES, BOTTOMLESS CULVERTS) WILL REQUIRE SEALED CONSTRUCTION DRAWINGS.
- ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- THE COMMUNITY ENCROACHMENT LINE MUST BE CLEARLY MARKED PRIOR TO ANY GRADING AND THE MARKED LINE MUST BE MAINTAINED ON SITE UNTIL FINAL GRADING IS COMPLETED.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S04°39'07"W	32.61'
L2	S71°24'00"E	22.74'
L3	S01°55'34"E	27.14'
L4	S20°56'00"W	34.64'
L5	S85°38'26"W	24.71'
L6	N88°19'36"W	33.56'
L7	S61°44'57"W	29.43'
L8	N88°59'52"W	25.77'
L9	N83°02'00"W	29.80'
L10	S16°12'36"W	9.65'
L11	S57°24'22"W	27.61'
L12	S09°56'24"W	33.40'
L13	S16°22'49"W	10.02'
L14	N16°22'49"E	16.39'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	24.00'	34.66'	34.64'	N17°53'23"E
C2	350.00'	41.77'	41.74'	S17°46'51"W

TREE SAVE/COS SUMMARY TABLE

PHASE	ACREAGE	NO. OF LOTS	DU (AC.)	C.O.S. (AC.)	TREESAVE (AC.)	TREESAVE (NO. TREES)	TREESAVE (%)
1	24.24	68.0	2.81	0.96	4.0	0	0
2	32.58	91.0	2.79	2.13	6.5	0	0
SUB-TOTAL	56.82	159	2.80	3.09	5.4	0	0
3	12.52	41.0	3.27	0.96	7.7	1.43	12.52
SUB-TOTAL	69.34	200	2.88	4.05	5.8	1.43	12.52
4	16.54	58.0	3.51	1.66	10.0	1.836	16.54
SUB-TOTAL	85.88	258	3.00	5.71	6.6	3.27	29.06
5	5.75	18.0	3.13	0.64	11.1	0.93	5.75
SUB-TOTAL	91.63	276	3.01	6.35	6.9	4.2	34.81
6	7.48	22.0	2.94	2.37	3.1	1.93	7.48
SUB-TOTAL	99.11	22	3.00	8.72	6.8	14.3	42.29
7	24.53	47	1.92	12.47	50.8	10.79	24.53
SUB-TOTAL	123.64	345	2.79	21.19	17.14	16.82	68.82

* TREESAVE NOT REQUIRED @ TIME OF DEVELOPMENT FOR THIS PHASE

FLOOD HAZARD DATA TABLE

CLARKS CREEK									
Cross Section Station	Stream	Flood Discharge (cfs)		1% Annual Chance (100-year) DBR		Community Encroachment Line			
		Existing Land Use	Future Land Use	Existing Land Use	Future Land Use	Distance in Feet From Center of Stream to Encroachment Boundary (Looking Downstream)	Left/Right		
CLARKS CREEK									
		1247	1786	715.5	716.4	35/40	50/42		
AF	14738	1247	1786	714.5	715.3	32/55	35/105		
AD	13767	1282	1812	710.4	712.5	19/13	20/13		
CLARKS CREEK TRIBUTARY 1									
A	35	2018	2771	710.0	711.9	50/61	50/61		
B	817	2018	2771	713.4	714.6	80/20	120/30		
C	125	2018	2771	716.6	717.5	20/50	25/85		

DEVELOPMENT DATA

SITE ZONING: R-4 AND R-4 (CD)
COUNTY: MECKLENBURG COUNTY
JURISDICTION: CITY OF CHARLOTTE
TOWNSHIP: MALLARD CREEK
EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
TAX PARCEL: 027-431-99 (R4-CD) & 027-372-97 (R4)
TOTAL SITE ACREAGE: 123.64 AC.
PHASE 7 ACREAGE: 24.53 AC.
MIN. LOT AREA: 8,000 s.f.
MIN. LOT WIDTH: 50 ft.
MIN. SETBACK: 30 ft.
MIN. REAR YARD: 40 ft.
MIN. SIDE YARD: 5 ft.
MIN. STREET YARD (CORNER): 15 ft.
MAX. % BUILDING COVERAGE PER LOT:
4,001 - 6,500 SQ. FT. LOTS = 45%
6,501 - 8,500 SQ. FT. LOTS = 40%
8,501 - 15,000 SQ. FT. LOTS = 35%

CLUSTER DEVELOPMENT DATA

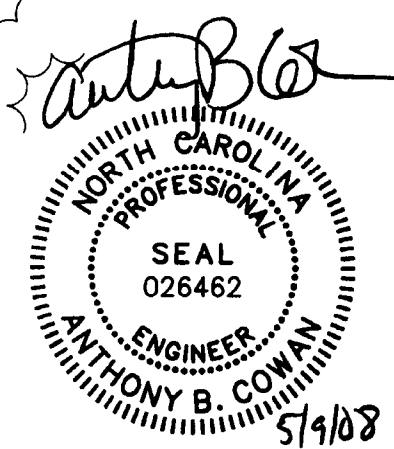
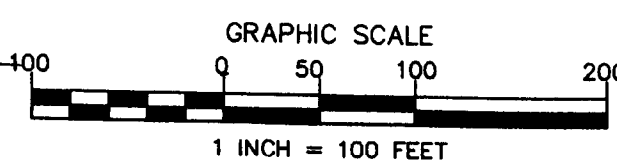
MIN. LOT AREA: 6,000 s.f.
MIN. REAR YARD (INTERIOR LOTS): 30 ft.
MIN. REAR YARD: 40 ft.

CONDITIONAL DEVELOPMENT NOTES

- THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE MECKLENBURG COUNTY ZONING AND SUBDIVISION REGULATIONS.
- THE PROPOSED DEVELOPMENT SHALL CONSIST OF A SINGLE FAMILY SUBDIVISION.
- THE PROPOSED DEVELOPMENT SHALL NOT FEE WITHIN ANY AREA OF THE REGULATED FLOOD PLAIN OF THE SITE.
- A BURIAL AREA ON THE SITE SHALL NOT BE DISTURBED.
- THE AREA OF THE REGULATED FLOOD PLAIN AS SHOWN ON THE SITE PLAN SHALL NOT BE SUBDIVIDE TO CREATE BUILDING LOTS OR PORTIONS OF BUILDING LOTS.
- THE AREA DELETED ON THE SITE PLAN SHALL BE DEDICATED TO THE MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT FOR GREENWAY PURPOSES. THIS DEDICATION SHALL OCCUR PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS ASSOCIATED WITH THE REZONING SITE.

GREENWAY DEDICATION NOTE

"THE ENTIRE GREENWAY AREA OF 9.60 ACRES SHOWN ON THE SUBDIVISION PLAN DATED 2/28/08 AND LAST UPDATED ON 4/2/08 SHALL BE DEDICATED AND CONVEYED TO MECKLENBURG COUNTY WITH RECOGNITION OF THE FINAL PLAN FOR PHASE 7. THE OWNER/DEVELOPER SHALL RETAIN THE RIGHTS TO INSTALL AND LOCATE UTILITY LINES AND EASEMENTS THROUGH THE GREENWAY AREA AFTER THIS DEDICATION. FURTHERMORE, THE OWNER/DEVELOPER WILL RETAIN THE RIGHTS TO INCLUDE THE ACREAGE OF THE DEDICATED GREENWAY AREA AS REQUIRED OPEN SPACE, TREE SAVE AREAS, BUFFERS, OR OTHER LAND AREA CALCULATIONS."



APPROVED FOR
CONSTRUCTION
DEVELOPER
MPC
5/5/08/2008

ENGINEER/SURVEYOR/PLANNER:

PUBLIC WATER & SANITARY SEWER
HILL LAND CORPORATION
255 REGENCY EXECUTIVE PARK, SUITE 30
CHARLOTTE, NC 28217
Ph: (704) 525-3645
Fax: (704) 525-9402
CONTACT: MR. FRED SKIPPER

THE ISAACS GROUP, P.C.
8720 RED OAK BLVD., STE. 420
CHARLOTTE, NC 28217
Ph: 704-527-3440
Fax: 704-527-8335

Project:	HAMPTON PLACE SUBDV.		
	PHASE 7		
	CHARLOTTE, NORTH CAROLINA		
Title:	SITE EXHIBIT		
File #:	07057.dwg	Date:	02/04/08
Project Egr:	ABC	Design By:	AEN
Drawn By:	AEN	Scale:	1" = 100'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-3440 FAX (704) 527-8335			

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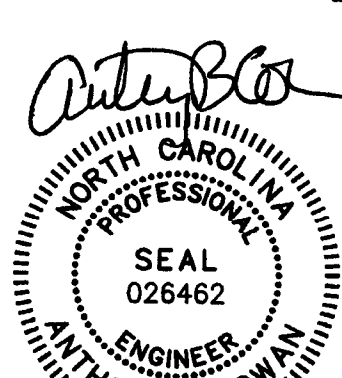
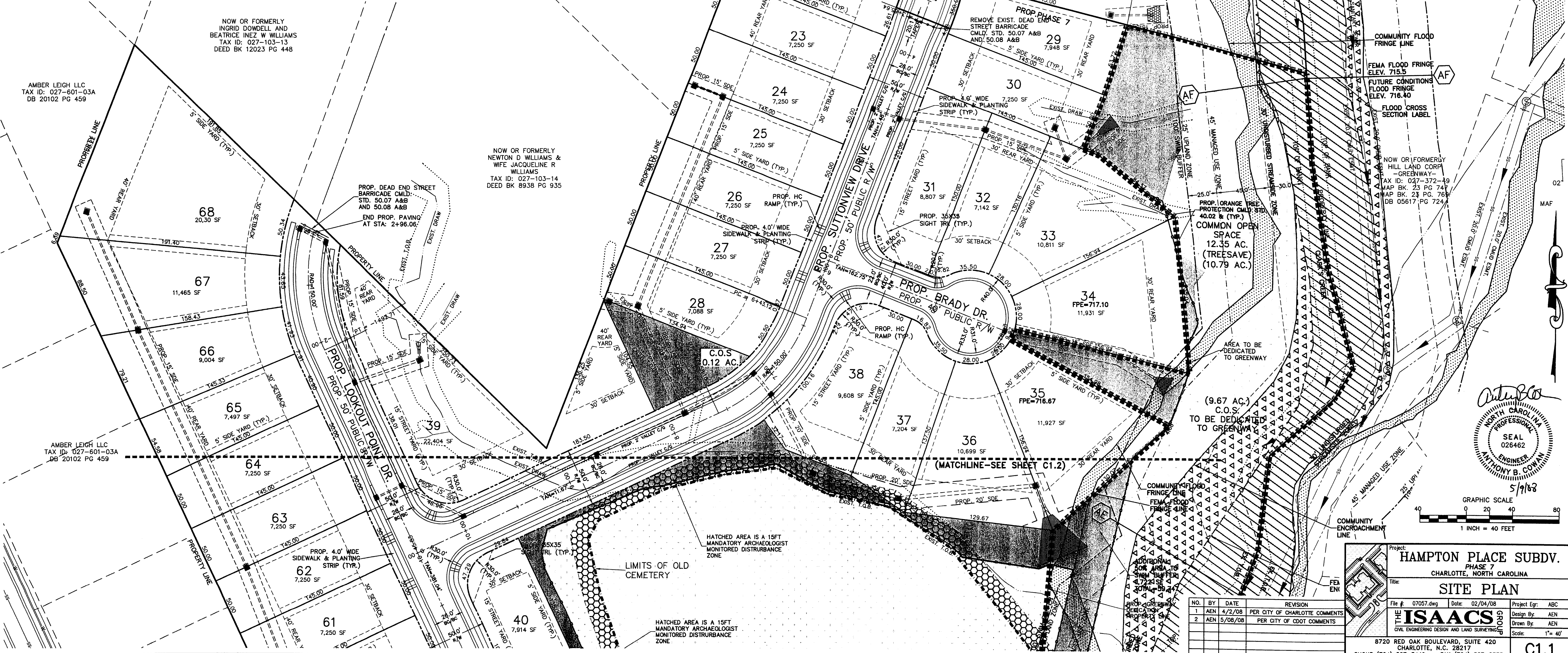
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LEGEND

---	EXISTING SIDEWALK
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING STORM PIPE
---	EXISTING CATCH BASIN
---	PROP. STREET BARRICADE
---	PROP. TREE PROTECTION FENCING
---	PROP. STORM PIPE
---	PROP. STORM CATCH BASIN
---	PROPOSED AREA DEDICATED TO GREENWAY
---	DESIGNATED TREE SAVE AREAS IN C.O.S.
---	COMMON OPEN SPACE AREAS W/O TREE SAVE
---	PROPOSED SIDEWALK
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---	COMMUNITY ENCROACHMENT AREA
---	FEMA FLOODWAY AREA

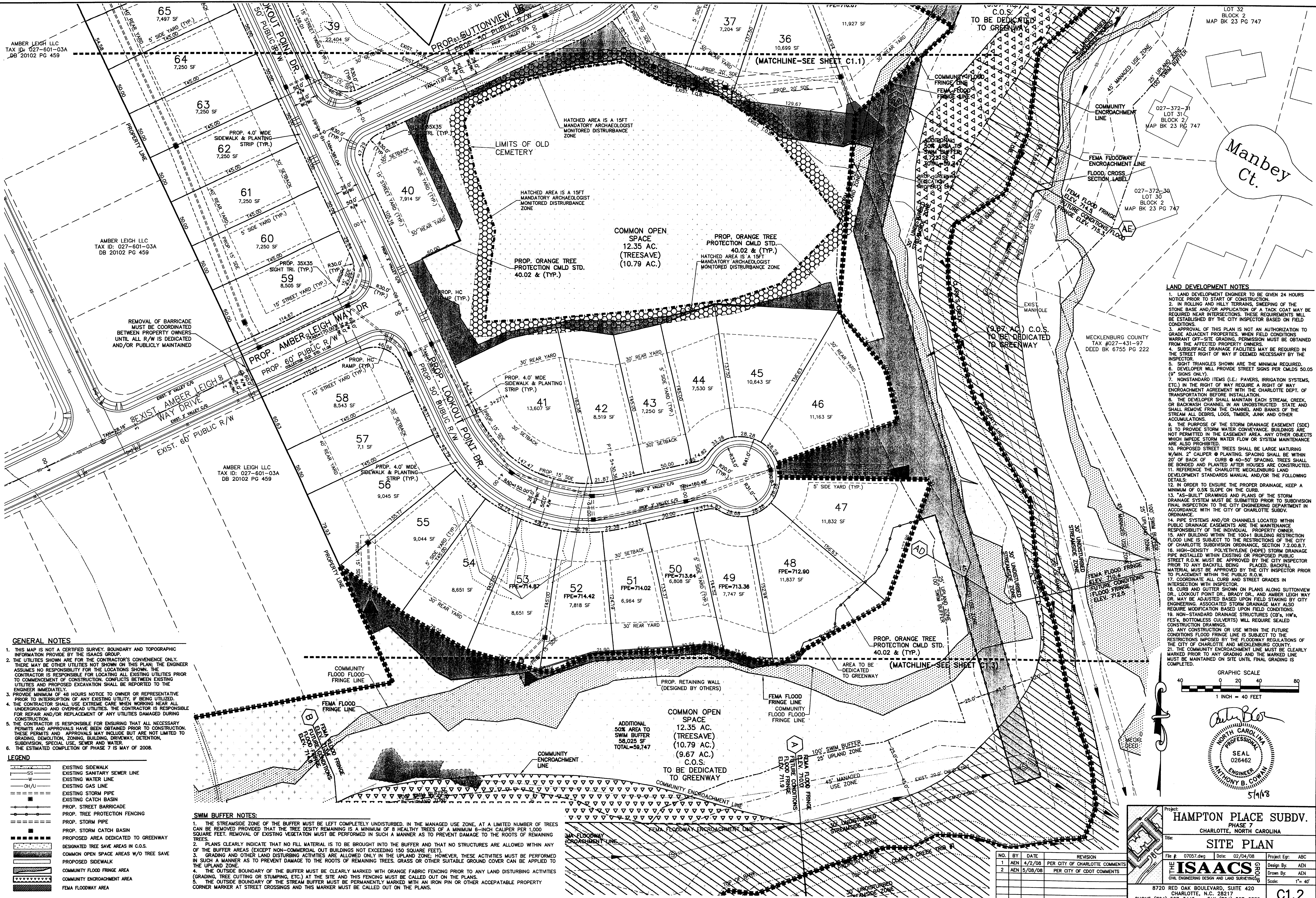
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2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
4. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.



Project: HAMPTON PLACE SUBDV. PHASE 7	
Title: SITE PLAN	
File #	07057.dwg
Date	02/04/08
Project Egr	ABC
Design By	AEN
Drawn By	AEN
Scale	1" = 40'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-5440 FAX (704) 527-8335	

NO.	BY	DATE	REVISION
1	AEN	4/2/08	PER CITY OF CHARLOTTE COMMENTS
2	AEN	5/08/08	PER CITY OF CDOT COMMENTS



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 - SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
 - DEVELOPER WILL PROVIDE STREET SIGNS PER CMDS 50.05 (8" SIGNS ONLY).
 - NONSTANDARD ITEMS (E.G. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPT. OF TRANSPORTATION BEFORE INSTALLATION.
 - THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
 - THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPIDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
 - PROPOSED STREET TREES SHALL BE LARGE MATURING W/IN. 2" CALIPER @ PLANTING. SPACING SHALL BE WITHIN 20' OF BACK OF CURB @ 40-50' SPACING. TREES SHALL BE BONDED AND PLANTED AFTER HOUSES ARE CONSTRUCTED.
 - REFERENCE THE CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND/OR THE FOLLOWING DETAILS:
 - IN ORDER TO ENSURE THE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
 - "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBORDINANCE.
 - PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
 - ANY BUILDING WITHIN THE 100+ BUILDING RESTRICTION FLOOD LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 7.2.00.8.7.
 - HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET R.O.W. MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT WITHIN THE PUBLIC R.O.W.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
 - CURB AND GUTTER SHOWN ON PLANS ALONG SUTTONVIEW DR., LOOKOUT POINT DR., BRADY DR., AND AMBER LEIGH WAY DR. MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
 - NON-STANDARD DRAINAGE STRUCTURES (CB's, HW's, FE'S, BOTTOMLESS CULVERTS) WILL REQUIRE SEALED CONSTRUCTION DRAWINGS.
 - ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
 - THE COMMUNITY ENCROACHMENT LINE MUST BE CLEARLY MARKED PRIOR TO ANY GRADING AND THE MARKED LINE MUST BE MAINTAINED ON SITE UNTIL FINAL GRADING IS COMPLETED.

GRAPHIC SCALE
1" = 40 FEET

Seal of Anthony B. Cowan, Professional Engineer, No. 026462

Project: HAMPTON PLACE SUBDV. PHASE 7
Charlotte, North Carolina

Site Plan

File #: 07057.dwg Date: 02/04/08 Project Egr: ABC

ISAACS CIVIL ENGINEERING DESIGN AND LAND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8355

Scale: 1" = 40'

C1.2

GENERAL NOTES

1. THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP.
2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. PROVIDE MINIMUM OF 48 HOURS NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
4. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
6. THE ESTIMATED COMPLETION OF PHASE 8 IS NOVEMBER OF 2007.

PROPOSED STREET TREE CALCULATIONS

LARGE MATURING SHADE TREES ON 40 SPACING
** LENGTHS MEASURED ALONG RIGHT OF WAY AND DO NOT INCLUDE WIDTHS ACROSS INTERSECTIONS

ROAD NAME	SIDE OF ROAD	LENGTH (L.F.)	NO. OF STREET TREES REQ'D	NO. OF STREET TREES PROV.
SUTTON VIEW	WEST	630	16	16
	EAST	610	15	15
BRADY DRIVE	NORTH	169	4	4
	SOUTH	169	4	4
LOOKOUT POINT	WEST	1026	26	26
	EAST	922	23	23
AMBER LEIGH WAY DRIVE	NORTH	138	4	4
	SOUTH	138	4	4

NOTE: TREE SPECIES SHOWN ON THIS PLAN ARE RECOMMENDATIONS ONLY. ACTUAL SPECIES MAY VARY SO LONG AS THEY ARE FROM THE APPROVED LIST OF THE CHARLOTTE TREE ORDINANCE.

TREE SAVE CALCULATIONS

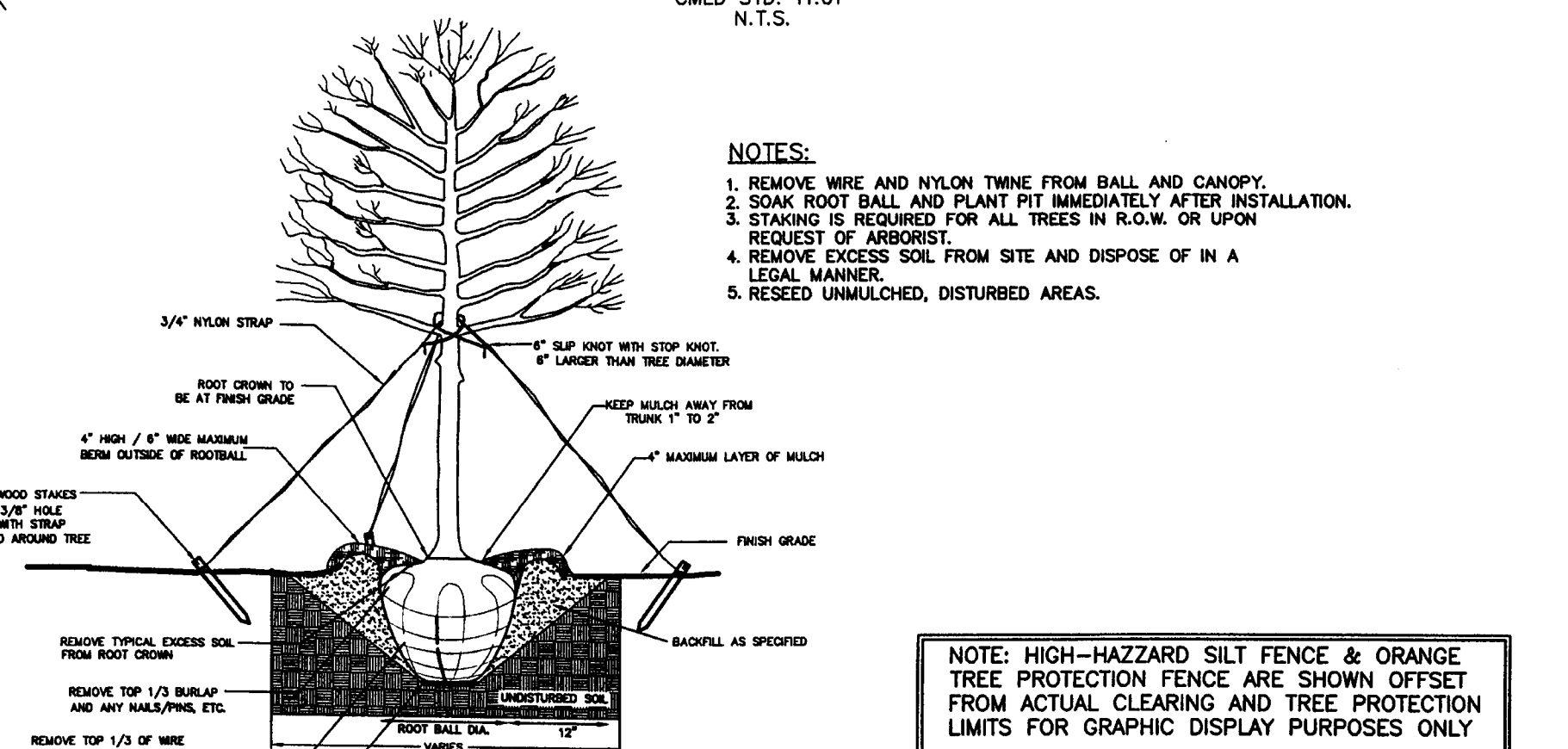
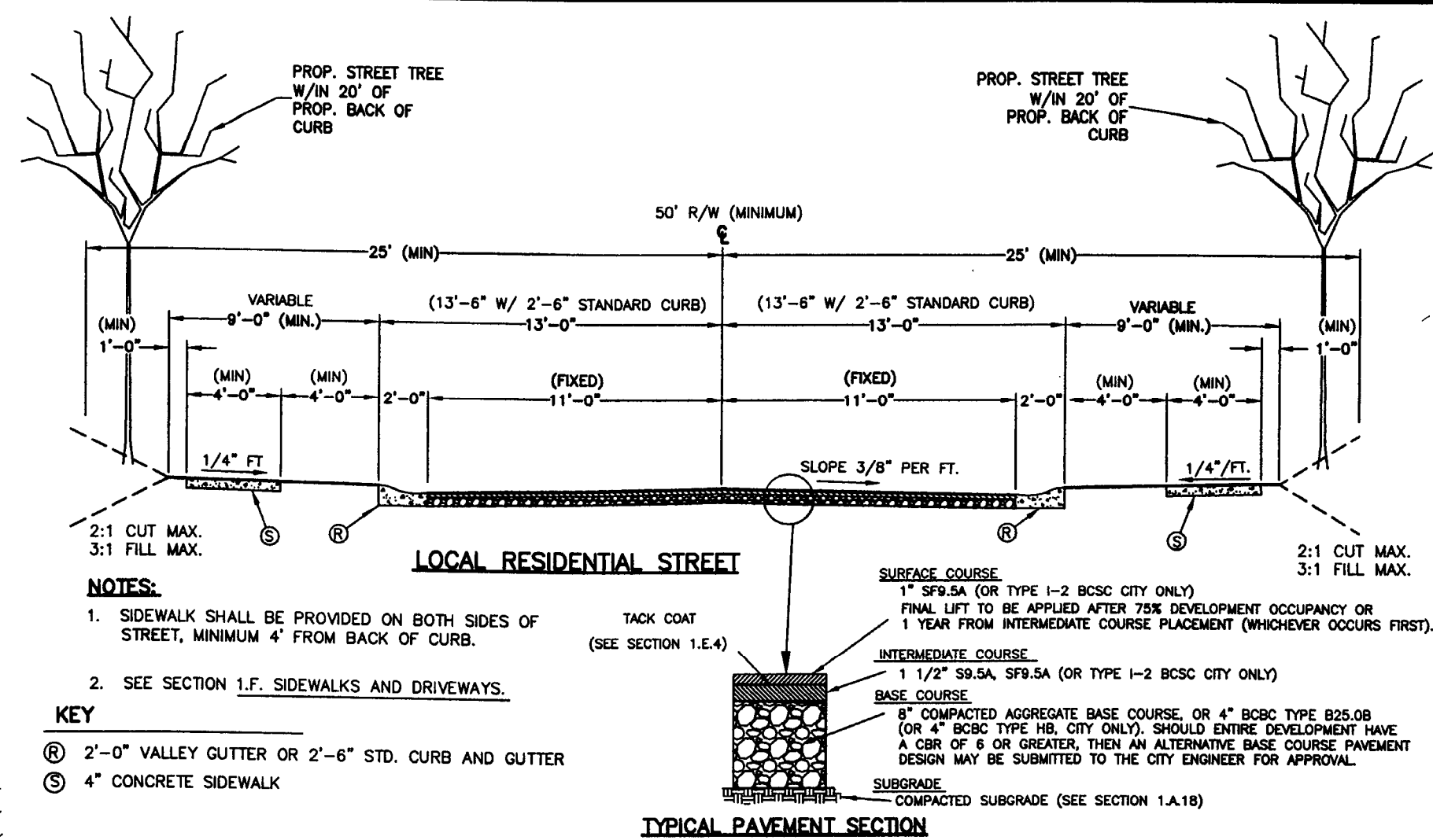
MIN. TOTAL TREE SAVE AREA REQUIRED = 10% OF PROJECT METHOD OF CALCULATION: SUBTRACT AREAS OF EXISTING & RESERVED RIGHT OF WAYS, UTILITY EASEMENTS AND EXISTING LAKES & PONDS FROM TOTAL SITE AREA BEFORE CALCULATING MIN. TREE SAVE REQUIRED

TOTAL SITE AREA = 24.53 AC. (PHASE 7)
TOTAL PHASE 7 TREESAVE REQUIRED = 0.10 x (24.53 ac.) = 2.45 ac.

TOTAL TREESAVE PROVIDED IN C.O.S. = 10.79 ac.
TOTAL PHASE 7 TREESAVE PROVIDED = 10.79 ac. > 2.45 ac. therefore OKAY

LEGEND

---	EXISTING SIDEWALK
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING STORM PIPE
---	EXISTING CATCH BASIN
---	PROP. STREET BARRICADE
---	PROP. STORM PIPE
---	PROP. STORM CATCH BASIN
---	PROPOSED PHASE LINE
---	DESIGNATED TREE SAVE AREAS IN C.O.S.
---	COMMON OPEN SPACE AREAS
---	PROPOSED SIDEWALK



TREE PLANTING

(FOR SINGLE AND MULTI-STEM TREES)

C.M.D. STD. 40.01
N.T.S.

TREE PROTECTION NOTES

1. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINE STANDARDS.
2. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
4. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND /OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
5. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
6. SPECIMEN TREES USED IN TREE SAVE CALCULATIONS HAVE BEEN SURVEYED. SITE INSPECTIONS HAVE DETERMINED THAT NO HERITAGE TREES ARE LOCATED ON THIS PROPERTY.
7. TREE PROTECTION FENCING TO BE PLACED AT THE DRIPLINE PLUS FIVE (5) FEET, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.

TREE PLANTING NOTES

1. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE HE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL.
2. FOR NEW PLANTING AREAS, REMOVE CONSTRUCTION DEBRIS. UN-COMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
3. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER TO RESOLVE BEFORE PLANTING.
4. CALL 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS 1 TO 2 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
5. ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
6. NEW TREES SHALL BE 2" CALIPER FOR STREET TREE REQUIREMENTS. SUPPLEMENTAL TREES SHALL BE 1-1/2" CALIPER IF PLANTED IN INDIVIDUAL LOTS, AND 3/4" CALIPER IN PLANTED IN COMMON OPEN SPACE.
7. REMOVE WIRE OR NYLON TWINE FROM BALL.
8. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
9. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
10. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES: SEC. 04100-TREE PLANTING, PART 3 PARAGRAPH B.9.



Project: HAMPTON PLACE SUBDV. PHASE 7	
Title: LANDSCAPE PLAN	
File #: 07057.dwg	Date: 02/04/08
Design By: AEN	Project Egr: ABC
Drawn By: AEN	Scale: 1" = 40'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217	
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C2.0	