

### GENERAL SUBDIVISION NOTES

1. THE LAND DEVELOPMENT INSPECTOR SHALL BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION. PH. (704) 336-2291
2. ALL ROAD IMPROVEMENTS AT WINDYRUSH ROAD TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION. PH. (704) 336-2291
3. DEVELOPER SHALL PROVIDE STREET SIGNS PER CALDS STD. 50.05.
4. SIGHT TRIANGLES AS SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
6. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE CITY INSPECTOR.
7. CURBS AND GUTTER SHOWN ON PLANS ALONG WINDYRUSH ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
8. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
9. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, LIMBS, JUNK, AND OTHER ACCUMULATIONS.
10. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
11. NON-STANDARD ITEMS (I.E. PAVES, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY SHALL REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
12. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE REQUIRED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE PLANS.
13. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE EFFECTED PROPERTY OWNERS.
14. DIRECT VEHICULAR ACCESS TO WINDYRUSH ROAD FROM LOTS 1-12 IS TO SERVE EACH INDIVIDUAL LOT.
15. ALL RESIDENTIAL DRIVEWAYS SHALL BE CITY OF CHARLOTTE STANDARD NO. 10.27.
16. REFER TO SHEET C3.0 FOR GRADING AND DRAINAGE.
17. REFER TO SHEET C3.2 AND C3.3 FOR EROSION CONTROL INFORMATION.
18. APPROXIMATE COMPLETION DATE IS FEBRUARY 2008.
19. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
20. DEMOLITION LANDFILL IS FOX HOLE - 17131 LANCASTER HWY CHARLOTTE, NC 28227

### DEVELOPMENT DATA

EXISTING ZONING: R-3

GROSS SITE AREA: 4.188 AC. (182,080 SF)  
NET SITE AREA: 4.188 AC. (182,080 SF)

TREE SAVE AREA: 10% REQUIRED = .4188 AC. (18,208 SF)  
TREE SAVE AREA PROVIDED: .47 AC. (20,302 SF)  
PERCENTAGE OF NET SITE AREA: 11.10%

PERMITTED NUMBER OF LOTS (Base Zoning): 12  
PROPOSED NUMBER OF LOTS: 12  
MINIMUM LOT SIZE: 12,000 S.F.  
MINIMUM LOT WIDTH: 70 FT.  
FRONT SETBACK: 30 FT.  
REAR YARD - INTERIOR LOTS: 45 FT.  
REAR YARD - EXTERIOR LOTS: 45 FT.  
SIDE YARD: 6 FT. INTERNAL / 15 FT. EXTERNAL  
PROPOSED DENSITY: 2.8 LOTS/AC.  
ALLOWABLE DENSITY: 3 LOTS/AC.  
EXISTING IMPERVIOUS: 0.27 ACRES (12,080 SF)  
EXISTING IMPERVIOUS REMOVED: 0.27 ACRES (12,080 SF)  
PROPOSED IMPERVIOUS: 0.50 ACRES (21,920 SF)  
DEVELOPED AREA: 3.7 ACRES (167,482 SF)

TAX PARCEL #211-293-10  
DB 17026 DP 18  
THOMAS ISAACS  
7301 WINDYRUSH ROAD  
CHARLOTTE, NC 28229

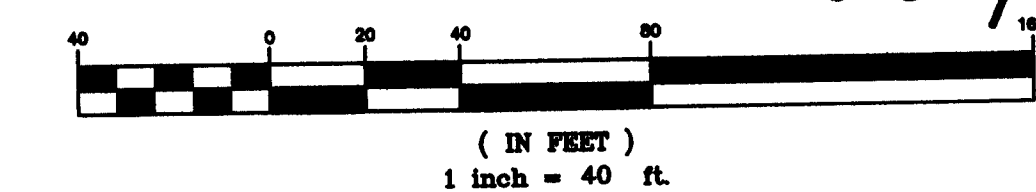
TAX PARCEL #211-293-02  
DB 7783 DP 363  
CHARLES D. MOORE, SR.  
7225 WINDYRUSH ROAD  
CHARLOTTE, NC 28229

### GENERAL NOTES

1. BOUNDARY AND SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY STEWART ENGINEERING, INC., DATED JULY 16, 2007. REFER TO SHEET C1.0 FOR INFORMATION REGARDING THE SURVEY.
2. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
3. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
4. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
5. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMAN AND THE GENERAL PUBLIC SHALL BE PROTECTED FROM INJURY.
7. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. TREE PROTECTION FENCE IS TO BE CHAIN LINK ON LOTS 1 & 12, AND ROOTS TO BE PRUNED PRIOR GRADING ACTIVITY. TO BE COORDINATED WITH URBAN FORESTRY SPECIALIST TOM JOHNSON (704) 336-3622

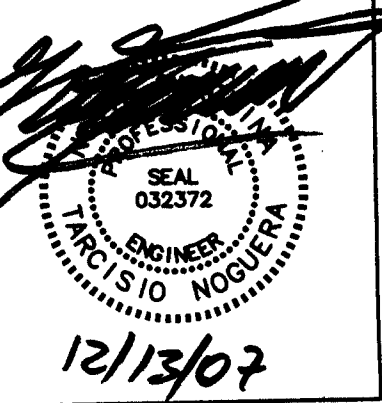
APPROVED FOR  
CONSTRUCTION  
CMPC

GRAPHIC SCALE



REVISED PER CITY OF CHARLOTTE COMMENTS	REVISED PER CITY OF CHARLOTTE COMMENTS	REVISED PER CDOT COMMENTS	NO.	DATE	DESCRIPTION
1	10/17/07				
2	12/3/07				
3	12/13/07				

200 S COLLEGE ST  
SUITE 720  
CHARLOTTE, NC 28202  
T 704.334.7925  
F 704.334.7926  
www.stewart-eng.com

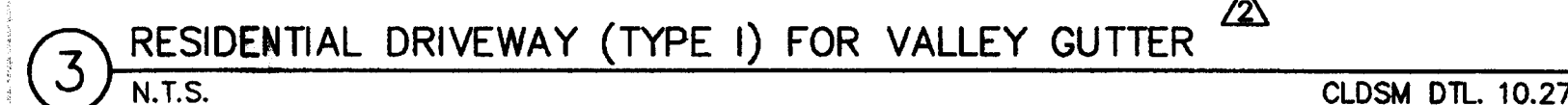
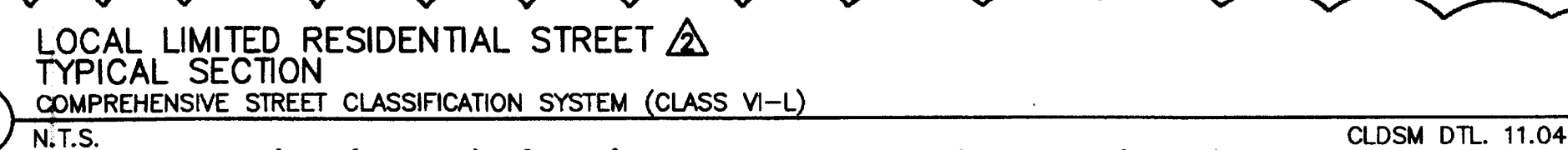


CHADWYCK HALL  
SUBDIVISION  
CHARLOTTE, NC  
DEVELOPER: ZENITH CONSTRUCTION, LLC  
WAXHAW, NORTH CAROLINA

SITE PLAN
DATE: 8/10/07
SCALE: HORIZ: 1" = 40'
JOB NO. X704.00
SHEET: C2.0







ELEVATION CHANGE AT CENTER LINE REFERENCED FROM TOP OF CURB		
	FOR STONEBASE	FOR ASP
SUBGRADE	-10-1/8"	-6-1/8"
BASE COURSE		-2-1/8"
INTERMEDIATE COURSE		-5/8"

200 S COLLEGE ST  
SUITE 720  
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[www.stewart-eng.com](http://www.stewart-eng.com)



**CHADWYCK HALL  
SUBDIVISION  
CHARLOTTE, NC**

## SITE DETAILS

DATE: 08/10/07

SCALE:

JOB NO. X7042.00

SHEET: C2.4