



ARCHITECTS

Two Bank of America Plaza
101 South Tryon Street
Charlotte, North Carolina 28280
704.332-7004

10 Pope Ave., Executive Park
Hickory, North Carolina 28601
919.805-4399

2530 Meridian Parkway Suite 300
Durham, North Carolina 27713
919.805-4399

155 East Boardwalk Suite #400
Fort Collins, Colorado 80525
970.232-3125



BELMEADE MIDDLE SCHOOL

1520 BELMEADE DRIVE
CHARLOTTE, NORTH CAROLINA

Table with 3 columns: MARK, DATE, DESCRIPTION. Contains revision history for the site plan.

PROJECT NO: FWA 2291.03

DRAWN BY: JER
APPROVED BY: BJC

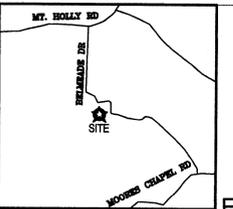
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SHEET TITLE

SITE PLAN

SHEET NUMBER

C101



Vicinity Map - NTS

LEGEND table listing symbols for existing and proposed features: sign, iron pin, light pole, fire hydrant, utility pole, fence, underground electric line, overhead power line, right-of-way, accessible space, existing tree, curb and gutter, proposed curb and gutter, property line, centerline, heavy duty concrete paving, light duty asphalt paving, heavy duty asphalt paving, proposed chain link fence, and parking spaces.

SITE NOTES

- 1. DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- 2. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- 3. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDINGS WITH WORK.
- 4. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- 5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- 6. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- 7. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2003 EDITION AS AMENDED.
- 9. ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- 10. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- 11. CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO THE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
- 12. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- 13. LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- 14. ALL ROAD IMPROVEMENTS AT BELMEADE ROAD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 15. THE (CITY OF CHARLOTTE) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- 16. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- 17. ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ NCDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT (704) 368-6800, FOR FURTHER INFORMATION.
- 18. IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCK-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCK-OFF. PLEASE CONTACT PAT MORGAN, 704.336-2006 OR BOB STALEY, 704.432-1552, FOR FURTHER INFORMATION.
- 19. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- 20. ALL DEVELOPMENT CREATING A TOTAL OF 30,000 SQUARE FEET OF IMPERVIOUS AREA ONCE SEPTEMBER 1976 WILL REQUIRE STORM DRAINAGE DETENTION.
- 21. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 6" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6882 FOR REQUIRED PERMITS.
- 22. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 90-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 23. ALL SCHOOL SIGNAGE WILL BE APPROVED AND PERMITTED BY ARCHITECT.
- 24. PARKING LOT AND BUS LOT ARE DESIGNED TO ALLOW FIRE TRUCK ACCESS TO COVER THE BUILDING. PARKING DESIGN WILL ACCOMMODATE AN 80,000 POUND FIRE TRUCK.
- 25. SITE PLAN DOES NOT CALL FOR THE USE OF A HEAVY DUTY ASPHALT PAVING SECTION ON THE SITE PARKING LOT. HEAVY DUTY PAVING IS NOT REQUIRED. PAVEMENT SECTION FOR RUNNING RAPIDS IS PER PLANS.

NOTE: MIDDLE SCHOOL CONTRACTOR SHALL INCLUDE IN BID/CONTRACT TO INSTALL 1500 LF OF 6" CHAIN LINK TEMPORARY CONSTRUCTION FENCE TO PROVIDE SEPARATION FROM THE ELEMENTARY SCHOOL ONCE THE SCHOOL IS OPEN AUGUST 2008. TO BE PLACED AS DIRECTED BY OWNER/ARCHITECT.

1200 Student Middle School
27 Buses will serve the School
2,003 LF Stacking Distance Required
2,003 (+) LF Stacking Provided Internally

ZONING CODE SUMMARY

PROJECT NAME: Belmeade Middle School
OWNER: CMS
PLANS PREPARED BY: SITE SOLUTIONS
ZONING: Mx-3 2005-77
JURISDICTION: CHARLOTTE/MECKLENBURG
PROPOSED USE: MIDDLE SCHOOL
BUILDING HEIGHT: 36'
BUILDING COVERAGE: 89,650 SQ.FT.
LOT SIZE: 50.00 AC.

YARD REQUIREMENTS:

Setback (front): 20'
Side Yard (L): 10'
Rear Yard: 50'

REQUIRED BUFFERS:

Front: [X] Yes [] No
Side (L): [X] Yes [] No

REQUIRED SCREENING:

Front: [X] No [] Yes
Side (L): [X] No [] Yes

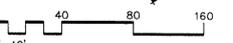
IMPERVIOUS AREA: 200,585 SF

PARKING DATA:

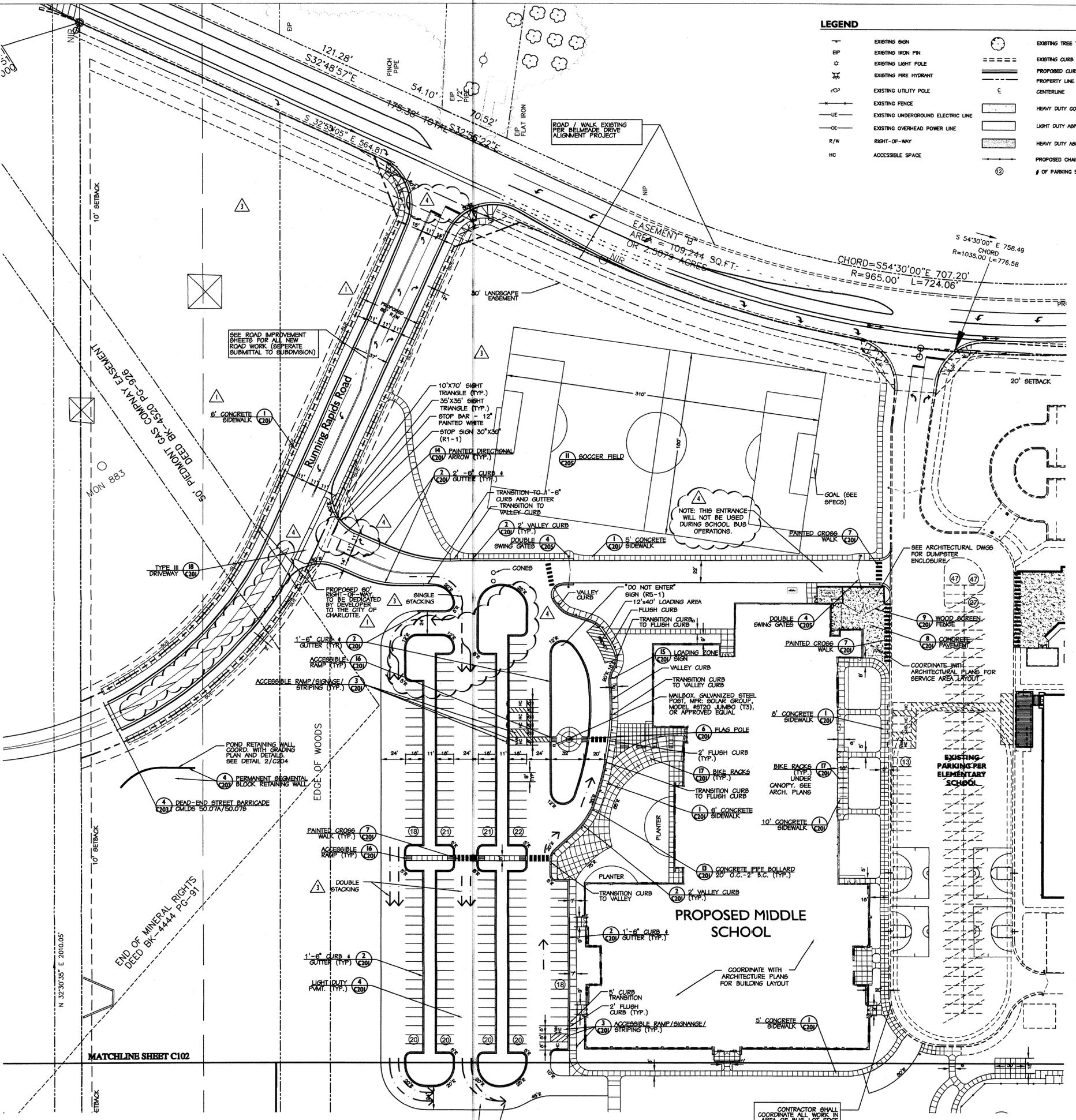
1 space per classroom required: 56 Classrooms=56 Spaces
Required: 56 Provided: 180
Bicycle Spaces Required: 64



BEFORE YOU DIG CALL
1-800-632-4949
N.C. ONE CALL CENTER
IT'S THE LAW



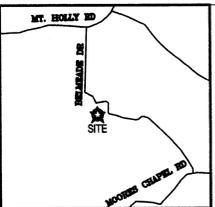
1"=40'



MATCHLINE SHEET C102

CONTRACTOR SHALL COORDINATE ALL WORK IN AREA OF BUS LOT EDGE WITH ELEMENTARY SCHOOL CONTRACTOR FOR SCHEDULE / FINISH

CONTROLLER/MERGER TO SINGLE



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155 East Boardwalk Suite #400
Fort Collins, Colorado 80525
970.232.3125

SITE SOLUTIONS

2 3 2 0
W. Morehead Street
Charlotte, NC 28208
Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone: 704-521-9880
Facsimile: 704-521-8955
CADD# 29108



BELMEADE MIDDLE SCHOOL
1520 BELMEADE DRIVE
CHARLOTTE, NORTH CAROLINA

MARK	DATE	DESCRIPTION
CBD	03/7/08	CBD - A
BID	2/18/08	BID SET
CD	11/28/07	100% CONSTRUCTION DOCUMENTS

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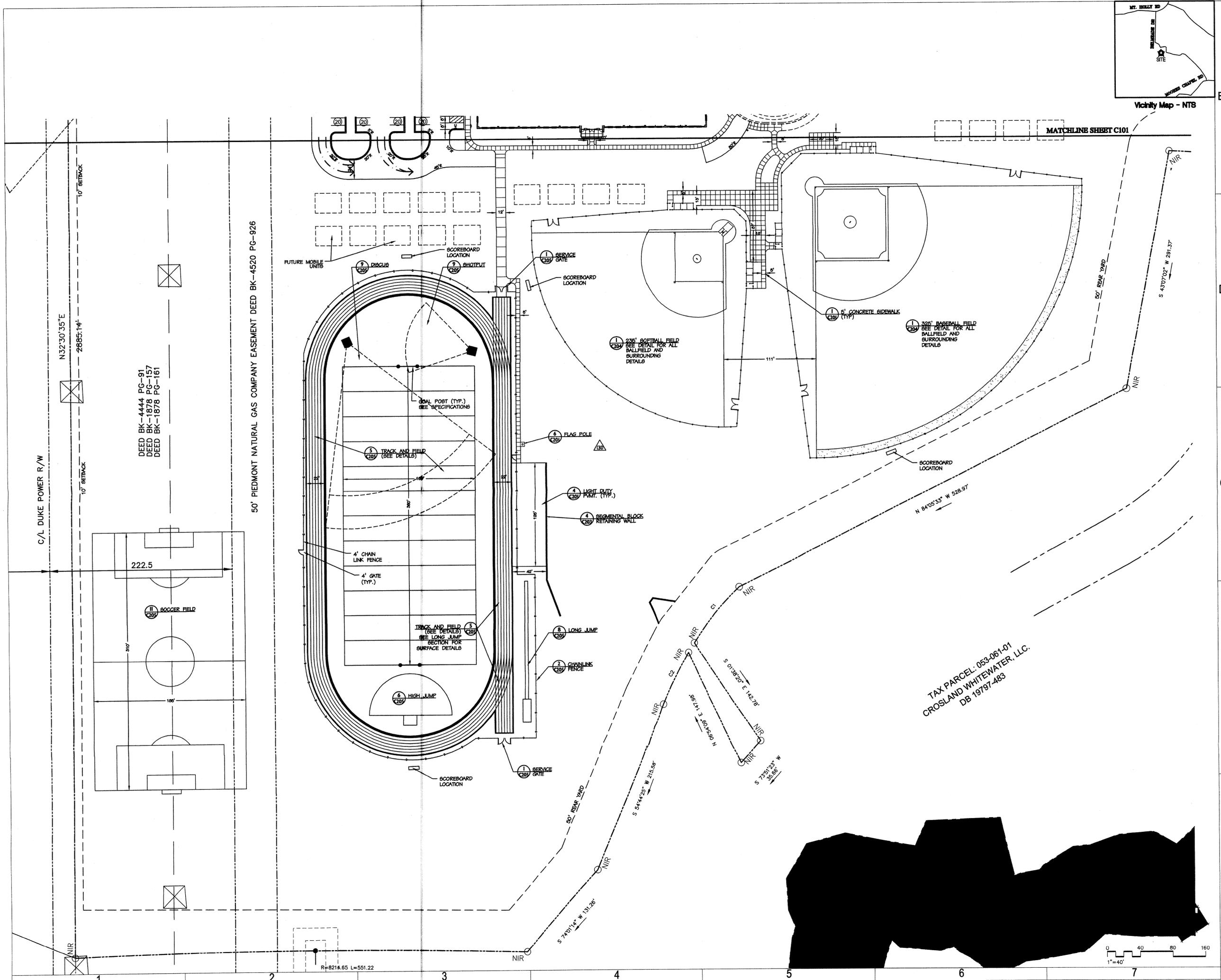
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TAX PARCEL: 053.061-01
CROSLAND WHITEWATER, LLC.
DB 19797-483

50' PIEDMONT NATURAL GAS COMPANY EASEMENT DEED BK-4520 PG-926

DEED BK-4444 PG-91
DEED BK-1878 PG-137
DEED BK-1878 PG-161

C/L DUKE POWER R/W

N32°30'35"E
2685.14'

10' SETBACK

10' SETBACK

R=8214.65 L=551.22

0 40 80 160
1"=40'