

UNIVERSITY CENTER MIXED-USE VILLAGE  
DEVELOPMENT STANDARDS  
DEVELOPMENT AREAS 1 (portion of) and 2b of 2001-103 SITE PLAN  
September 18, 2006

1. GENERAL PROVISIONS

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the Zoning Ordinance (the "Ordinance") for the NS, O-2 and B-2 zoning classifications shall be followed. The property subject to this petition shall consist of a portion of Development Area 1 and all of Development Area 2b of the Technical Data Sheet associated with Rezoning Petition Number 2001-103. The Technical Data Sheet and these Development Standards (together the "Site Plan") supercede in all respects all prior conditional use zoning plans with respect to the property that constitutes the Site.

The Technical Data Sheet is accompanied by conceptual site plans for development within the Site, which is referred to in these Development Standards as the "Schematic Site Plans." Detailed site planning and building design for the Site has not been finalized. The development depicted on the Schematic Site Plans is schematic in nature, and except as otherwise specified in these Development Standards, is intended only to describe the possible arrangements of uses and building elements and the schematic depictions of the uses, structures and building elements set forth on the Schematic Site Plans should be reviewed in conjunction with the provisions of these Development Standards. Consequently, except as otherwise expressly specified on the Technical Data Sheet and in these Development Standards, the ultimate layout of the development proposed, the exact alignments of streets, points of access, the numbers, the size, configuration and placements of buildings, the size, configuration and placements of parking areas, and the heights and masses of buildings have not been finally determined, and depictions of such elements on the Schematic Site Plans and schematic building elevations are not intended to be specific site development plans but rather preliminary graphic representations of the types and quality of development proposed. They may, therefore, be altered or modified during design development and construction document phases within the maximum building/parking envelope lines established on the Technical Data Sheet and subject to the accompanying Development Standards and Section 6.206 (2) of the Ordinance. Parking layouts may be modified to accommodate final building locations and ancillary facilities and parking spaces may be located inside or outside development area boundaries to the extent permitted by the Ordinance. Sidewalks generally depicted on the Schematic Site Plans are intended to reflect the general pedestrian circulation for development on the Site but the specific locations of such sidewalks may be subject to minor variations that do not materially change the design intent generally depicted on the Schematic Site Plans. The dimensions and specific locations of building/parking envelopes and parking envelopes generally depicted on the Technical Data Sheet may be subject to minor variations that do not materially change the design intent generally depicted on the Schematic Site Plans. As described in Section 4.1 below, the Site shall be viewed as a unified development plan in accordance with the provisions set forth therein.

2. PERMITTED USES AND BUILDING AREA RESTRICTIONS

2.1 This proposal is intended to accommodate the development of retail, restaurant, office, hotel and residential uses which will be interconnected with open space, pedestrian and vehicular linkages.

2.2 Area A as generally depicted on the Technical Data Sheet may be devoted to any of the following uses:

- (a) Up to 392 residential units; and
- (b) Up to 15,000 square feet of gross floor area of retail and/or restaurant space developed as part of mixed use residential/retail/restaurant building(s) located within that portion of Area A identified as Area A-1 on the Technical Data Sheet; and
- (c) Associated surface and structured parking spaces and accessory uses and uses permitted under prescribed conditions under the Ordinance. For purposes of the development limitations set forth in this Section 2, the term "gross floor area" or "GFA" shall mean and refer to the sum of the gross horizontal areas of each floor of a principal building, and any accessory buildings or structures on the site measured from the outside of the exterior walls or from the center line of party walls; provided, however, such term shall exclude any surface or structured parking facilities, or related access areas, areas used for building and equipment access (such as stairs, elevator shafts and maintenance crawl spaces), or areas devoted to uses or structures accessory to residential uses on the site (limitations on the scope of residential uses being determined on a per unit, rather than floor area basis); provided, further, areas devoted to outdoor dining are not intended to be included in the calculation of gross floor area.

2.3 Area B as generally depicted on the Technical Data Sheet may be devoted to any of the following uses:

- (a) Up to 75,000 square feet of retail and/or restaurant space, provided, however, the total combined gross floor area of retail and/or restaurant space within Area A and Area B shall not exceed 75,000 square feet;
- (b) Up to 200,000 square feet of gross floor area of office space;
- (c) Either one limited service hotel with up to 150 rooms with associated hotel uses and amenities such as restaurants, conference/meeting/banquet space, gift shops and similar uses; or one full service hotel with up to 375 rooms (a "full service" hotel refers to a hotel that includes restaurant and conference/meeting/banquet facilities within or adjacent to the hotel building); and
- (d) Associated surface and structured parking spaces and accessory uses and uses permitted under prescribed conditions as permitted under the Ordinance. Provided, however, (i) in the event that all of the 375 permitted hotel rooms are not constructed, additional office square footage shall be permitted at the rate of 500 square feet for each undeveloped hotel room up to a maximum of 100,000 square feet of additional office space and (ii) areas devoted specifically to outdoor dining shall not be included in the calculation of the square footage limitations set forth above.

2.4 In addition to the development option described for Area B in Section 2.3 above, the development of Area B may include up to two hotels with no more than 525 rooms collectively subject to the following limitations and restrictions:

- (a) One of the two hotels permitted shall be a full service hotel (a "full service" hotel refers to a hotel that includes restaurant and conference/meeting/banquet facilities within or adjacent to the hotel building);
- (b) The total amount of retail and/or restaurant uses on the Site shall not exceed 40,000 square feet of gross floor area and any such retail and/or restaurant space shall be located in mixed use residential/retail/restaurant buildings or retail/restaurant/office buildings.
- (c) The conditions and provisions outlined in Section 2.5 (b) and 2.5 (d) below shall also be met.

2.5 The permitted uses described in Sections 2.2 and 2.3 above shall be subject to the following limitations and restrictions:

- (a) The total amount of retail and/or restaurant uses on the Site shall not exceed 75,000 square feet of gross floor area;
- (b) No fast food restaurants with drive through window facilities or gas stations/convenience stores with gasoline sales shall be allowed;
- (c) No one single tenant or single fee ownership user may occupy more than 25,000 square feet of gross floor area on the ground floor; and
- (d) No more than one (1) independent freestanding building (or cluster of interconnected buildings that is independent) devoted solely to retail and/or restaurant uses may be developed on the Site. For the purposes of these Development Standards, an "independent" freestanding building or cluster of interconnected buildings shall mean a building or cluster that is disconnected from the adjacent development by drive-through lanes, parking areas, alleys and/or driveways without well-defined pedestrian cross-walk(s). The remaining freestanding buildings, with or without drive-through facilities, shall be interconnected. For the purposes of these Development Standards, an "interconnected" freestanding building shall mean a building which has a pedestrian connection to the abutting public street or abutting internal private streets generally depicted on the Conceptual Schematic Site Plan attached hereto, and the closest building within the Site that does not crossover drive-through lanes or driveways except by way of well-defined pedestrian cross-walk(s). More than one freestanding building may be part of an independent cluster of freestanding buildings that are collectively treated as a single independent freestanding building for the purpose of the limitation set forth above, to the extent that the buildings within such cluster are interconnected by a pedestrian sidewalk/cross-walk and a plaza, fountain area, seating area or other similar site amenity.
- (e) No more than 45,000 square feet of gross floor area devoted to retail and/or restaurants shall be permitted on the Site unless such uses are located within mixed use residential/retail/restaurant buildings or retail/restaurant/office buildings.

3. ACCESS POINTS

The total number of ingress/egress points shall be limited to the number shown on the Technical Data Sheet. The exact locations may vary somewhat from those depicted based upon final design and locational requirements as regulated by CDOT and, where applicable, NCDOT.

4. SETBACK, SIDE YARDS AND REAR YARDS

4.1 All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance, provided that a 30 foot landscape strip shall be maintained along McCullough Drive and along Collins and Alkman Drive. The Site shall be viewed as a unified development plan. As such, yards will not be required between buildings located on the Site. The Petitioner reserves the right to subdivide the Site and create lots within the interior of the development with no public street frontage or side and/or rear yards as part of a unified development plan. In addition, the Site can be viewed as a unified development plan in conjunction with the adjacent tracts.

4.2 The setback areas extending around the perimeter of the Site are to remain as open space and, except to the extent necessary to accommodate pedestrian pathways, walls, berms, fences, grading, signs, graphics or utility construction and, where indicated, vehicular access, will be restricted from future development. No buildings or parking lots or storm water detention basin (actual water surface area) may be placed within any setback as required by the Ordinance.

4.3 In setback areas where existing natural vegetation has been cleared to accommodate walls, berms, fences, grading, signs, graphics, vehicular access or utility construction, the cleared, unimproved areas will be landscaped with trees and/or shrubs in accordance with Class A buffer standards unless applicable ordinances or constraints imposed by utility companies would prohibit such landscaping.

4.4 A 100 foot landscape/tree save area will run parallel to Interstate 85. Subject to and in accordance with the following standards, trees located within this landscape area shall be preserved and such area maintained as follows: (a) trees and shrubs may be hand pruned only and no heavy equipment or vehicles shall be allowed within the outer most 90 feet of these area except in connection with utility installations or repair, (b) any plant material removed, shall be cut flush with the ground and no disturbance of the soil shall be permitted, except that the soil may be disturbed in connection with the installation of additional trees and shrubs and in conjunction with any utility installations or repair; (c) no tree limb removal, with the exception of dead or diseased limbs and in connection with utility installations or repair; (d) weeds and vines may be removed; (e) dead or diseased trees and materials may be removed; and (f) mulch may be applied to these areas.

4.5 Within the 30 foot landscape strip area along McCullough Drive, street trees will be provided at a 2 1/4 inch to 3 inch caliper and will be spaced at 35 feet to 45 feet on center depending on the most appropriate spacing for the species selected; provided, however, any existing street tree, including without limitation the existing maple trees, may be counted towards the satisfaction of this requirement.

4.6 Vehicle circulation and parking spaces will not be located in between buildings on the Site and McCullough Drive and Collins & Alkman Drive. However, circulation and parking spaces may be located to the side of buildings and/or between buildings on the Site.

4.7 Build to lines will be established as follows:

McCullough Drive	35 feet from the right-of-way
Collins and Alkman Drive	30 feet from the right-of-way
Public Streets A and B	15 feet from back of curb

5. SCREENING AND LANDSCAPING

5.1 Screening will conform to the applicable standards of Section 12.303 of the Ordinance.

5.2 Landscaping shall meet or exceed the requirements of the Ordinance and the City of Charlotte Tree Ordinance. Newly installed landscaping shall be consistent with the existing landscaping treatments.

5.3 Irrigation systems will be maintained by Petitioner or its successors and assigns in all landscaped setback areas along McCullough Drive.

5.4 All roof mounted mechanical equipment will be screened from view.

5.5 Dumpster areas will be enclosed by a brick wall with one side being a decorative wooden gate. If one or more sides of a dumpster area adjoin a side or rear wall of a building, then the side or rear wall may be substituted for a side.

5.6 A minimum of 10 % of the Site shall be preserved as tree save areas.

6. PARKING

6.1 Off street parking will meet or exceed the minimum standards established under the Ordinance and will not be allowed within the setbacks. Off street parking for residential units will be provided at a ratio of at least 1.6 spaces per unit.

6.2 Parking areas will be broken up with landscaping to avoid massing of paved material.

6.3 Where parking is not located behind buildings, screening shall be provided at the lot line by landscaping or decorative walks or fences. Shared parking may be allowed at the discretion of the Zoning Administrator.

6.4 Parking decks and underground parking are allowed, provided that perimeter parking deck elevations located immediately abutting and within 20 feet of right-of-way or easement lines associated with public or private streets or primary pedestrian circulation areas will include a "deck edge" designed in a manner consistent with the overall project design and image and substantially in compliance with Section 12.212(2)(c), (e) and (f) or Section 12.212(3)(d).

6.5 On street parking may be provided along public streets subject to the approval of CDOT.

6.6 Bicycle parking shall be provided in accordance with the Ordinance.

7. LIGHTING

7.1 Freestanding streetscape lighting fixtures installed within the Site will be uniform in design and fully shielded. Freestanding lighting fixtures shall be aluminum and coated in order to provide a wrought iron type appearance.

7.2 No cobra style lighting fixtures may be used on the Site.

7.3 The maximum height of any freestanding lighting fixture, including its base, shall not exceed 28 feet in height.

7.4 No wall "pak" type lighting will be allowed facing public streets. Any wall "pak" type lighting will be downwardly directed.

8. SIGNS

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance. Detached signs shall not exceed 5 feet in height or 50 square feet in size. No pylon type detached signs shall be permitted. Detached signage may be located within building setbacks and other locations throughout the Site in accordance with the Ordinance.

9. SIDEWALKS

Subject to the provisions of Section 11 below, sidewalks of at least five feet in width will be installed throughout the Site in accordance with the requirements of the Ordinance and as generally depicted on the Schematic Site Plans. The sidewalk network will provide internal pedestrian circulation as well as pedestrian access to McCullough Drive, Collins and Alkman Drive and other internal public streets.

10. STORM WATER MANAGEMENT

10.1 Storm water runoff will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte Ordinances and the Charlotte Mecklenburg Storm Water Design Manual. Surface level storm water detention, if provided, shall not be located in the setback required by the ordinance.

10.2 The detention shall tie-in to the existing abutting storm water system(s). The Petitioner shall have the receiving drainage system abutting the Site analyzed to ensure that it will not be taken out of standard due to this development. If it is found that the development will cause the receiving storm drainage system to be taken out of standard, the Petitioner shall provide adequate detention to prevent this from occurring. Should the existing, receiving drainage system be deemed to be out of standard prior to development of its Site, the Petitioner agrees to provide adequate detention to ensure that the system will not be additionally overburdened.

10.3 The Petitioner shall control and treat the entire runoff volume for the one-year 24-hour storm. Runoff draw down time shall be a minimum of 24 hours but not more than 120 hours.

10.4 For Area 1, the peak storm water release rates shall match pre-development rates for the 10-year and 25 year, 6-hour storm events or a downstream flood analysis shall be performed to determine whether peak control is needed and if so, for what level of storm frequency.

10.5 For Area 2, the peak storm water release rates shall match pre-development rates for the 10-year, 6-hour storm events and a downstream flood analysis shall be performed to determine whether additional peak control is needed and if so, for what level of storm frequency. If a downstream analysis is not performed, the peak storm water release rate shall match pre-development rates for the 10-year and 25-year, 6 hour storms.

10.6 Water quality best management practices (BMP's) shall be constructed on the site to achieve 85 % Total Suspended Solid removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMP's must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources Best Management Practices Manual, April 1999, Section 4.0. Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available. Use of Low Impact Development techniques is optional.

11. STREETSCAPE TREATMENT

Newly installed streetscape treatments along public streets abutting the Site (with the exception of Interstate 85) shall conform to the Ordinance and include a six foot sidewalk and an eight foot planting strip, provided, however, the existing sidewalk of five feet in width along Collins & Alkman Drive shall remain since installation of a six foot wide sidewalk could cause damage to existing trees. Retention of the existing sidewalk along Collins & Alkman Drive shall not require a variance or approval of the City Engineer.

12. VEHICULAR ACCESS AND ROADWAYS; TRANSPORTATION COMMITMENTS

(a) Vehicular access to the Site shall be as generally depicted on the Technical Data Sheet.

(b) The placements and configurations of these access points are subject to any modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.

(c) If this Rezoning Petition is approved, the Petitioner commits to cause to be constructed the following roadway improvements:

(i) Public Street A extending from McCullough Drive to the northerly property line of the site, said Public Street A to be designed to residential collector street standards and constructed as part of the development of uses permitted within Area A; and

(ii) Public Street B extending from Collins & Alkman Drive in a westerly direction to connect with the proposed "roundabout" or "T-intersection" depicted on the Technical Data Sheet, said Public Street B to be designed to commercial collector street standards and constructed in connection with development of the earlier to occur of the hotel uses permitted within Area B or greater than 15,000 square feet of gross floor area of office/retail and/or restaurant uses permitted within Area B; and

(iii) Private Street C extending from Public Street A to the property line of the adjoining Tax Parcel 047-212-02. Private Street C shall be a private street but built to public street standards for a residential collector street with the exception that head-in parking (either angled or perpendicular) will be allowed on the street. In the event CDOT allows this street to be a public street with head-in parking, it will be converted to a public street built to residential collector standards. A build-to line of 15 feet from back of curb will be established along the street if it is converted to a public street.

Notwithstanding the foregoing, the designs of the public streets described above may be adjusted or narrowed during the subdivision process to a lesser standard acceptable to the Petitioner and CDOT as may be set forth in the City of Charlotte Urban Street Design Guidelines.

(d) If this Rezoning Petition is approved, the Petitioner commits to dedicate and convey (by quitclaim deed) to CDOT the rights-of-way associated with Public Street A and Public Street B within sixty (60) days of completion of the improvements associated with such streets.

(e) The Petitioner will investigate options to provide direct connectivity to the proposed transit station at Ken Hoffman Drive.

13. DESIGN AND ARCHITECTURAL TREATMENT

The following design and architectural treatments shall apply to residential uses on the site:

- Buildings on the Site will feature four-sided architecture.
- The portion of the building exteriors located below the roof line and with the exception of windows, doors, garage doors, architectural accents, fenestration and wall signage shall be composed of brick, stone or cultured stone, and/or conventional stucco material. The roofs of the buildings will be constructed of 20 year architectural shingles.
- No vinyl siding, EIFS or Drivet shall be used in the construction of the units.
- No open, unconditioned breezeways will be allowed.
- A minimum of 25 % of the units will have access to a garage that may be either connected to a principal building or located within a detached building and a minimum of 15 % of the units will have access to a garage that is connected to a principal building.
- Dormers, pitched roofs, architectural fenestrations and accents shall be incorporated into the building design.
- Doors and/or windows shall be located at least every 20 feet on every side of the building in order to avoid blank walls.
- All dumpsters will be screened from view from a public street in the manner described in Section 5.5 above.
- The main entrance points into the residential areas shall include a tiered landscape treatment including large maturing trees, small ornamental trees, low-lying shrubs, and ground covers.

14. CHARLOTTE MECKLENBURG SCHOOLS AGREEMENT

Development of the Site will conform to the Letter of Agreement between the Petitioner and Charlotte Mecklenburg Schools and dated September 7, 2006

15. AMENDMENTS TO REZONING PLAN

Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then owner or owners of the applicable parcel or parcels affected by such amendment in accordance with Section 6 of the Ordinance.

16. BINDING EFFECT

If this Rezoning Petition is approved, the development program established under these Development Standards and the Technical Data Sheet shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the owners (from time to time) and their respective heirs, devisees, personal representatives, successors in interest and assigns.

Throughout this Rezoning Petition, the terms "Petitioner," "Owner" or "Owners," shall, with respect to each parcel within the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.

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PERMITTING  
SET  
NOT FOR  
CONSTRUCTION

CARLISLE APARTMENTS  
MULTI-FAMILY DEVELOPMENT  
Phillips Development & Realty, LLC, Charlotte, NC

DEVELOPMENT STANDARDS - REZONING PETITION #2006-96

PRELIMINARY PLANNED  
MULTI-FAMILY DEVELOPMENT  
APPROVAL  
Charlotte-Mecklenburg Planning Commission

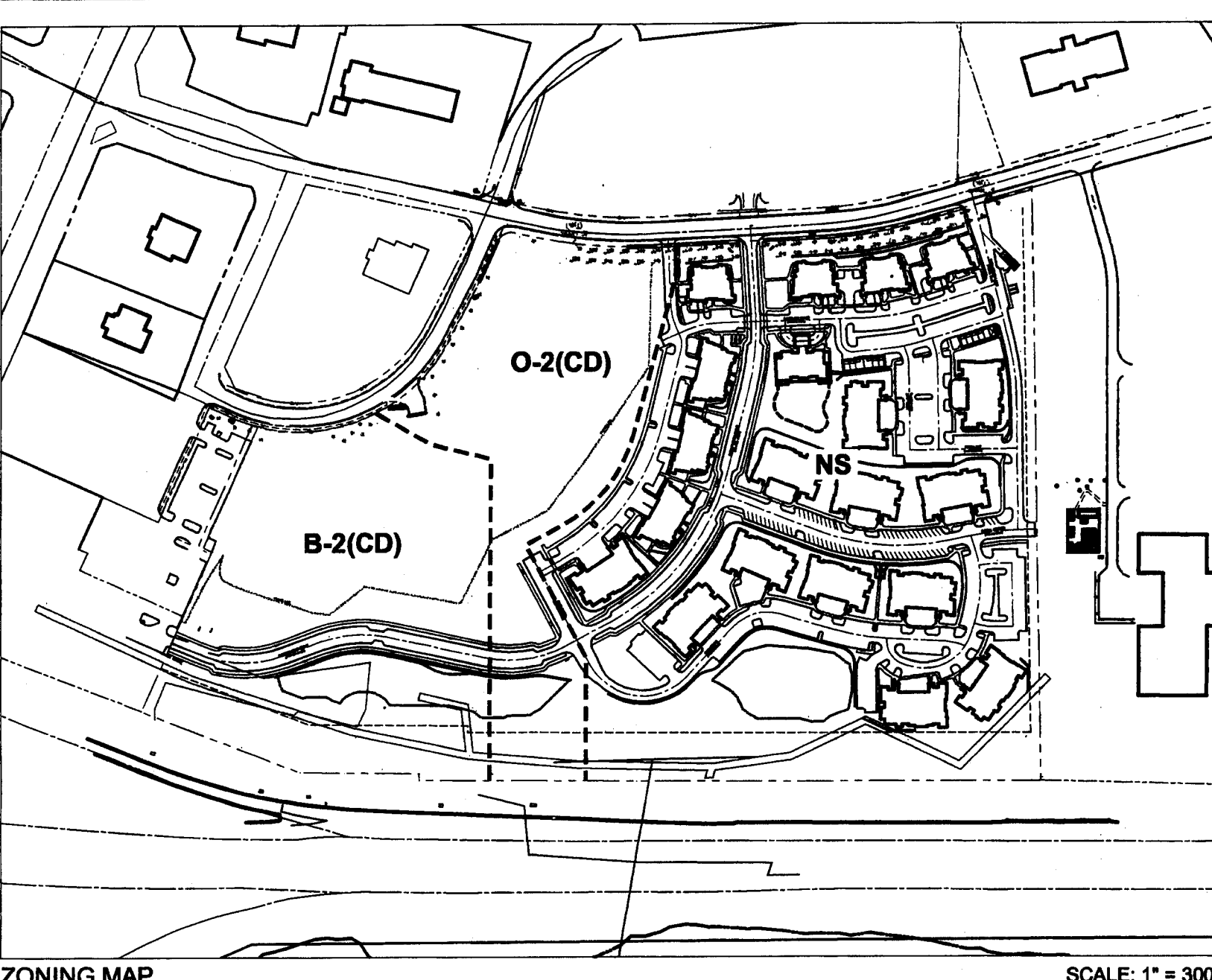
DATE OF PLAN: 11/20/07  
DRAWN BY: LD  
CHECKED BY: LD  
SCALE: AS SHOWN  
PROJECT #: 000633  
SHEET #

C1.2

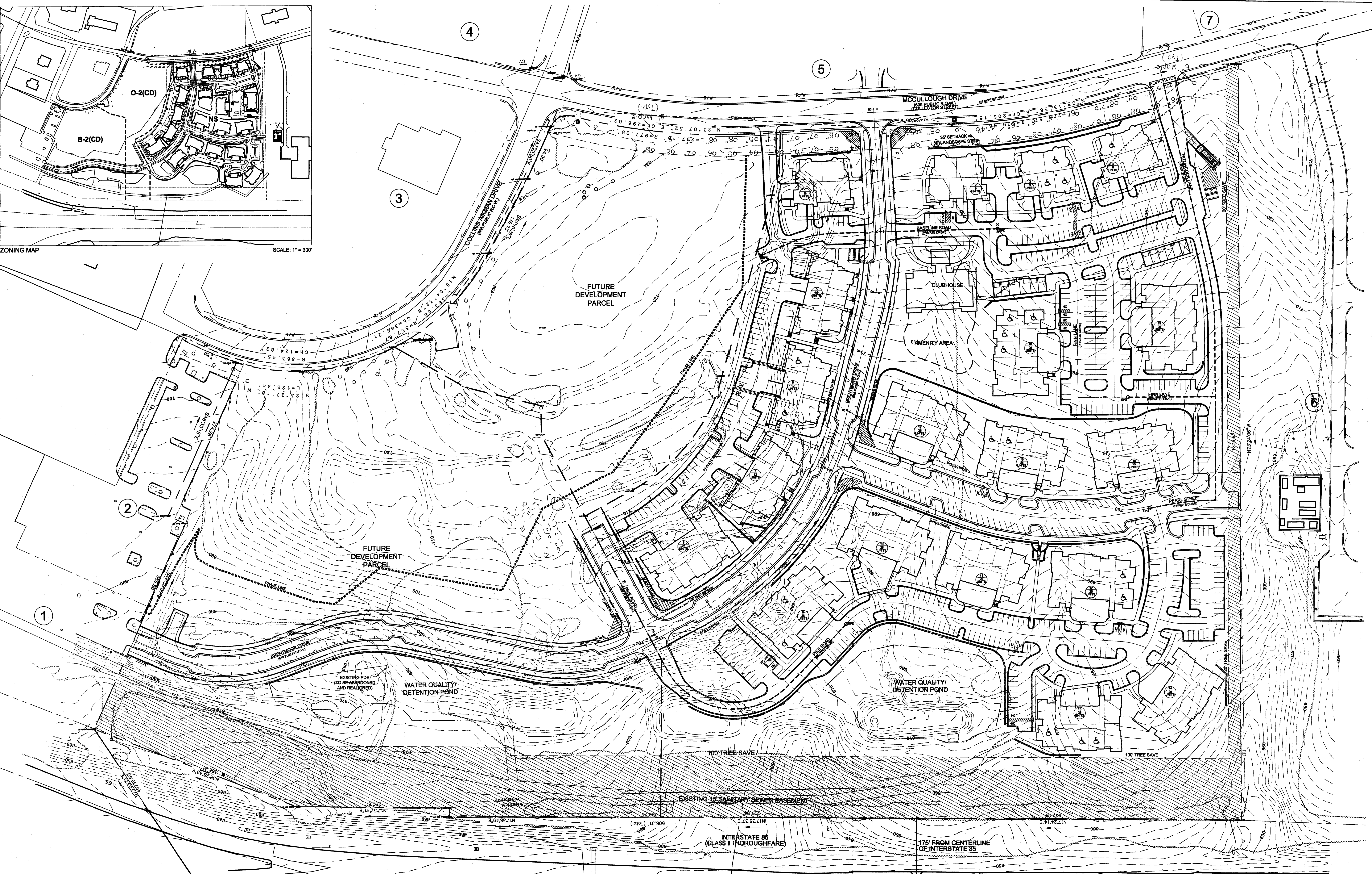








ZONING MAP SCALE: 1" = 300'



DEVELOPMENT SUMMARY			
PARCEL ID#:	PORTION OF 04721205	FLOOR AREA RATIO	2.0 FAR
EXISTING ZONING:	NS	MAXIMUM:	0.324 FAR
REZONING PETITION NO.:	2006-96	PROPOSED:	
USE:	APARTMENTS FOR RENT	SETBACKS:	
TOTAL SITE ACREAGE:	+/- 29.9 ACRES	MCCULLOUGH DRIVE:	35' FROM RIGHT OF WAY
IMPERVIOUS AREA		INTERNAL PUBLIC	
EXISTING:	+/- 0 ACRES	STREETS:	15' FROM BACK OF CURB
PROPOSED:	+/- 11.19 ACRES	ON-SITE PARKING	
PROPOSED USES		REQUIRED:	596 (1.6 SPACES PER UNIT)
RESIDENTIAL		PROPOSED:	619 TOTAL SPACES
APARTMENTS:	372 UNITS		
MAX BUILDING HEIGHT:	60R		
BUILDINGS 1-4:	2 STORY		
BUILDINGS 5-7:	2 STORY		
BUILDINGS 8-19:	3 STORY		
CLUBHOUSE:	1 STORY		

TREE SAVE AREA	
REQUIRED:	10% (+/- 4.12 ACRES)
PROPOSED:	10.6% (+/- 4.32 ACRES)
(NOTE: TREE SAVE AREA IS BASED ON THE TOTAL PLANNED DEVELOPMENT SITE OF 41.18 ACRES.)	
PRIVATE DRIVE REQUIREMENTS	
LINEAR FEET PROVIDED:	1,706.05 LF
REQUIRED:	1,706.05 (50%) = 853.025 LF OF PARKING (MAXIMUM)
PARKING PROPOSED:	594.37 LF @ 34.8%
SOLID WASTE / RECYCLING SUMMARY	
SOLID WASTE CONTAINERS	
REQUIRED:	8 CY COMPACTOR PER 90 UNITS = 33 CY
PROVIDED:	34 CY COMPACTOR
RECYCLING CONTAINERS	
REQUIRED:	(5) 144 sf STATIONS = 720 sf
PROVIDED:	(1) 720 sf STATION

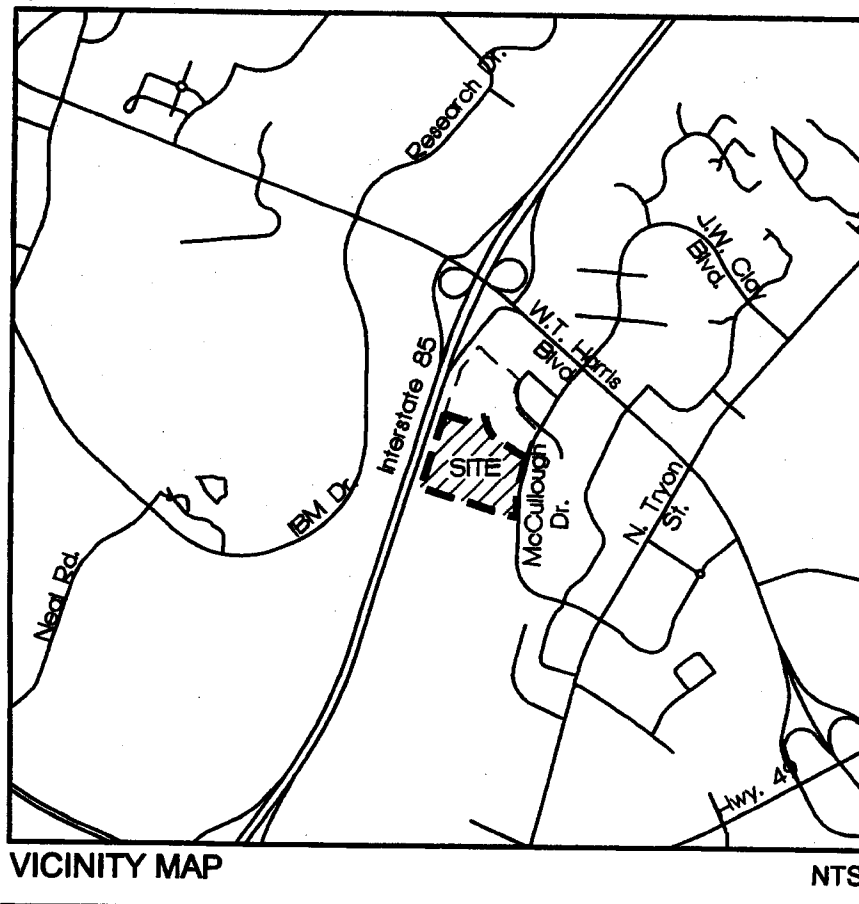
SOLID WASTE NOTES	
SITE WILL BE SERVICED BY PRIVATE SOLID WASTE CARRIER. A COMPACTOR WILL BE LOCATED ON SITE FOR ALL (20) BUILDINGS (372 UNITS) AND WILL MEET THE REQUIREMENTS OF THE ORDINANCE.	
ESTIMATED TIME OF COMPLETION	
SPRING 2009	
ADJACENT PROPERTY OWNERS	
1. WILLIAM B. CLINE, SR. 806 PINE FOREST ROAD CHARLOTTE, NC 28214 DB 18476-42 PARCEL ID 04721214 B-2 (CD) - COMMERCIAL	4. DRURY INS. INC. 721 EMERSON ROAD, #400 ST. LOUIS, MO 63141 DB 8538-149 PARCEL ID 04721120 O-2 (CD) - HOTEL / MOTEL
2. UNIVERSITY CENTER DEVELOPMENT, LLC 1310 S. TRYON STREET, SUITE 104 CHARLOTTE, NC 28203 DB 18115-825 PARCEL ID 04721213 B-2 (CD) - VACANT	5. EASLAN CAPITAL VININGS AT UNIVERSITY CENTER, LLC 2101 8th AVENUE NORTH, SUITE 750 BIRMINGHAM, AL 35203 DB 18115-825 PARCEL ID 04721112 O-3 (CD) - MULTI-FAMILY / COMMERCIAL
3. PALILLO UNIVERSITY, LLC 520 COLLINS-AIKEN DRIVE CHARLOTTE, NC 28262 DB 18140-596 PARCEL ID 04721207 B-1 (CD) - OFFICE	6. ALLSTATE INSURANCE COMPANY 110 MAIDEN LN, 38th FLOOR NEW YORK, NY 10005 DB 08215-467 PARCEL ID 04721202 O-15 (CD) - OFFICE

GENERAL NOTES	
1. REFER TO SHEET C1.2 FOR DEVELOPMENT CONDITIONS.	
2. REFER TO SHEET C2.1 FOR LAYOUT PLAN.	
3. REFER TO SHEET C4.0 FOR GRADING PLAN.	
4. REFER TO SHEET C8.0 FOR REQUIRED PLANTING PLAN.	

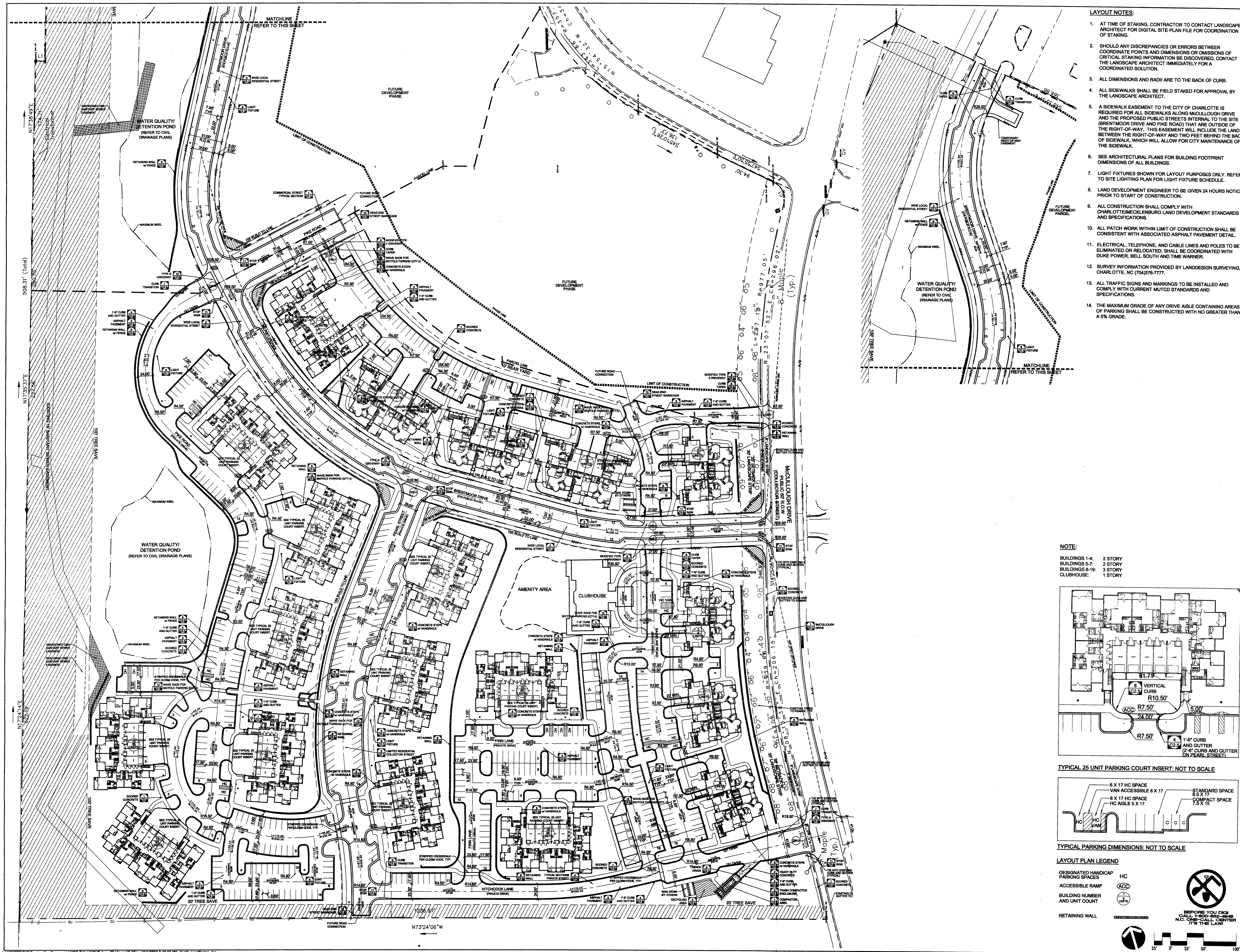
7. DECK-UNIVCENTER COURT, LLC PO BOX 450233 ATLANTA, GA 31146 DB 9590-020 PARCEL ID 04721131 O-2 (CD) - OFFICE
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BEFORE YOU DIG!  
CALL 1-800-632-4949  
N.C. ONE CALL CENTER  
IT'S THE LAW!

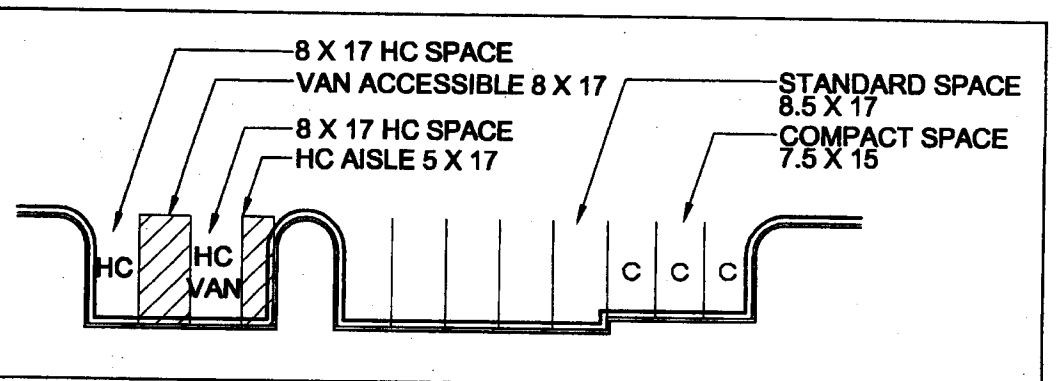
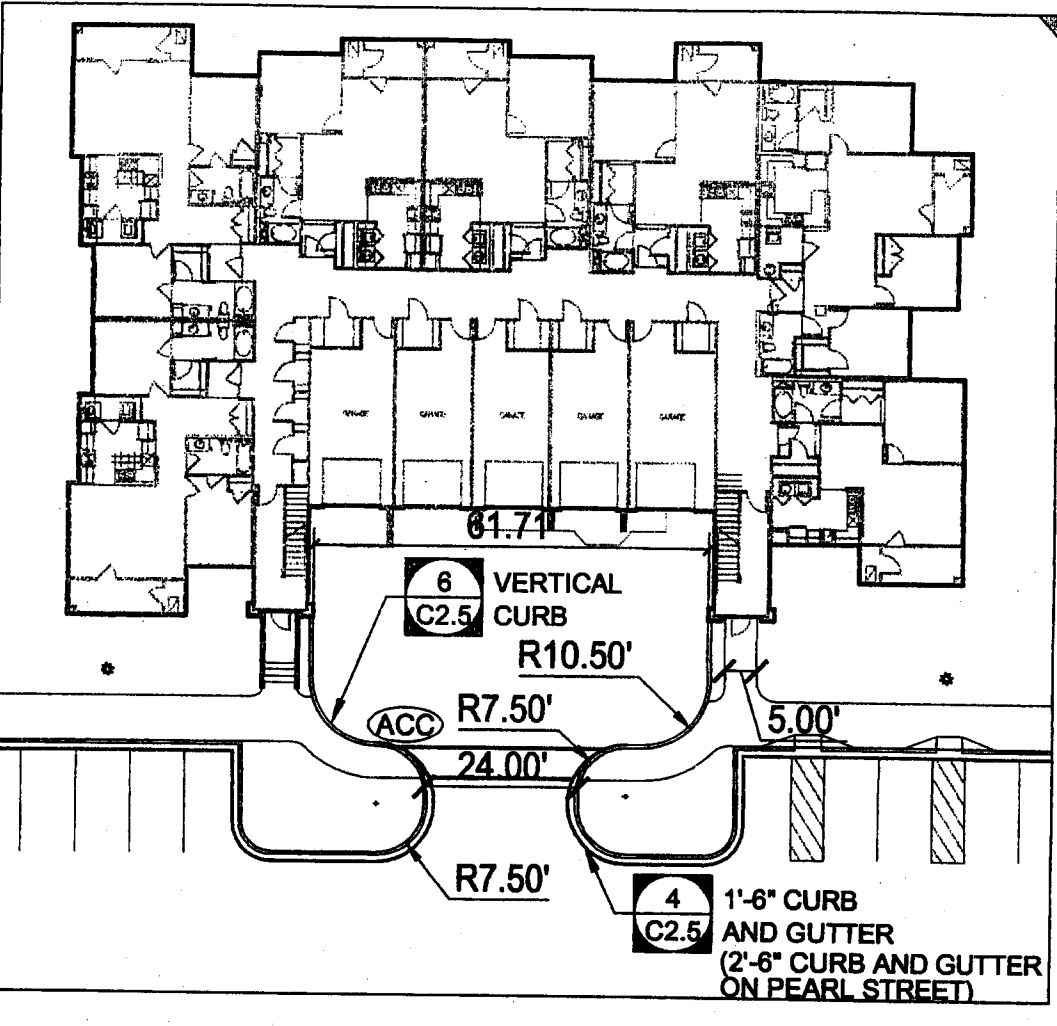






- LAYOUT NOTES:**
1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
  2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
  3. ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB.
  4. ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
  5. A SIDEWALK EASEMENT TO THE CITY OF CHARLOTTE IS REQUIRED FOR ALL SIDEWALKS ALONG McCULLOUGH DRIVE AND THE PROPOSED PUBLIC STREETS INTERNAL TO THE SITE (BRENTMOOR DRIVE AND PEARL ROAD) THAT ARE OUTSIDE OF THE RIGHT-OF-WAY. THIS EASEMENT WILL INCLUDE THE LAND BETWEEN THE RIGHT-OF-WAY AND TWO FEET BEHIND THE BACK OF SIDEWALK, WHICH WILL ALLOW FOR CITY MAINTENANCE OF THE SIDEWALK.
  6. SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS OF ALL BUILDINGS.
  7. LIGHT FIXTURES SHOWN FOR LAYOUT PURPOSES ONLY. REFER TO SITE LIGHTING PLAN FOR LIGHT FIXTURE SCHEDULE.
  8. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
  9. ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  10. ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
  11. ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED, SHALL BE COORDINATED WITH DUKE POWER, BELL SOUTH AND TIME WARNER.
  12. SURVEY INFORMATION PROVIDED BY LANDESDSIGN SURVEYING, CHARLOTTE, NC (704)376-7777.
  13. ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY WITH CURRENT MUTCD STANDARDS AND SPECIFICATIONS.
  14. THE MAXIMUM GRADE OF ANY DRIVE AISLE CONTAINING AREAS OF PARKING SHALL BE CONSTRUCTED WITH NO GREATER THAN A 5% GRADE.

- NOTE:**
- |                 |         |
|-----------------|---------|
| BUILDINGS 1-4:  | 2 STORY |
| BUILDINGS 5-7:  | 2 STORY |
| BUILDINGS 8-19: | 3 STORY |
| CLUBHOUSE:      | 1 STORY |



**LAYOUT PLAN LEGEND**

DESIGNATED HANDICAP PARKING SPACES	HC
ACCESSIBLE RAMP	ACC
BUILDING NUMBER AND UNIT COUNT	1/15
RETAINING WALL	RET

BEFORE YOU DIG  
CALL 1-800-852-6868  
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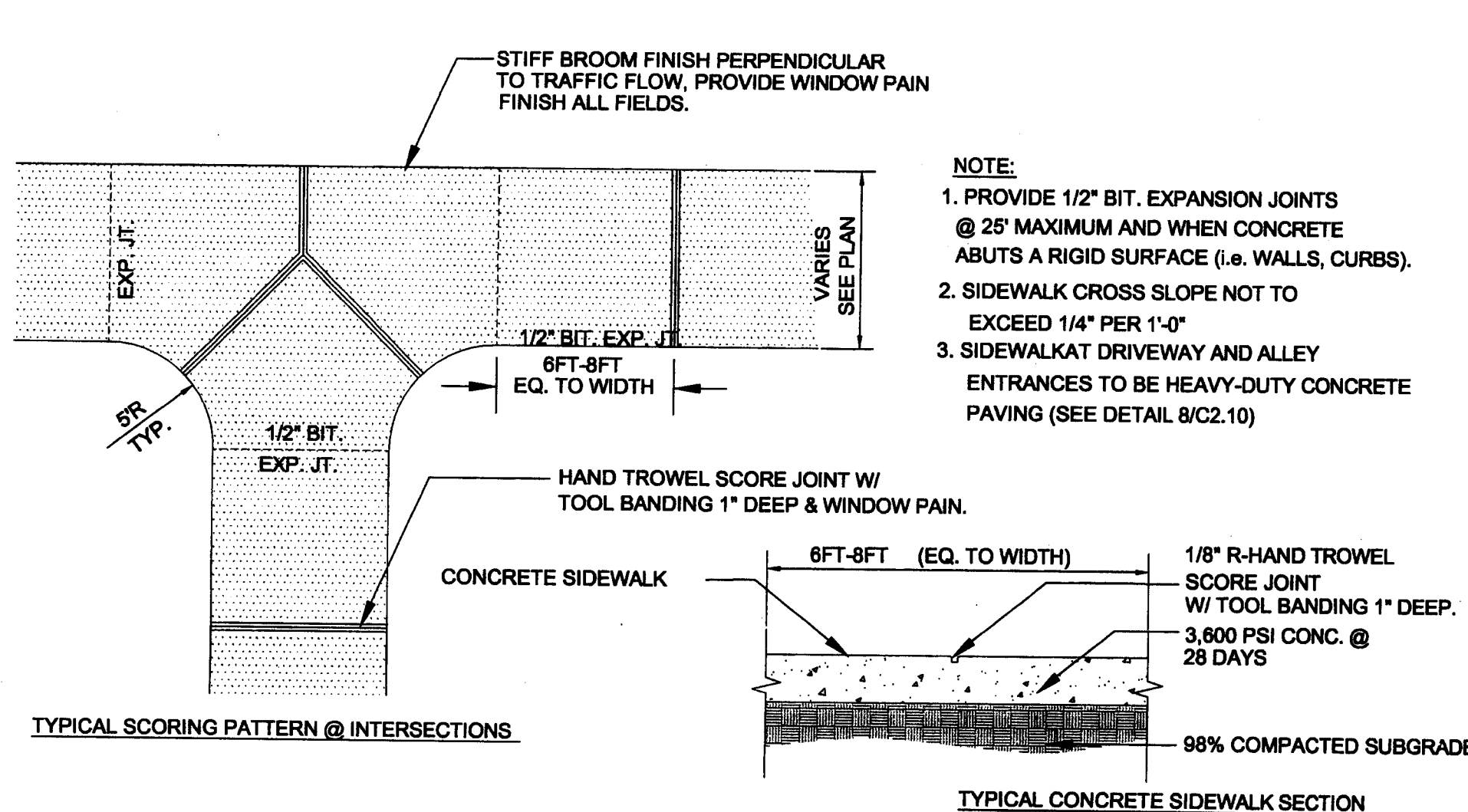


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NOT FOR CONSTRUCTION

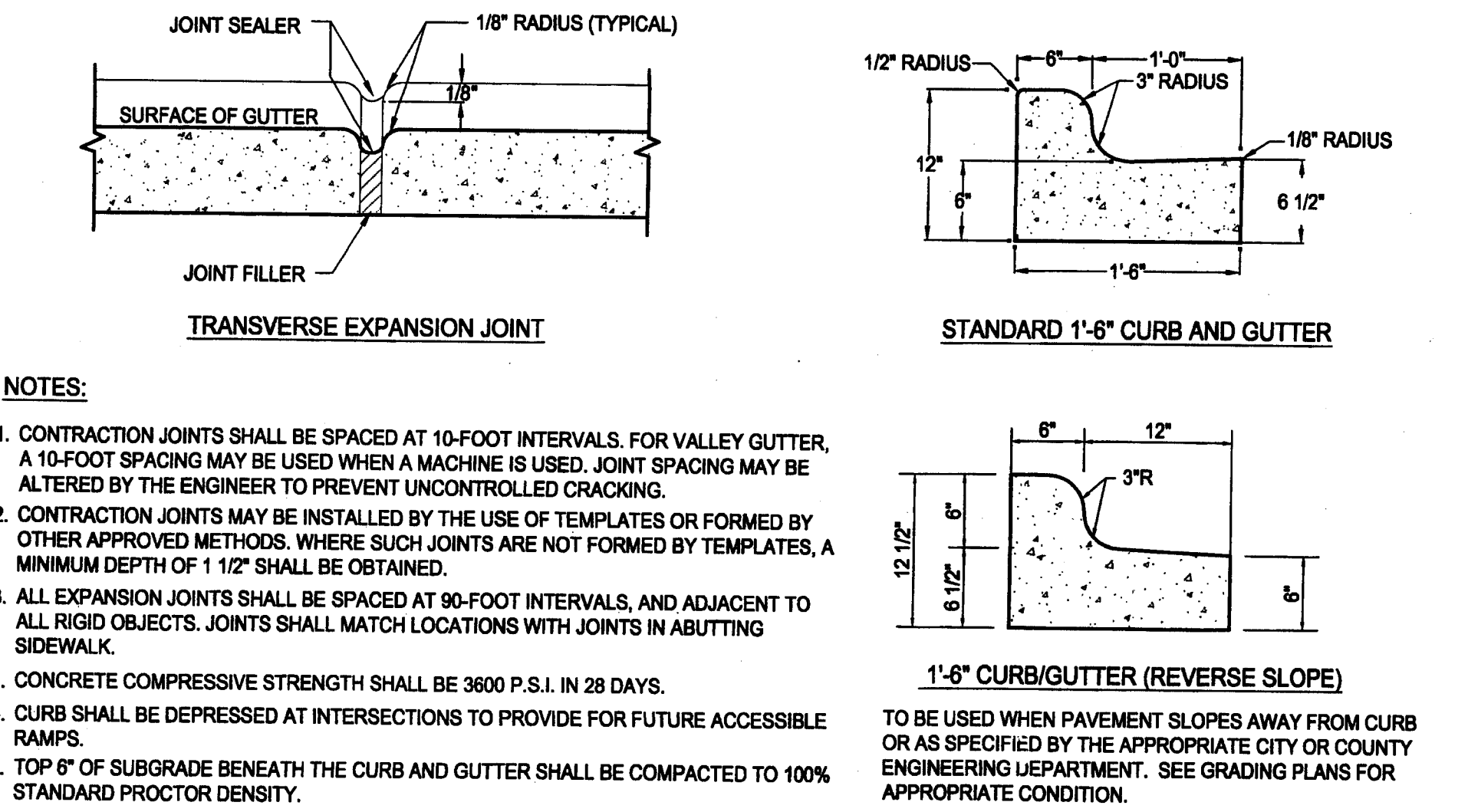
**CARLISLE APARTMENTS**  
**MULTI-FAMILY DEVELOPMENT**  
Phillips Development & Realty, LLC, Charlotte, NC  
**LAYOUT PLAN**

DATE: 07/20/07  
DESIGNED BY: J. D. BRYAN  
CHECKED BY: J. D. BRYAN  
DATE: 07/20/07  
PROJECT #: 100638  
SHEET #:  
**C2.1**

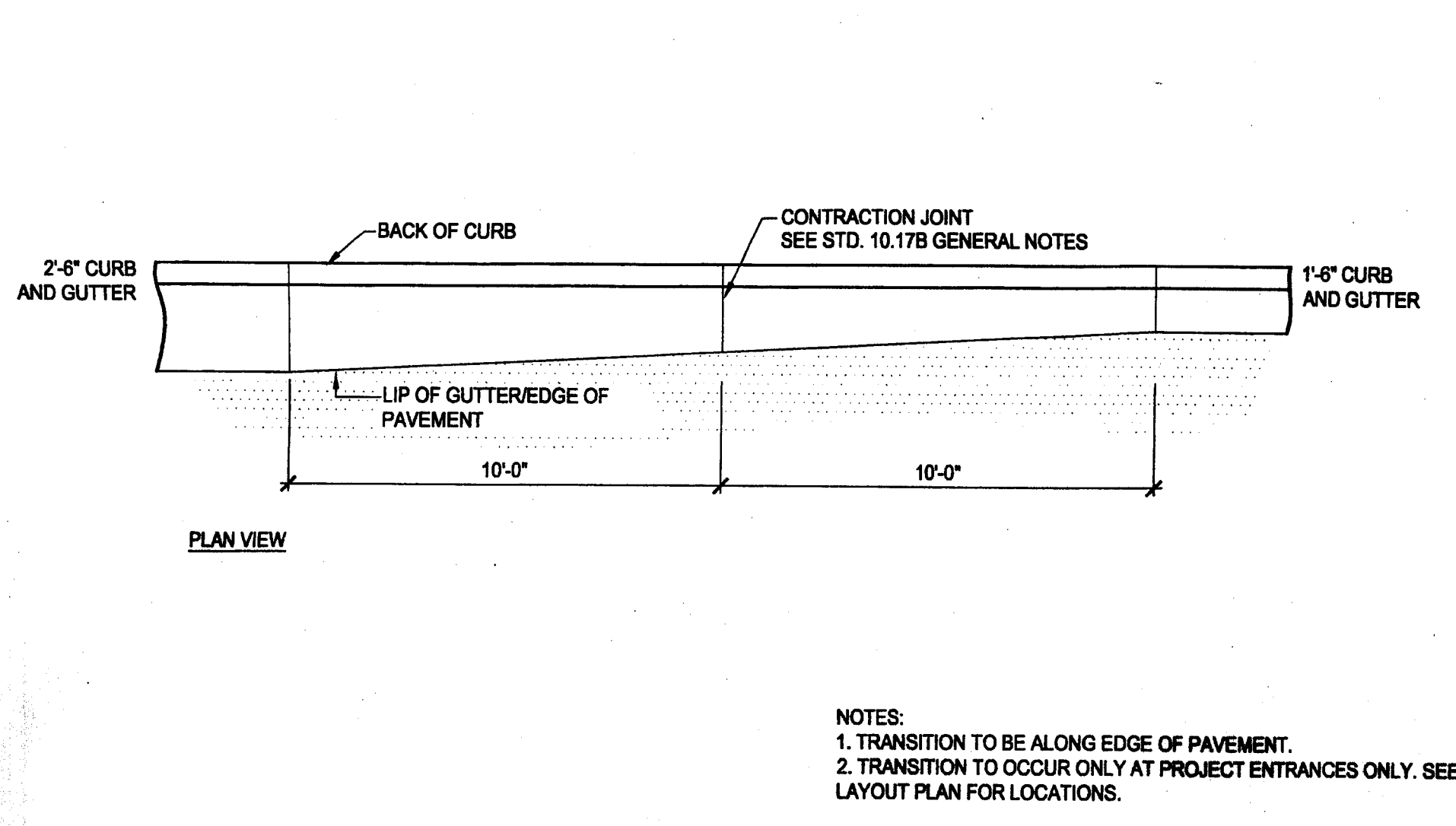




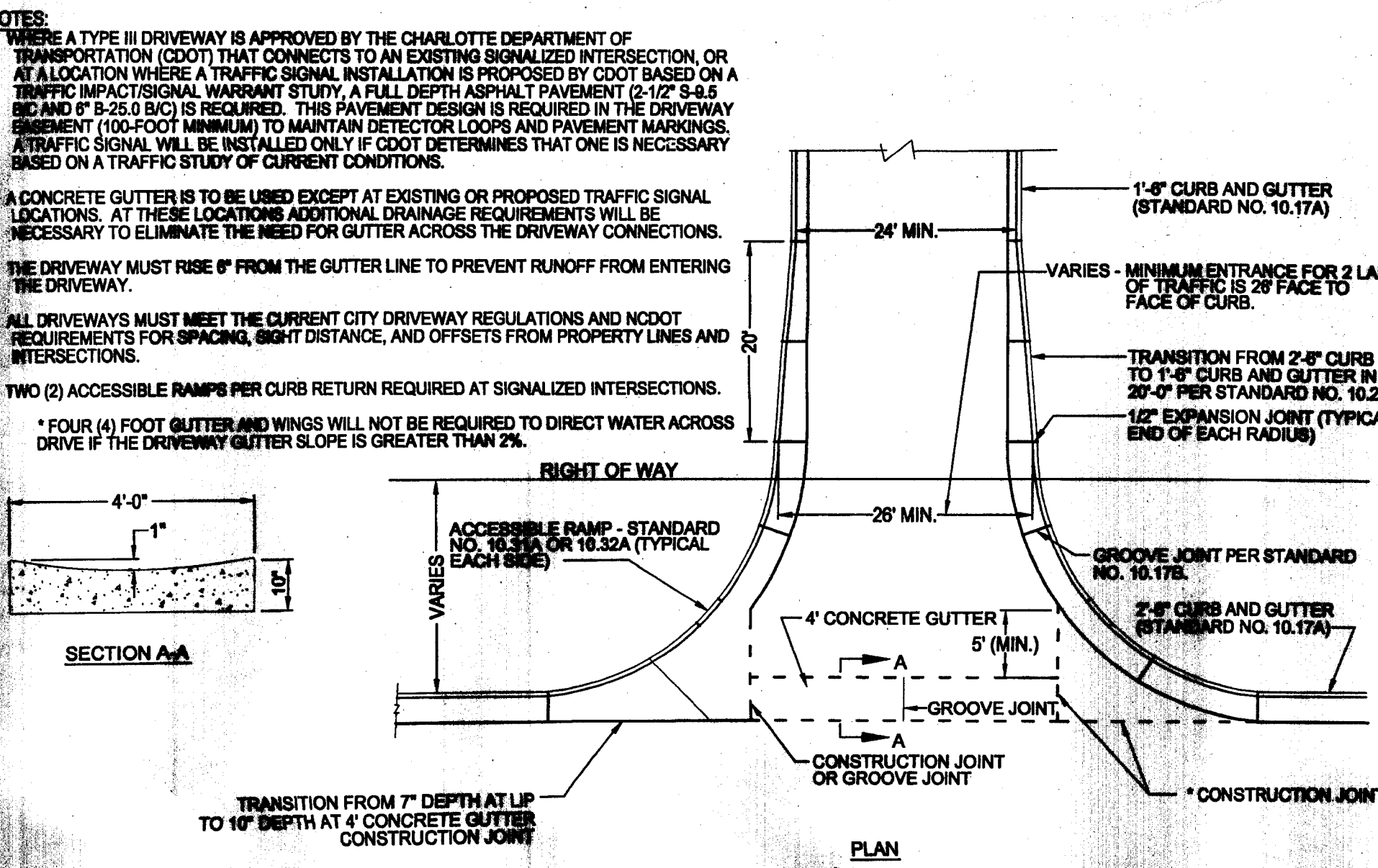
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NOT TO SCALE



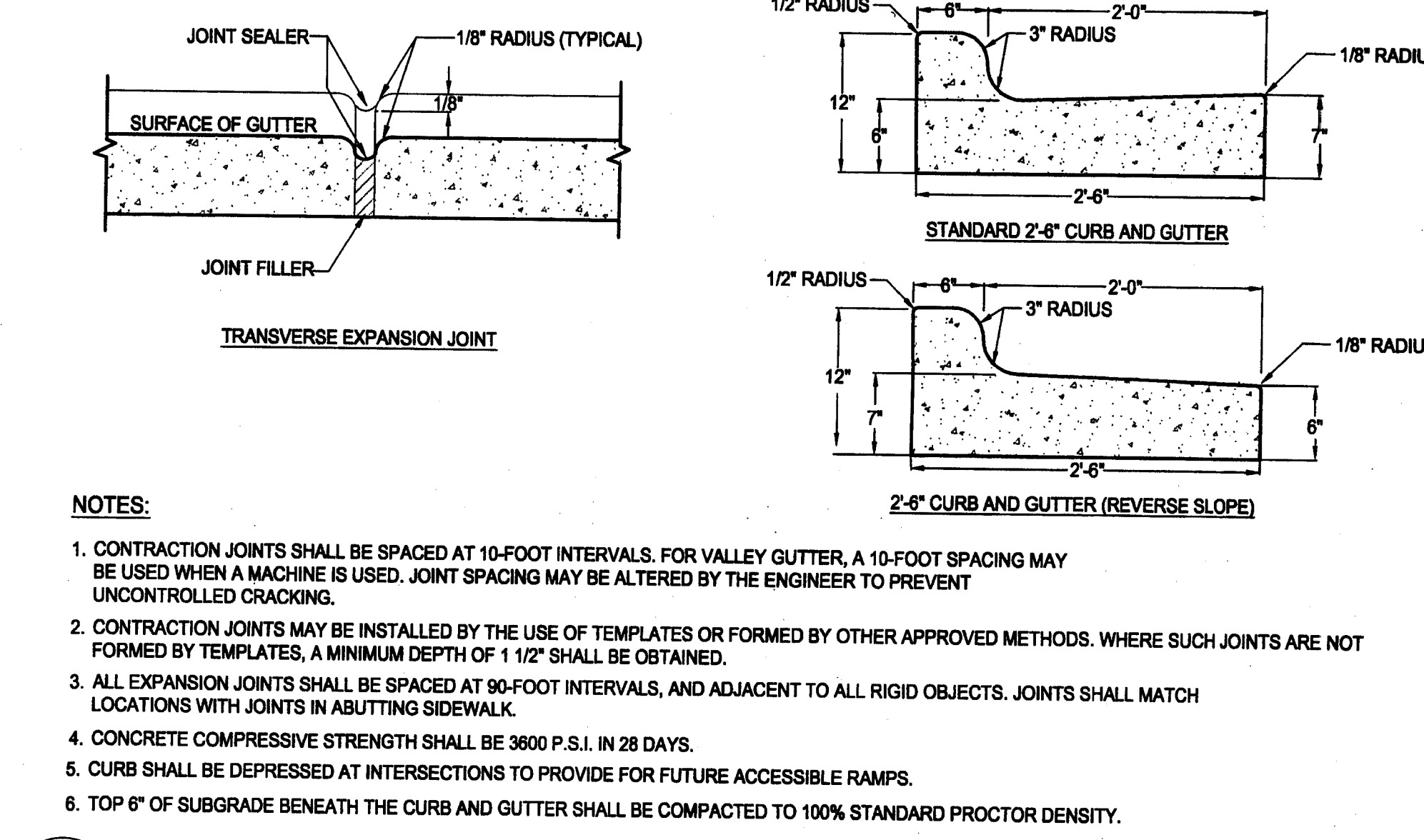
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NOT TO SCALE



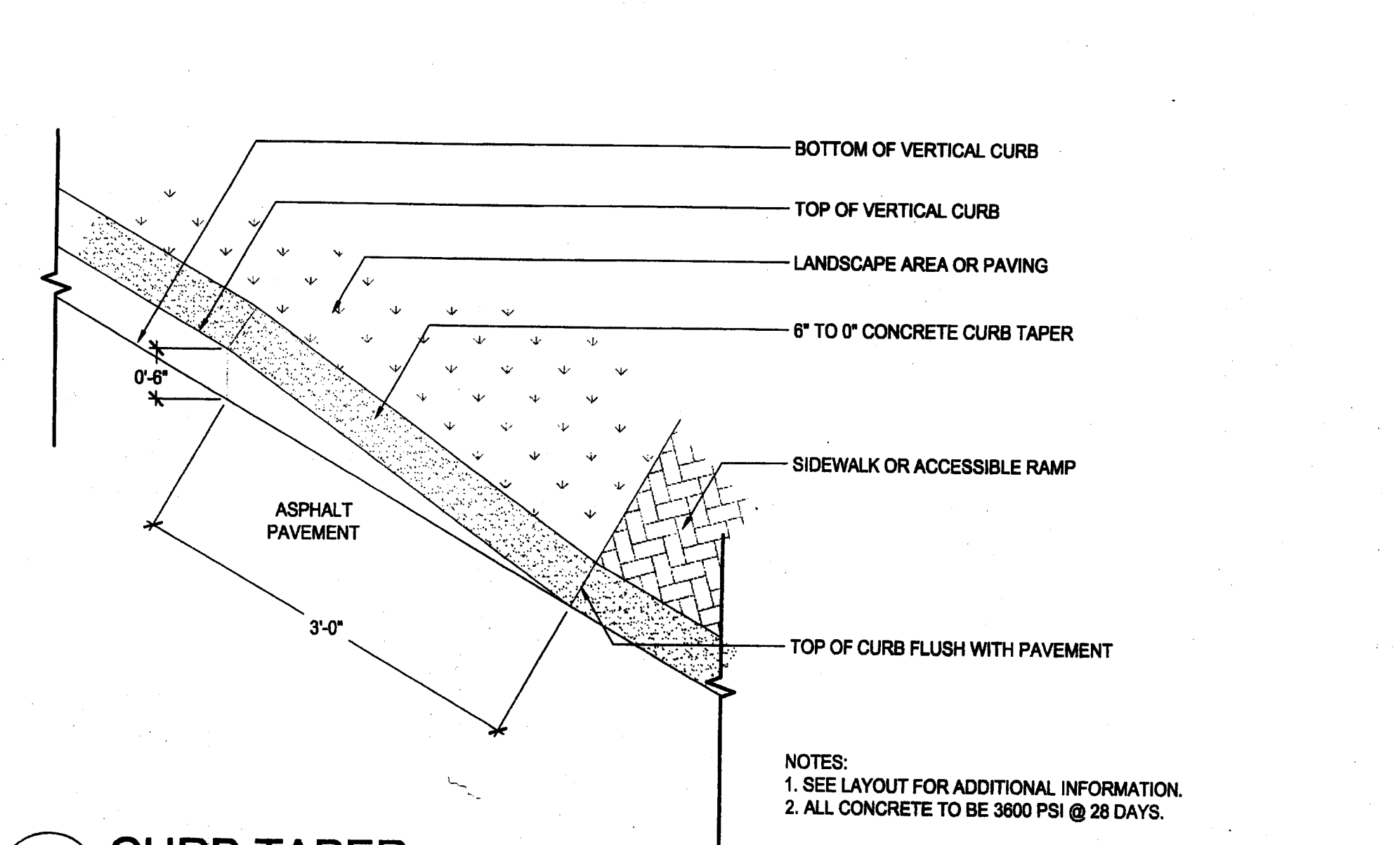
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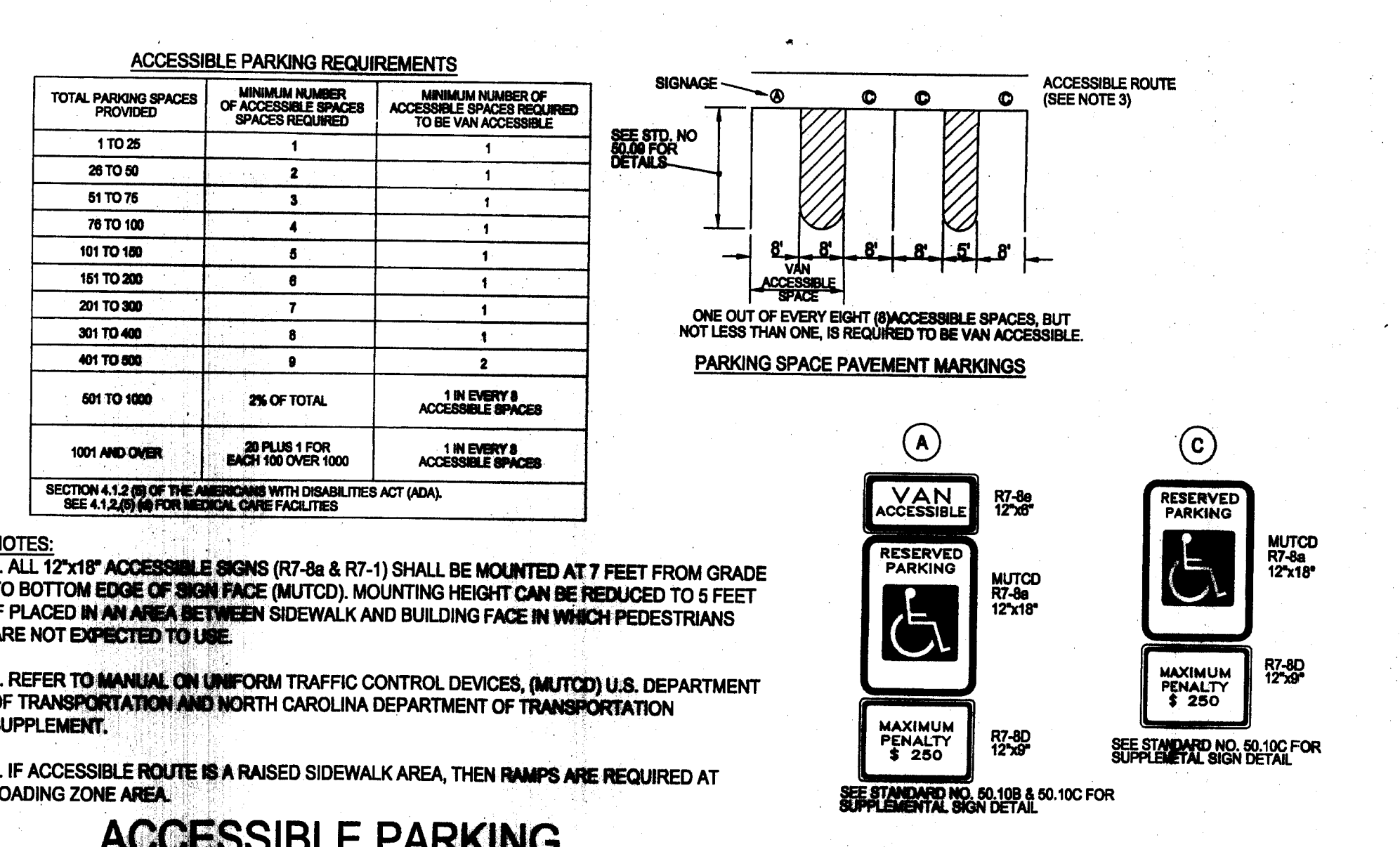
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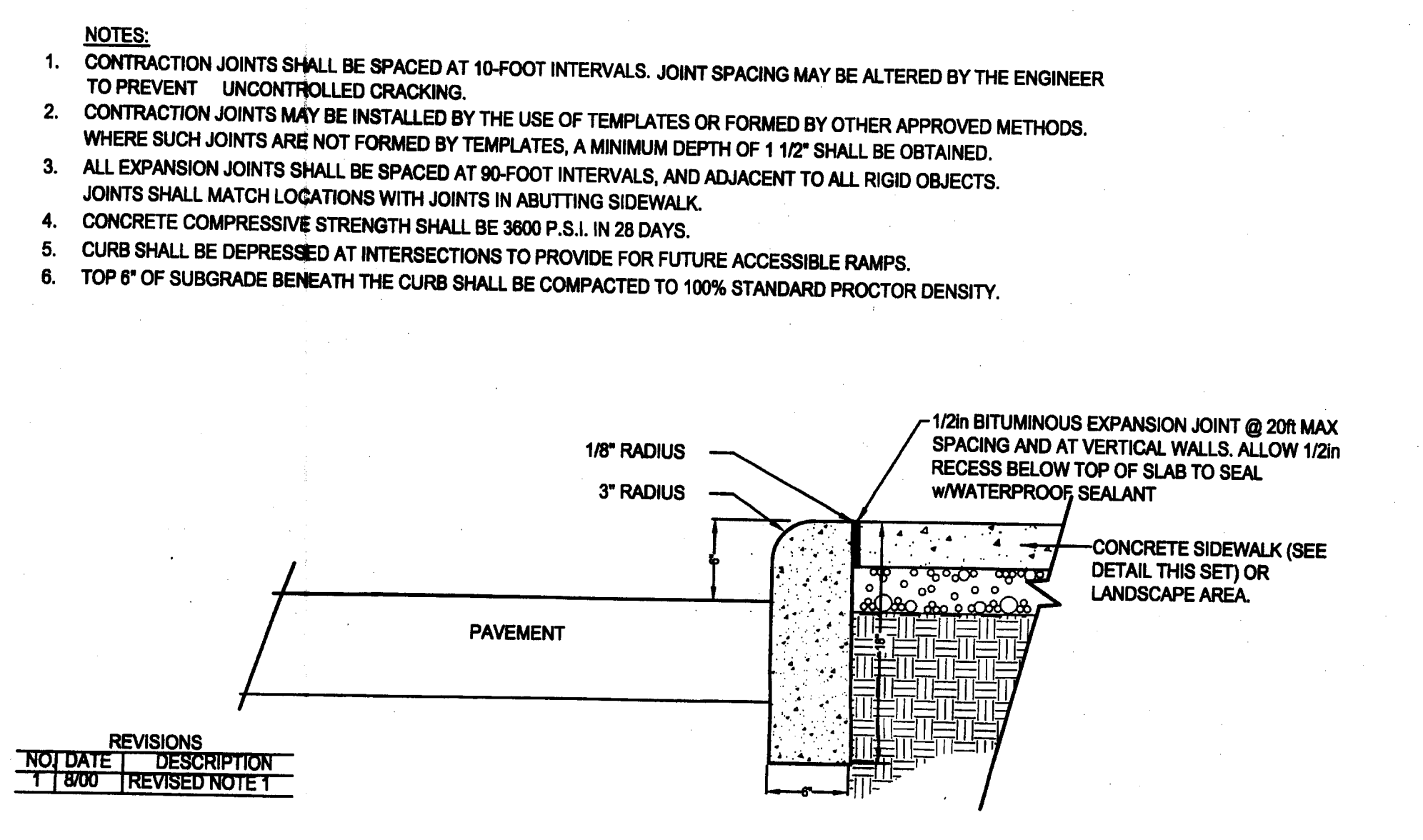
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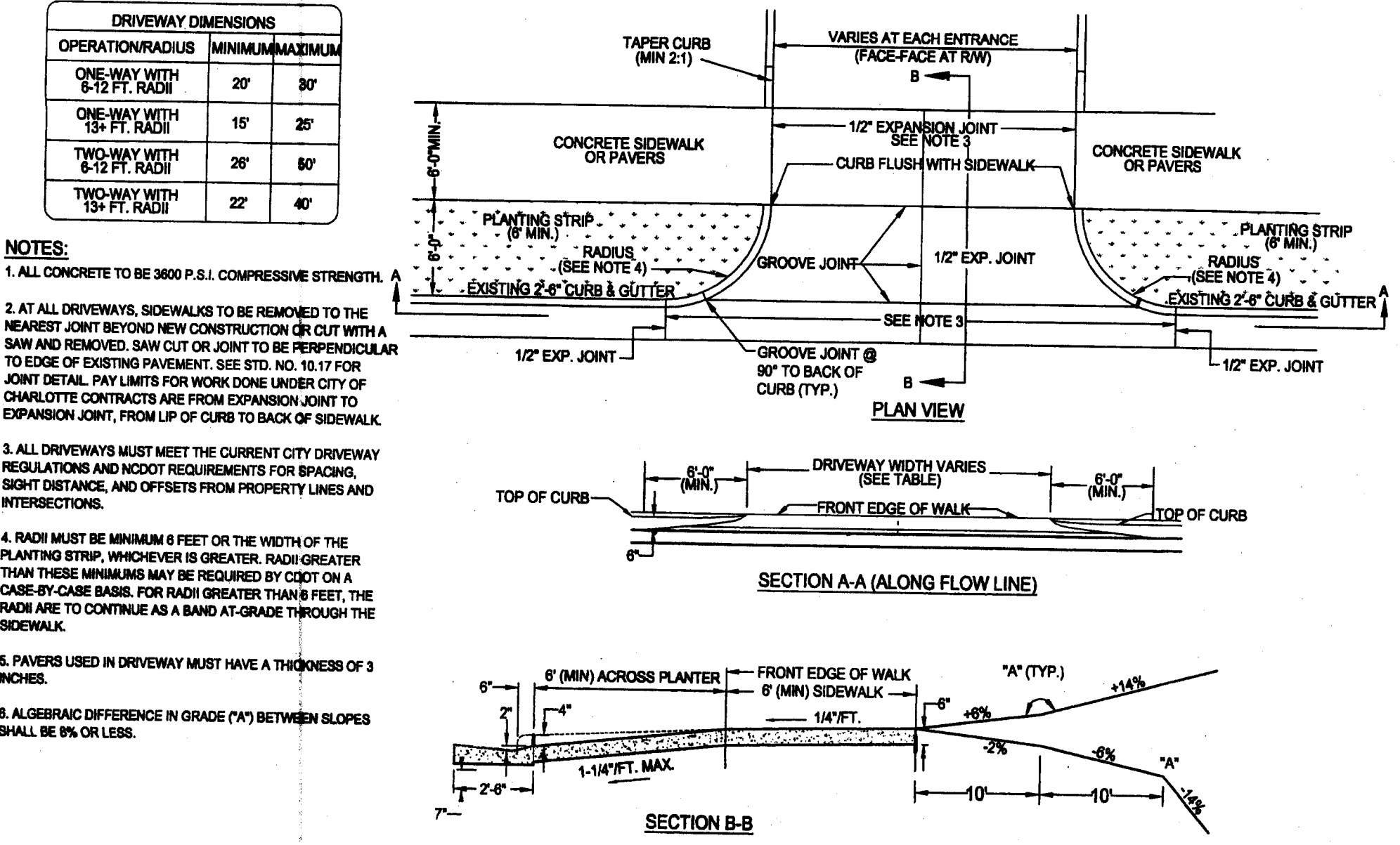
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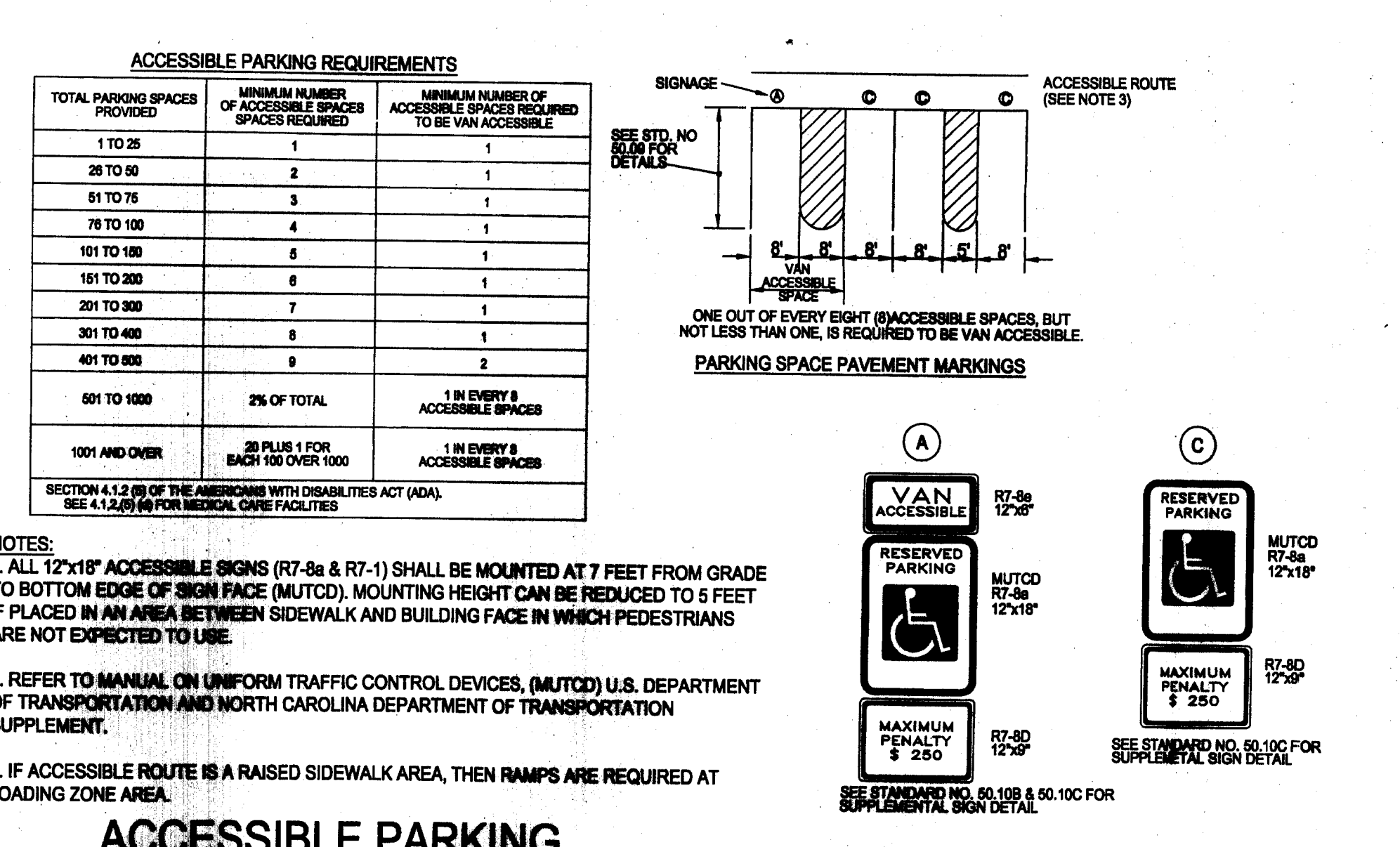
**7 CURB TRANSITION**  
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NOT TO SCALE



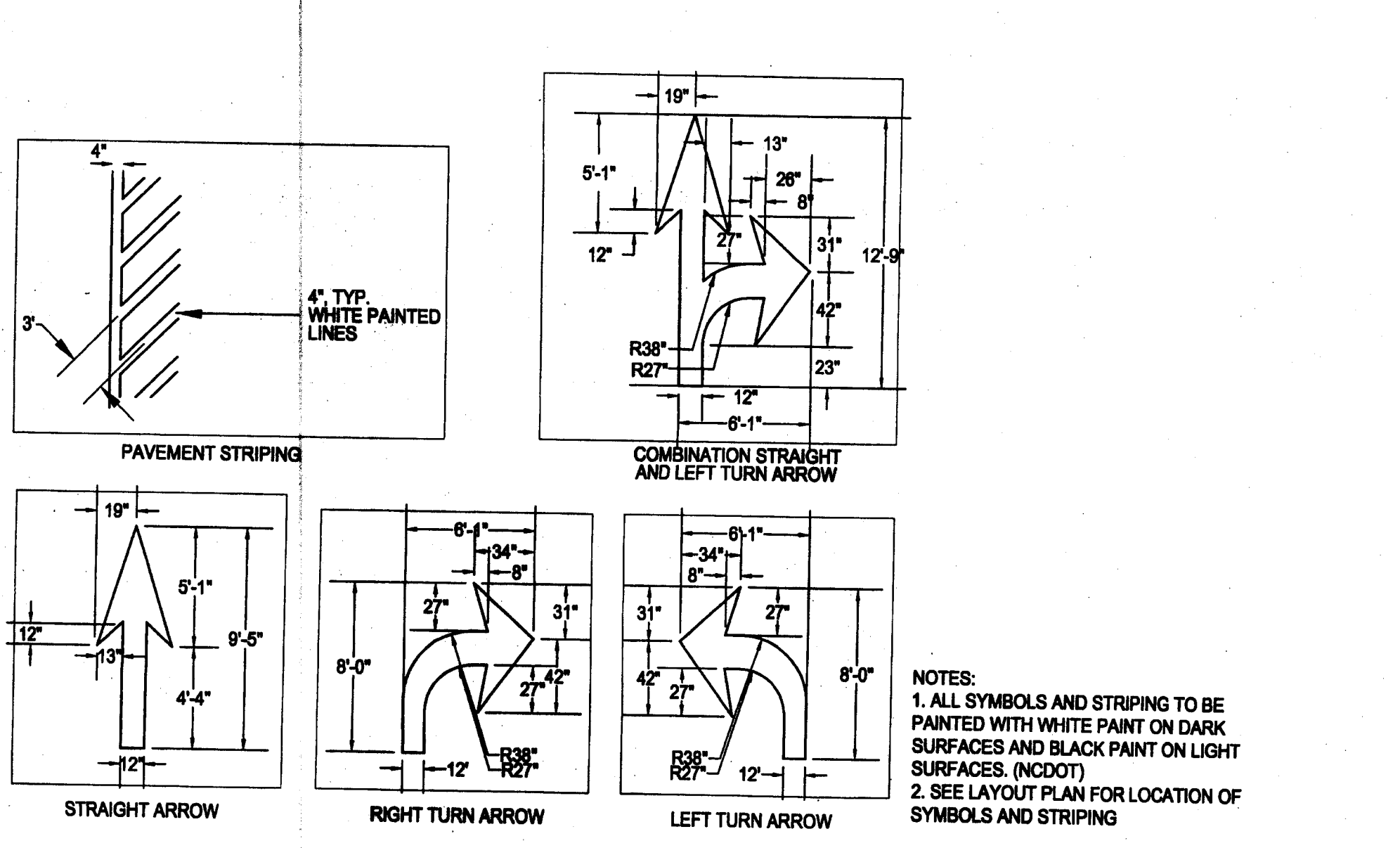
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C2.5 ISOMETRIC  
NOT TO SCALE



**9 MODIFIED TYPE II DRIVEWAY**  
C2.5 PLAN AND SECTION  
NOT TO SCALE



**10 TYPE III DRIVEWAY**  
C2.5 PLAN  
NOT TO SCALE



**11 ACCESSIBLE PARKING AND SIGNAGE STANDARDS**  
C2.5  
NOT TO SCALE

**12 PAVEMENT MARKINGS**  
C2.5 PLAN  
NOT TO SCALE

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12/5/07

**CARLISLE APARTMENTS**  
MULTI-FAMILY DEVELOPMENT  
Phillips Development & Realty, LLC, Charlotte, NC

**SITE DETAILS**

REVISIONS:  
1) 09/17/07 PER STAFF COMMENTS  
2) 12/05/07 PER STAFF COMMENTS

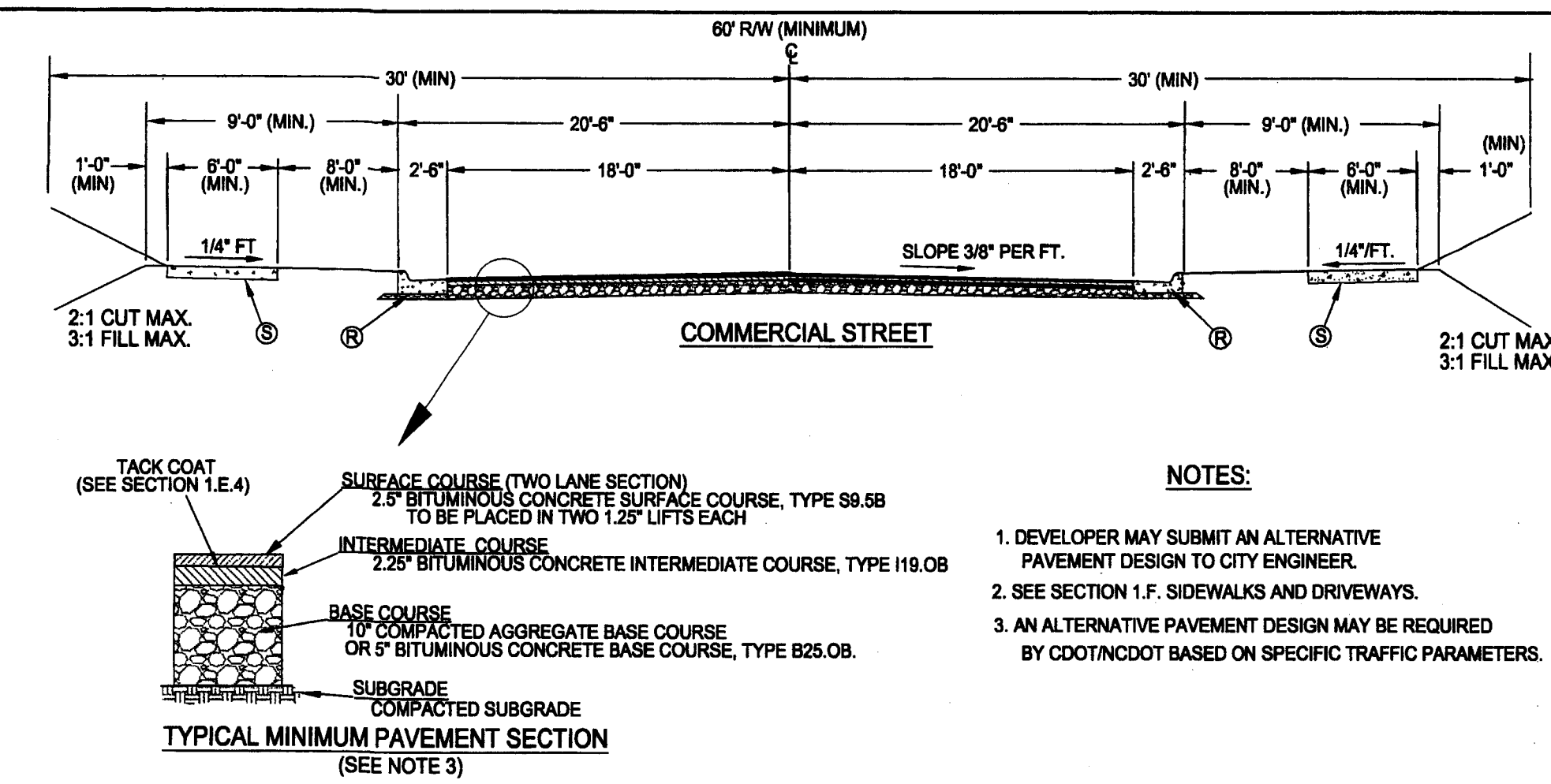
DATE: 07/20/07  
DESIGNED BY: DAW  
CHECKED BY: DAW  
C.C. BY: RPS  
PROJECT: # 1006388  
SHEET #

**C2.5**









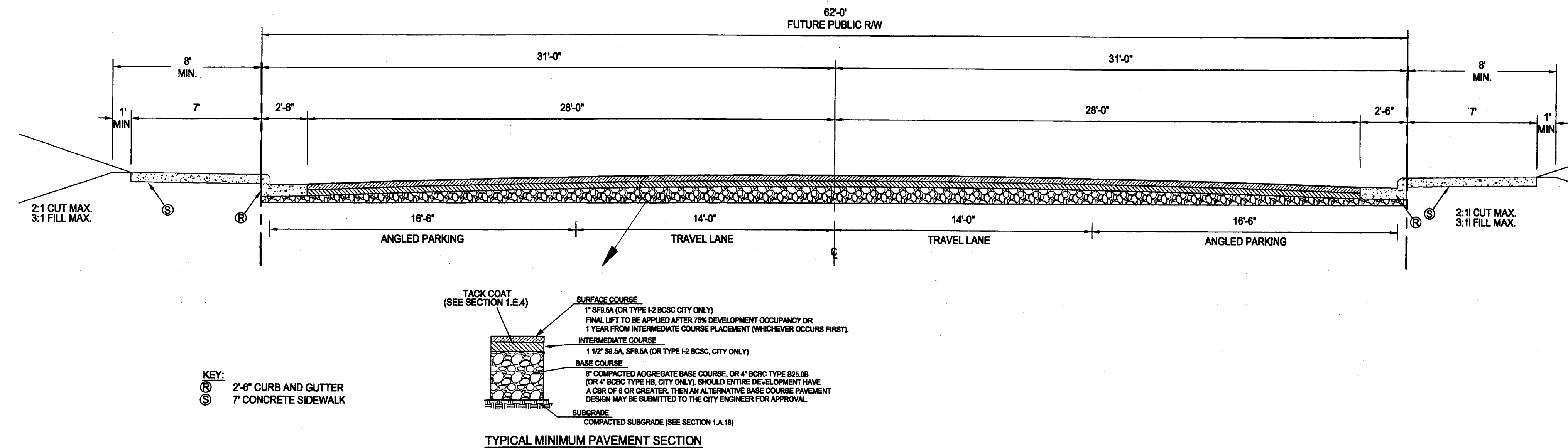
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C2.7 SECTION

CITY STD 11.11  
NOT TO SCALE

2  
C2.7 SECTION

WIDE LOCAL RESIDENTIAL STREET - BRENTMOOR DRIVE (PUBLIC ROAD)

NOT TO SCALE



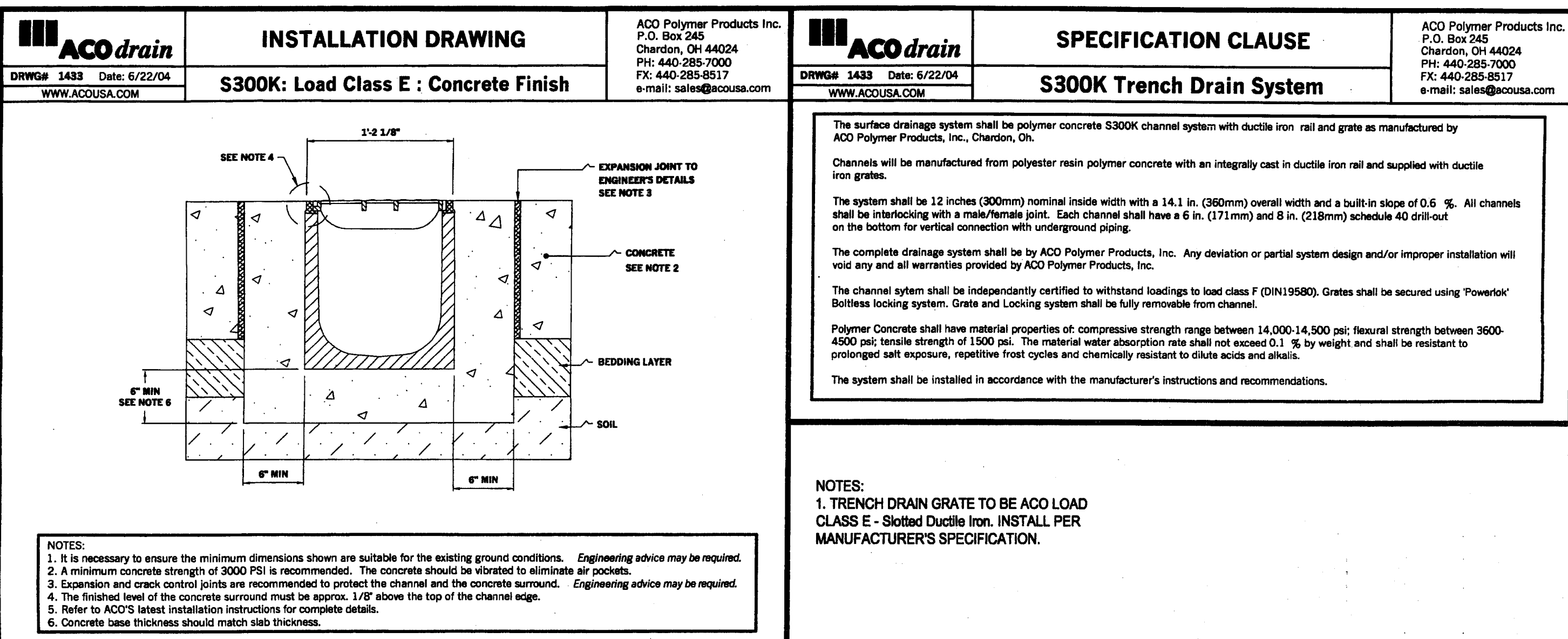
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NOT TO SCALE

4  
C2.7 SECTION

TYPICAL PRIVATE STREET SECTION

SPECIAL DETAIL  
NOT TO SCALE



5  
C2.7 SECTION

NOT TO SCALE

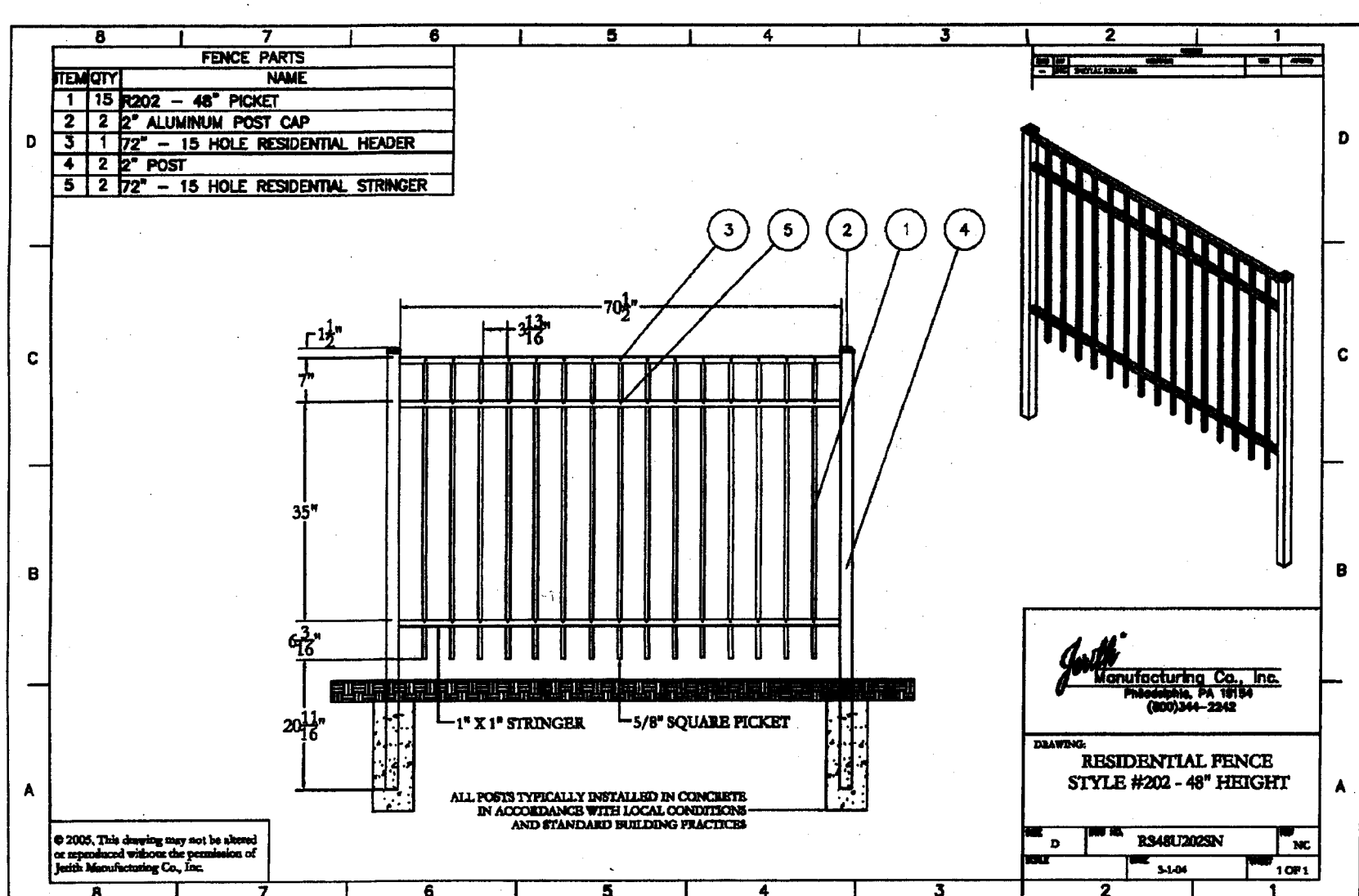
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NOT TO SCALE

7  
C2.7 SECTION

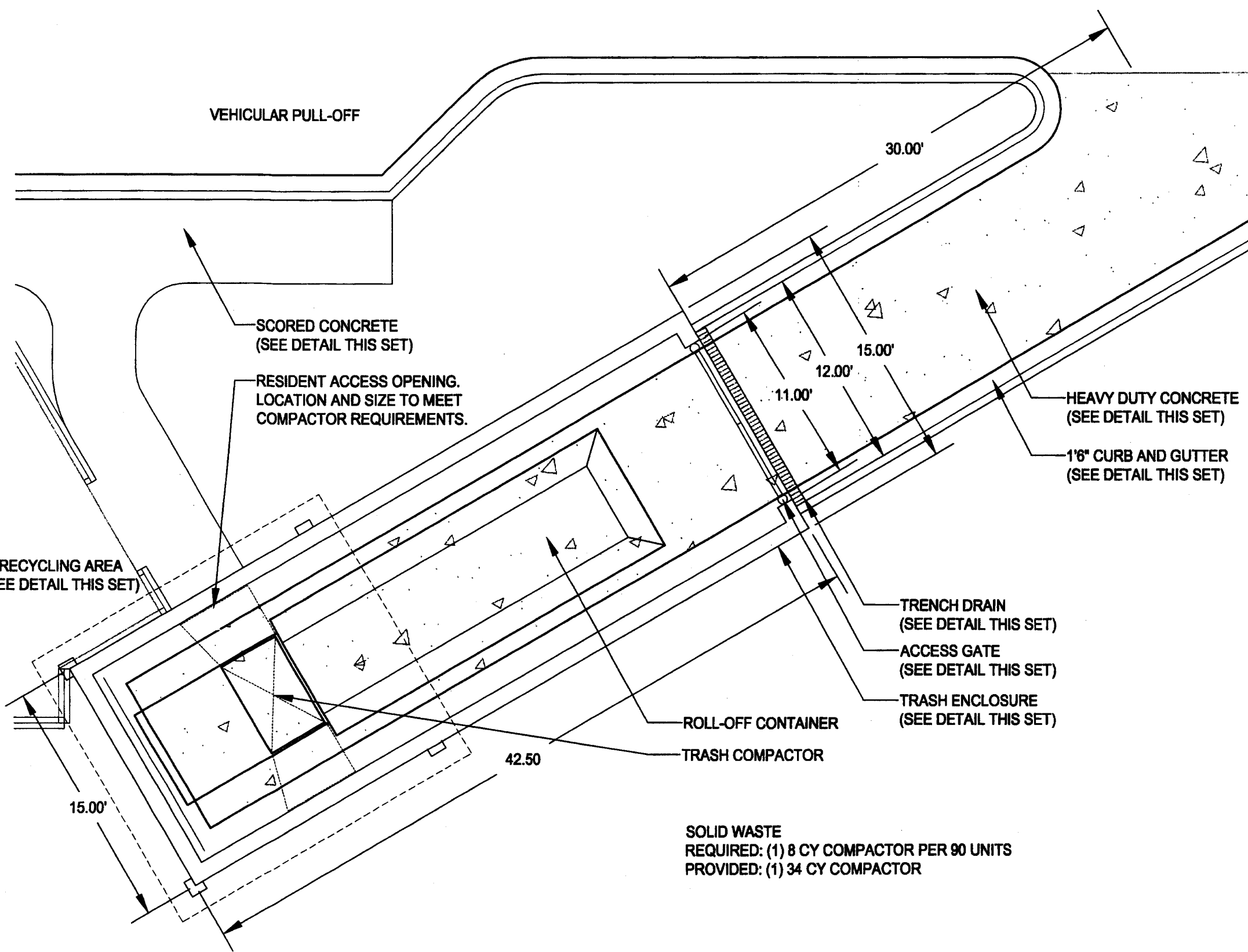
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NOT TO SCALE

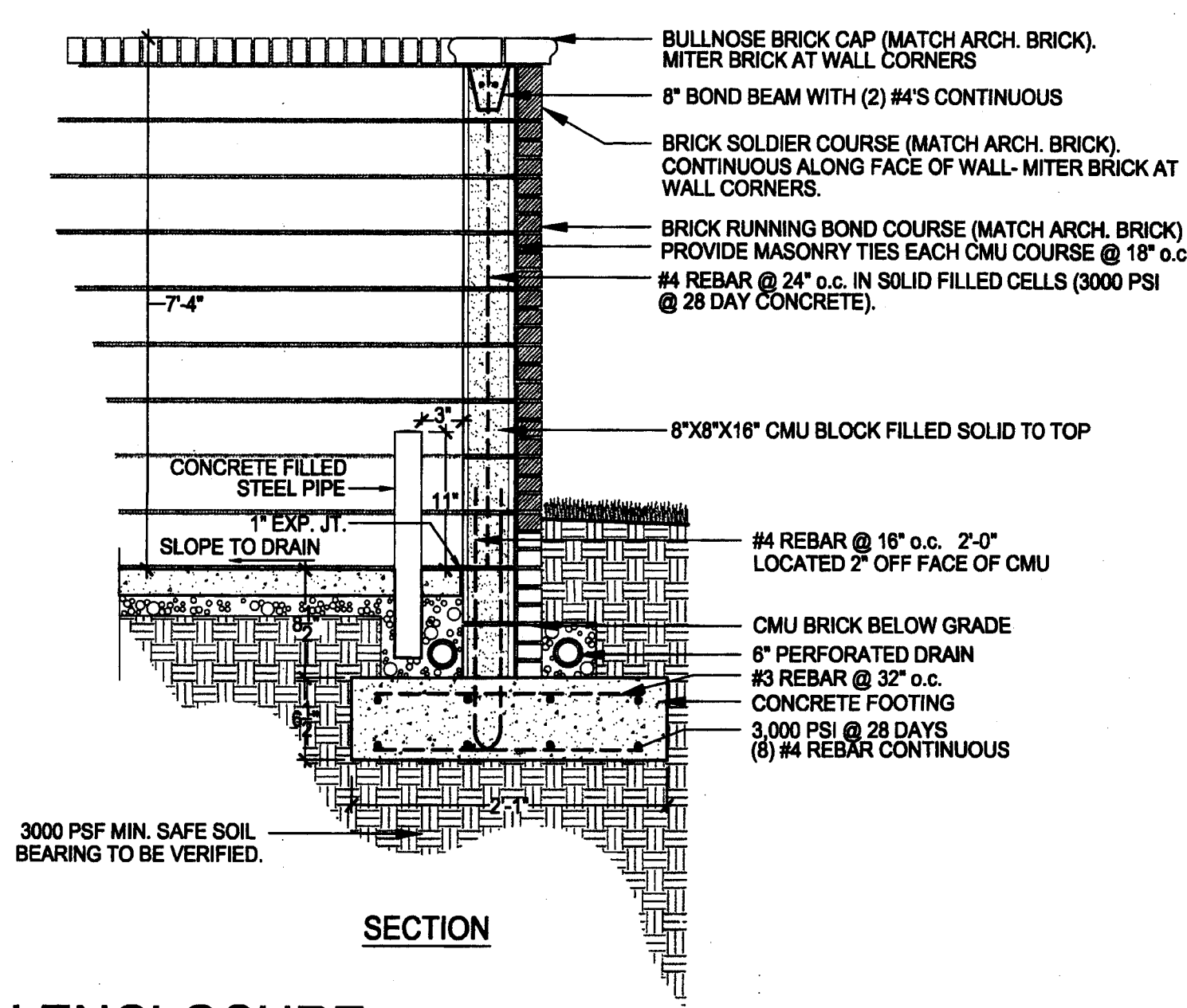


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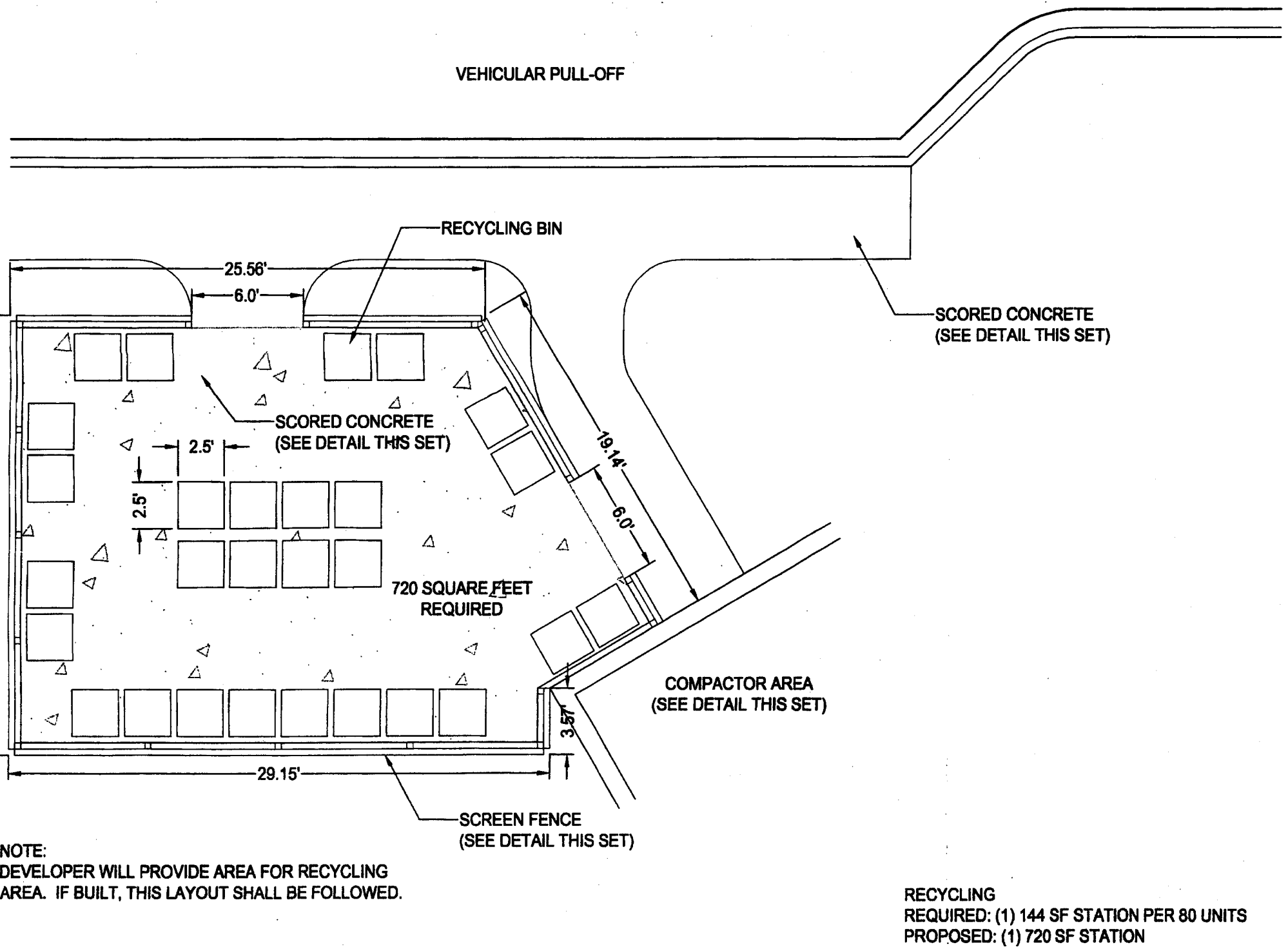
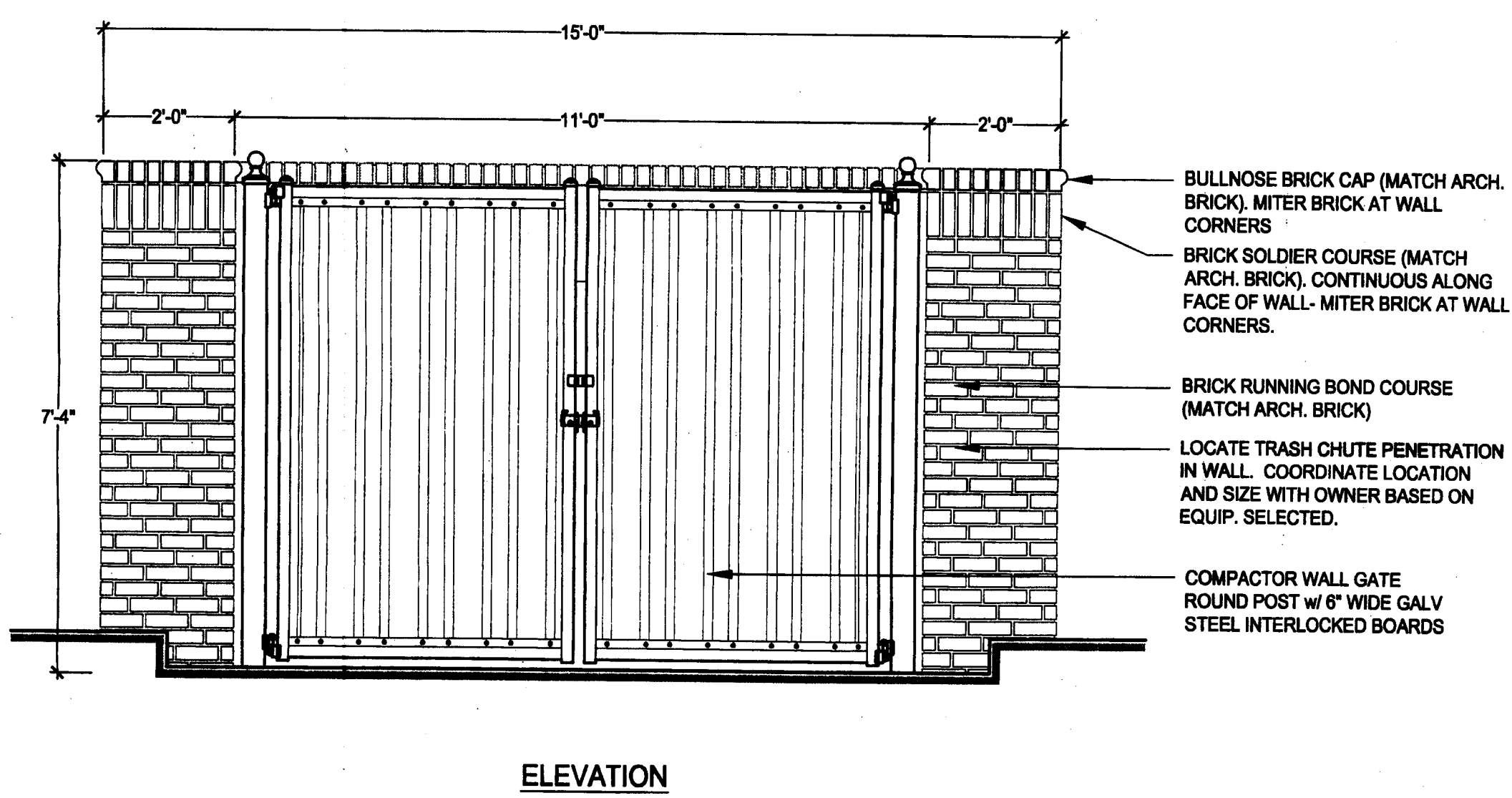
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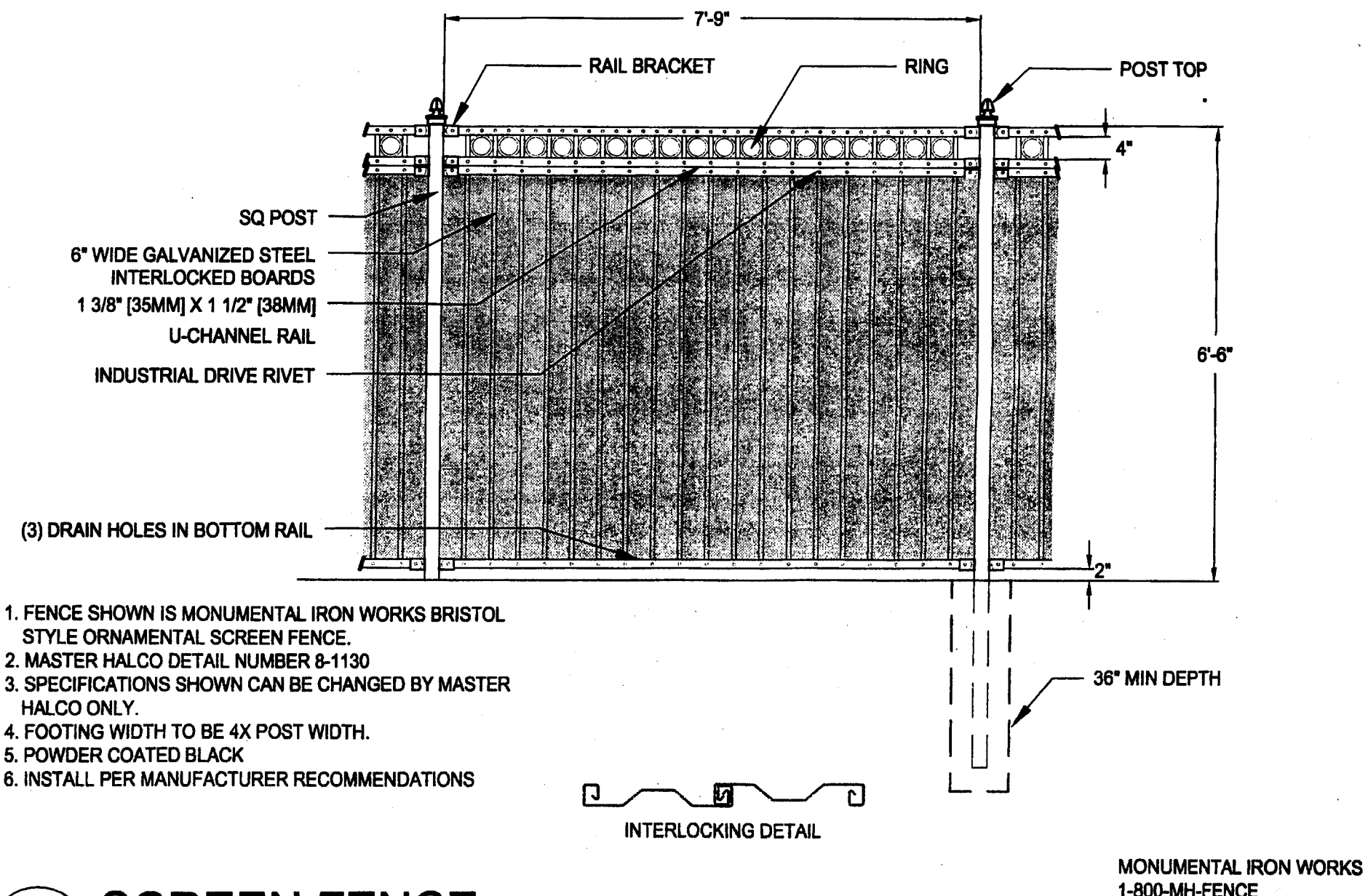
1 COMPACTOR AREA  
C2.8 PLAN NOT TO SCALE



2 TRASH ENCLOSURE  
C2.8 SECTION AND ELEVATION NOT TO SCALE



3 RECYCLING AREA  
C2.8 PLAN NOT TO SCALE



4 SCREEN FENCE  
C2.8 ELEVATION NOT TO SCALE





PERMITTING SET  
NOT FOR CONSTRUCTION

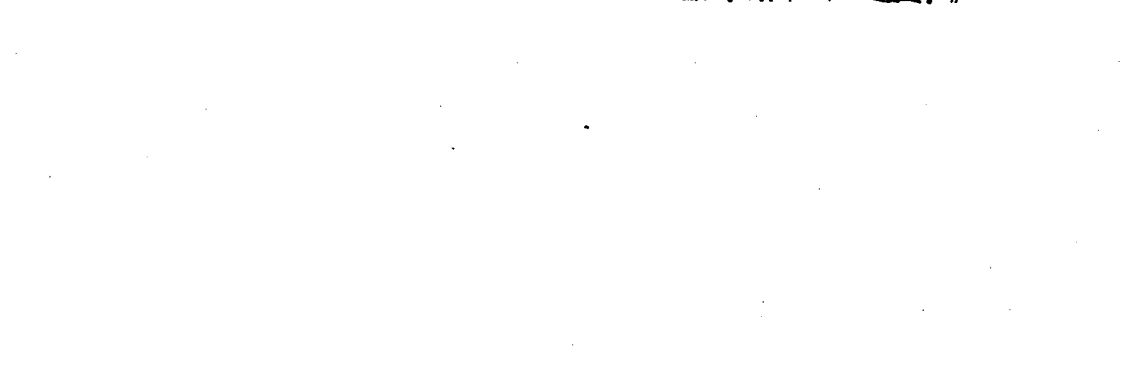
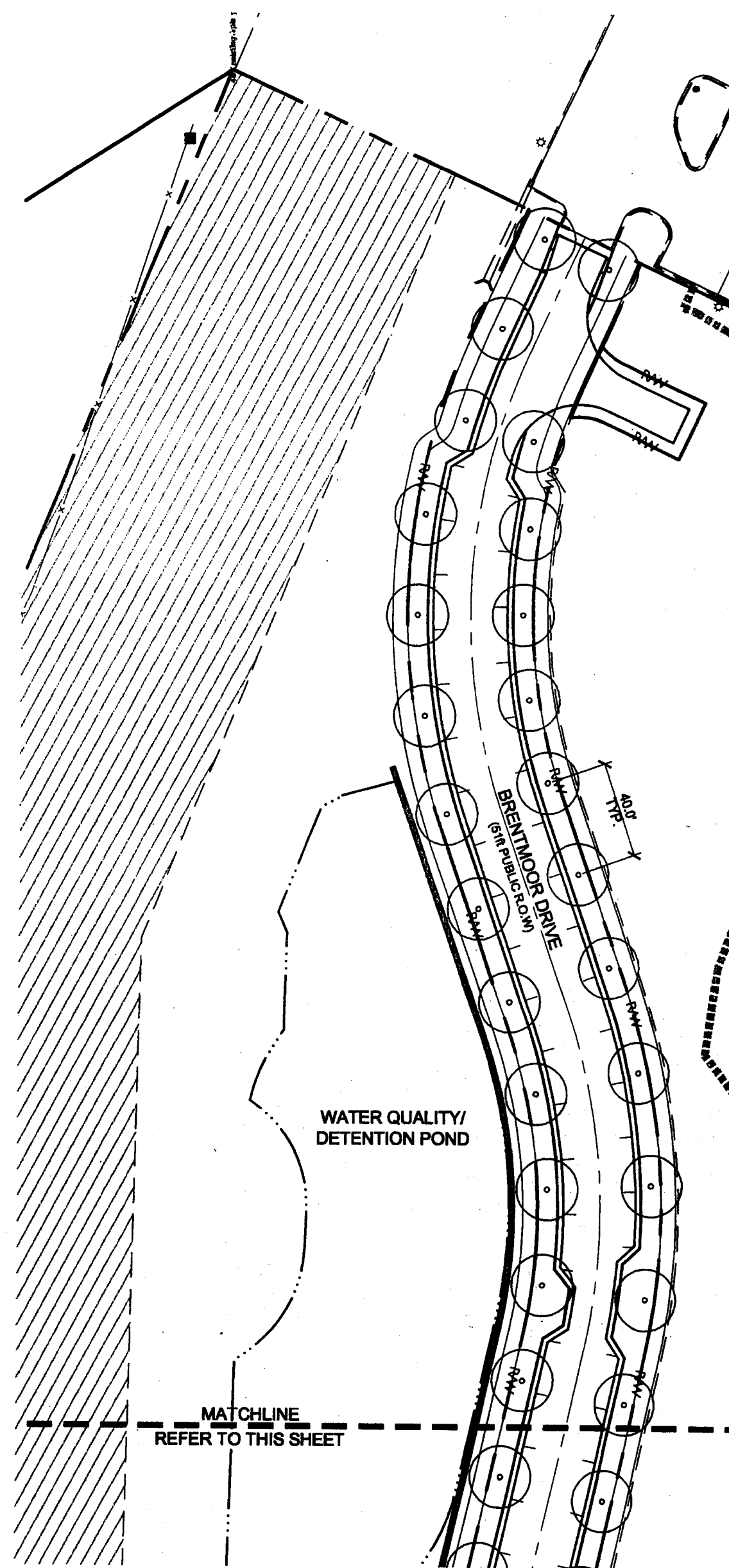
CARLISLE APARTMENTS  
MULTI-FAMILY DEVELOPMENT  
Phillips Development & Realty, LLC, Charlotte, NC  
REQUIRED PLANTING PLAN

REVISIONS:  
1) 09/17/07 PER STAFF COMMENTS  
2) 12/05/07 PER STAFF COMMENTS  
DATE: 07/02/07  
DESIGNED BY: CCY  
CHECKED BY: MSV, CCY  
SCALE: CCY 1" = 40'-0"  
PROJECT #: 100338  
SHEET #

C9.0

# PLANTING NOTES:

- THIS PLAN FOR PLANTING LOCATIONS ONLY. PLANS ASSUME NO EXISTING PLANTINGS ADJACENT TO PROPOSED BED AREAS. IF FOUND CONDITIONS VARY FROM THIS, CONTRACTOR TO CONTACT OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING SHRUBS AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION, THROUGHOUT GUARANTEE PERIOD.
- CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- PLANTING SIZE DETERMINATION:  
SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.  
SHRUBS: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. ALL ROOT BOUND PLANTS SHALL BE REJECTED.
- GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER PLAN. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPED DRAINAGE AWAY FROM BUILDINGS. IF SIGNIFICANT RELOCATIONS ARE REQUIRED, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY OF PLANT MATERIALS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD. GUYS AND STRAPPING SHALL BE REMOVED AFTER ONE GROWING SEASON.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
- TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-HALF ON ALL B&B PLANT MATERIAL. WIRE BASKETS TO BE REMOVED FROM TOP ONE-HALF OF ROOT BALL.
- SHRUB MASSES AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY AT ALL CURBS, GUTTERS AND SIDEWALKS) DAILY DURING INSTALLATION.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- ALL TREES SHALL BE LIMBED TO PROVIDE 6' CLEARANCE AT WALKWAYS PER A.D.A. REQUIREMENTS.
- ALL TREES AND SHRUBS SHALL MEET THE NORMAL REQUIREMENTS FOR THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN (AAN).
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES WHERE POSSIBLE. CONTACT LANDSCAPE ARCHITECT FOR A COORDINATED SOLUTION FOR ANY UTILITY CONFLICTS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 2" NEW TOP SOIL. OR, FOR UNCOMPACTED AREAS AMEND THE TOP 2" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SF PER TREE).
- ALL LANDSCAPE BEDS TO BE MULCHED TO 3 IN DEPTH WITH SHREDDED HARDWOOD MULCH.
- REFER TO PLANTING DETAILS FOR ADDITIONAL PLANTING INFORMATION.
- ALL PLANTINGS SHALL COMPLY WITH CURRENT LOCAL ORDINANCES AND GUIDELINES.
- CONTRACTOR TO REPAIR ANY EXISTING GRASS AREAS DAMAGED DURING INSTALLATION OF PLANTINGS. REPAIRS TO BE MADE WITH SOD PATCHES, MINIMUM 1' X 1' DIMENSION.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.
- SHRUBS PLANTED IN THE SITE TRIANGLES SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 30in.



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TREES					
Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
○	AROG	Acer rubrum 'October Glory'	Red Maple 'October Glory'	3" Cal. Min.	143
⊗	LAIN	Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	8"-10" Ht. Min.	4
○		Match Existing Trees		3" Cal. Min.	1
○		Existing trees to remain			
SHRUBS / GROUNDCOVER					
Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
○	ICBU	Ilex cornuta 'Burford'	Dwarf Burford Holly	30" Ht. Min.	435
⊗		Low-lying Shrubs		24" Ht. Min.	333 SF
⊗		Groundcovers		1 Gal.	348 SF
VINES					
Symbol	Code Name	Scientific Name	Common Name	Planting Size	Quantity
⊗	TRAS	Trachelospermum asiaticum	Asiatic Jasmine	1 Gal.	193

## TREE REQUIREMENTS

STREET FRONTAGE:	
BRENTMOOR DRIVE:	1,858.05 (2) = 3,716.1 LF
MCULLOUGH DRIVE:	816.4 LF
PIKE ROAD:	199.08 (2) = 398.16 LF
REQUIRED TREES:	
BRENTMOOR DRIVE:	3,716.1 / 40 = 93 TREES
MCULLOUGH DRIVE:	816.4 / 40 = 21 TREES
PIKE ROAD:	398.16 / 40 = 10 TREES
INTERIOR:	
TOTAL:	91 TREES (40' O.C.)
PROPOSED TREES:	
TOTAL STREET TREES:	84 TREES
BRENTMOOR DRIVE:	EXISTING TREES TO REMAIN = 30 TREES
MCULLOUGH DRIVE:	7 TREES
PIKE ROAD:	48 TREES
INTERIOR:	140 TREES
TOTAL:	
PROPOSED SHRUBS:	
PARKING LOT SCREENING:	435 SHRUBS (5' O.C.)
	193 CLIMBING VINES (3' O.C.)

## INTERNAL PLANTING REQUIREMENTS

REQUIRED:	48 TREES
(IMPERVIOUS AREA/10,000 SF)	(487,263.2 SF / 10,000 SF = 48.73)
PROPOSED:	48 TREES

## TREE SAVE AREA

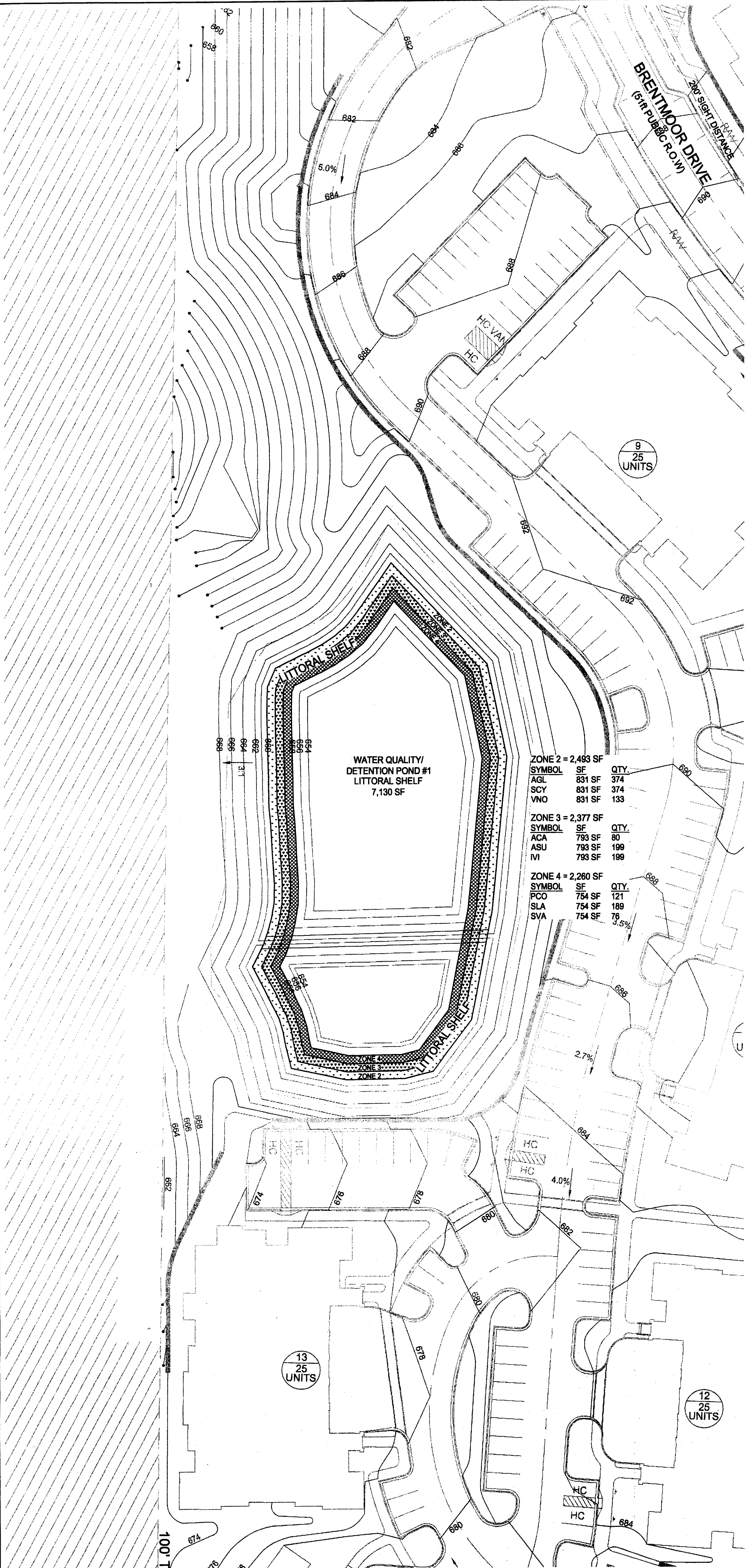
REQUIRED (41.18 x 10 %):	10%: 4.12 ACRES
PROPOSED:	10.5%: 4.32 ACRES

(NOTE: TREE SAVE AREA IS BASED ON THE TOTAL PLANNED DEVELOPMENT SITE OF 41.18 ACRES.)

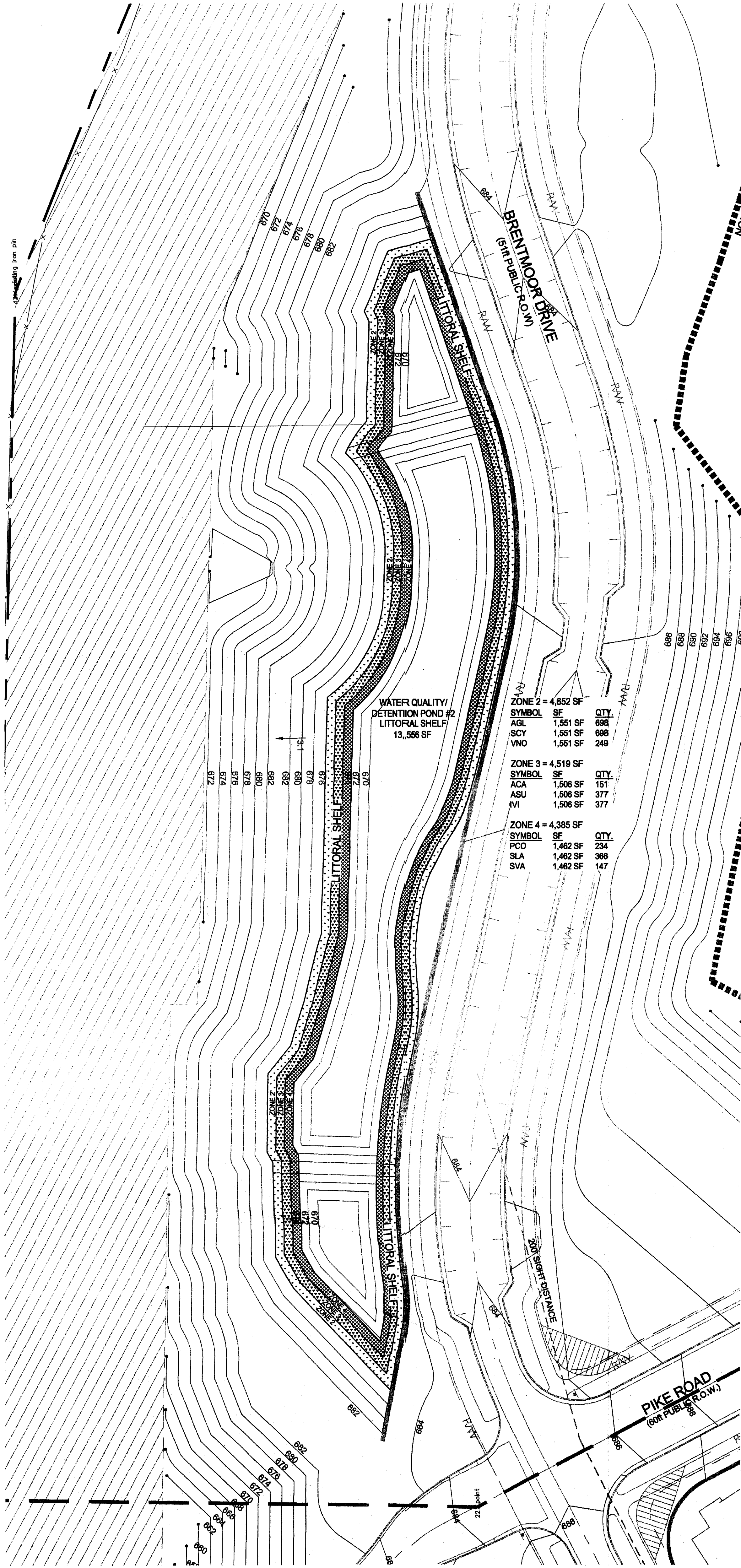








LITTORAL SHELF PLANTING  
WET POND #1  
HERBACEOUS GROUND COVER WITHIN 12' VEGETATED SHELF



LITTORAL SHELF PLANTING  
WET POND #2  
HERBACEOUS GROUND COVER WITHIN 12' VEGETATED SHELF

LITTORAL SHELF RECOMMENDED PLANT LIST  
HERBACEOUS GROUND COVER WITHIN 12' VEGETATED SHELF

Symbol	Scientific Name Common Name	Remarks	Depth
ZONE 2			
AGL	<i>Andropogon glomeratus</i> Bushy Beargrass	2 Year Peat Pot or Bare Root; 18" O.C.	2' or Less
SCY	<i>Scirpus cyperinus</i> Wool-grass	2 Year Peat Pot or Bare Root; 18" O.C.	2' or Less
VNO	<i>Vernonia noveboracensis</i> Ironweed	2 Year Peat Pot or Bare Root; 30" O.C.	2' or Less
ZONE 3			
ACA	<i>Acorus calamus</i> Sweetflag	2 Year Peat Pot or Bare Root; 36" O.C.	2' or Less
ASU	<i>Alisma subcordatum</i> Water-plantain	2 Year Peat Pot or Bare Root; 24" O.C.	2' or Less
IVI	<i>Iris virginica</i> Blue-flag Iris	2 Year Peat Pot or Bare Root; 24" O.C.	2' or Less
ZONE 4			
PCO	<i>Pontederia cordata</i> Pickersweed	2 Year Peat Pot or Bare Root; 30" O.C.	2' or Less
SLA	<i>Sagittaria latifolia</i> Arrowhead	2 Year Peat Pot or Bare Root; 24" O.C.	2' or Less
SVA	<i>Scirpus validus</i> Soft Stem Bulrush	2 Year Peat Pot or Bare Root; 36" O.C.	2' or Less

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CARLISLE APARTMENTS  
MULTI-FAMILY DEVELOPMENT  
Phillips Development & Realty, LLC, Charlotte, NC  
WET POND PLANTING PLAN

REVISIONS:  
1) 12/26/07 PER STAFF COMMENTS.  
DATE: 07/02/07  
DESIGNED BY: CCH  
CHECKED BY: MSV, CCH  
PROJECT #: 100338  
SHEET # C9.3



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