

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. ALL CURBS SHALL HAVE A 3' RADIUS AT THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL R/W SHALL HAVE A 25' RADIUS UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
5. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE ENCROACHMENT AGREEMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL ENCROACHMENT AGREEMENTS.
6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
7. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
8. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
9. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
10. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.
11. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST.
12. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
13. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).
14. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
15. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
16. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
17. IN ROLLY AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
18. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.
19. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
20. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.
21. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEOTECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD.
22. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
23. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE COUNTY SUBDIVISION ORDINANCE.
24. CURB AND GUTTER ON THE PLANS MAY BE ADJUSTED BASED ON FIELD STAKING BY MECKLENBURG COUNTY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
25. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
26. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE COUNTY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE COUNTY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
27. ALL ROAD IMPROVEMENTS ON PARK SOUTH DRIVE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION.
28. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
29. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
30. ALL ROAD IMPROVEMENTS AT PARK ROAD, PARK SOUTH DRIVE, AND NORTH HAMPTON DRIVE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704.336.7080) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
32. ALL FIRE APPARATUS ACCESS ROADS SHALL BE COMPACTED TO HOLD 80,000 POUNDS AND BE AN ALL WEATHER DRIVING SURFACE.

DEVELOPMENT SUMMARY

ZONING: UR2-CD
TAX PARCEL ID #: 173-155-01, 02, 03
REZONING PETITION #: 06-143
TOTAL SITE AREA: 1.30 AC

PROPOSED USE: CONDOMINIUMS
BUILDING 1: 3 UNITS
BUILDING 2: 6 UNITS
BUILDING 3: 6 UNITS
TOTAL: 15 UNITS

SETBACK: 14' FROM FUTURE BOC OR FROM R/W, WHICHEVER IS GREATER

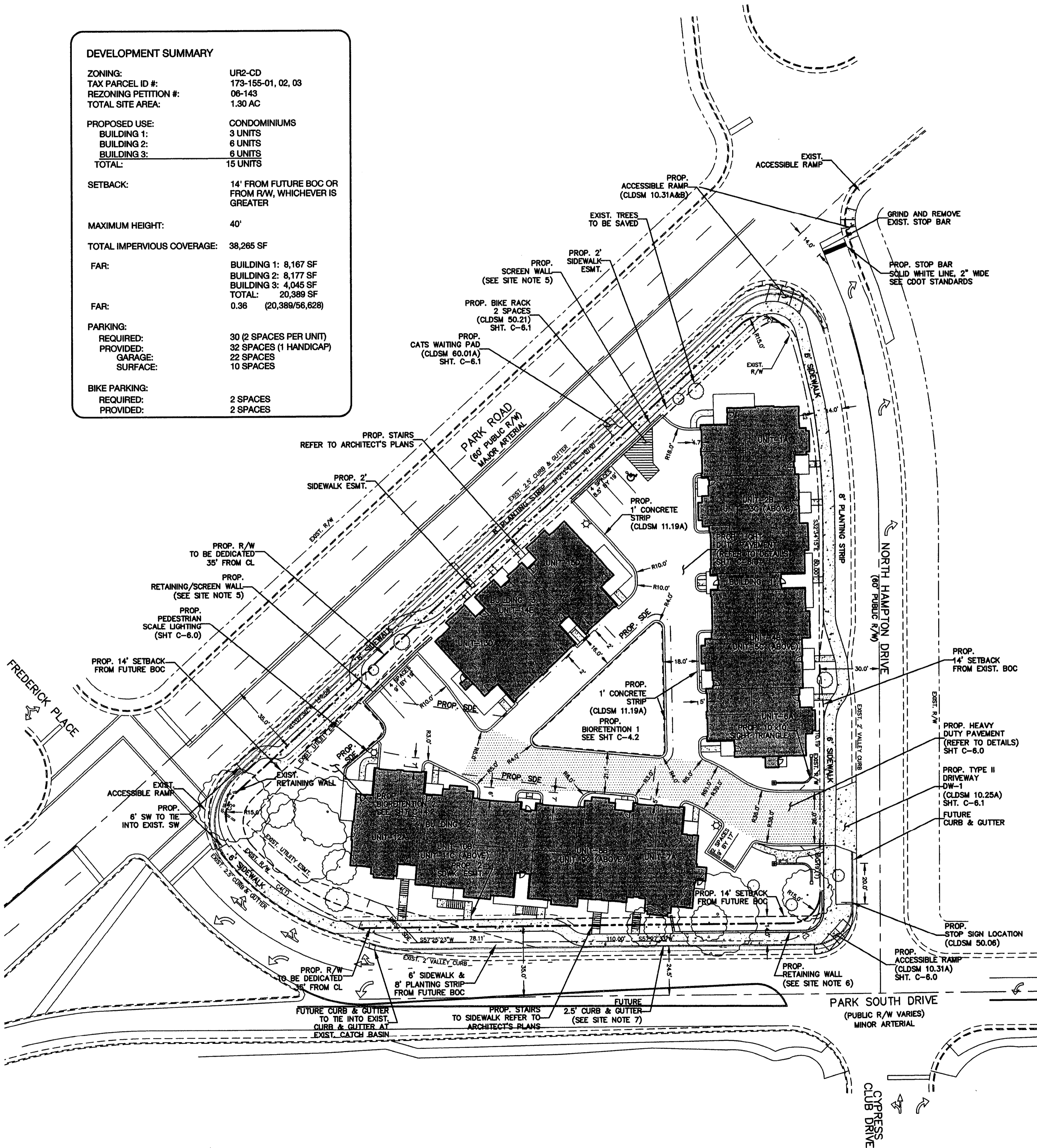
MAXIMUM HEIGHT: 40'

TOTAL IMPERVIOUS COVERAGE: 38,265 SF

FAR: BUILDING 1: 8,167 SF
BUILDING 2: 8,177 SF
BUILDING 3: 4,045 SF
TOTAL: 20,389 SF
0.36 (20,389/56,828)

PARKING: REQUIRED: 30 (2 SPACES PER UNIT)
PROVIDED: 32 SPACES (1 HANDICAP)
GARAGE: 22 SPACES
SURFACE: 10 SPACES

BIKE PARKING: REQUIRED: 2 SPACES
PROVIDED: 2 SPACES



SITE NOTES:

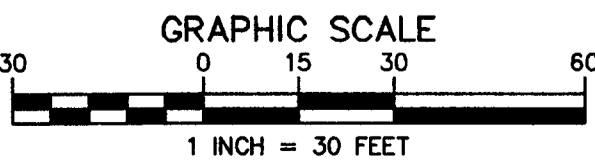
1. SEE ARCHITECTURAL PLANS PREPARED BY VIA II ARCHITECTS FOR BUILDING FOOTPRINT DIMENSIONS.
2. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
3. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
4. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6892.
5. RETAINING WALLS FOR PARKING SPACES FACING PARK ROAD WILL REQUIRE A SCREEN FENCE, REFER TO DETAIL SHEET, C-6.2 AND ARCHITECTURAL DETAILS.
6. OWNERS IS TO OBTAIN ENCROACHMENT FOR RETAINING WALL LOCATED ON PARK SOUTH DRIVE.
7. FUTURE 2.5' CURB & GUTTER ON PARK SOUTH DRIVE IS TO BE LOCATED 24.5' FROM CENTERLINE TO FUTURE BACK OF CURB. THE 8' PLANTING STRIP, 14' SETBACK, AND 6' SIDEWALK ARE TO BE MEASURED FROM THE FUTURE BACK OF CURB. GRADE FOR THIS AREA SHALL BE 2% FROM EXISTING BACK OF CURB TO FUTURE BACK OF CURB.
8. SOLID WASTE COLLECTION WILL BE PRIVATE. ROLLOUT CONTAINERS WILL BE STORED IN THE GARAGES.
9. NO UTILITIES ARE TO BE ROUTED THRU TREE PROTECTION AREAS WITHOUT CONSENT OF URBAN FORESTRY SPECIALIST: TOM JOHNSON 704.336.3622

CONDITIONAL NOTES:(06-143)

1. THE DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCE. THE DEVELOPMENT DEPICTED BY THIS PLAN IS INTENDED TO REFLECT THE GENERAL ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT DETAILS OF THE CONFIGURATION, PLACEMENT AND SIZE OF INDIVIDUAL BUILDINGS AND/OR SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE AS SPECIFIED IN SECTION 8.206(2) AS MAY BE APPLICABLE. MINOR AND INCIDENTAL CHANGES OF DETAIL WHICH DO NOT ALTER THE BASIC, OVERALL LAYOUT AND/OR THE RELATIONSHIPS TO ADJUTING SITES ARE PERMITTED AS A MATTER OF RIGHT FOR THE PETITIONER/DEVELOPER.
 2. ALL PROPOSED DEVELOPMENT ON THE SITE SHALL COMPLY WITH APPLICABLE ORDINANCE REQUIREMENTS REGARDING SUCH THINGS AS THE NUMBER AND ARRANGEMENT OF OFF-STREET PARKING, SETBACK/YARD DIMENSIONS, SIGNAGE, BUFFERS, SCREENING, OPEN SPACE, LANDSCAPING, TREE ORDINANCE, ETC., UNLESS OTHERWISE INDICATED.
 3. VEHICULAR POINTS OF ACCESS SHALL BE LIMITED TO THOSE SHOWN ON THE PLAN. THE EXACT LOCATION MAY VARY FROM THAT DEPICTED, BUT SHALL COMPLY WITH ALL APPLICABLE DESIGN/LOCATIONAL REQUIREMENTS OF THE CHARLOTTE DEPT. OF TRANSPORTATION AND/OR THE NORTH CAROLINA DEPT. OF TRANSPORTATION.
 4. THE USE PROPOSED BY THIS REZONING IS A TOWNHOME/CONDO FOR SALE DEVELOPMENT. BUILDINGS ARE GENERALLY ARRANGED AS SHOWN. A TOTAL OF 15 DWELLING UNITS IS PROPOSED.
 5. THE PROPOSED BUILDINGS SHALL BE A MAXIMUM OF TWO STORIES.
 6. DWELLING UNIT PARKING TO BE PROVIDED BY MEANS OF INDIVIDUAL GARAGES, DRIVEWAYS, AND SURFACE PARKING AS ILLUSTRATED.
 7. NONRESIDENTIAL USES SHALL NOT BE PERMITTED.
 8. STORM WATER DETENTION, IF REQUIRED, MAY BE PROVIDED BY MEANS OF A BENEATH GRADE SYSTEM AND OR ABOVE GROUND STORAGE.
 9. SOLID WASTE REMOVAL SHALL BE BY MEANS OF ROLL OUT CONTAINERS.
 10. THE MINIMUM WIDTH OF THE PUBLIC STREET SIDEWALK SHALL BE SIX FEET.
 11. NEW STREET TREES PROVIDED IN THE EIGHT FT PLANTING STRIP SHALL BE "LARGE MATURING" TYPE PLANTED AT 40 FEET ON-CENTER, UNLESS ANY OVERHEAD UTILITY LINE NECESSITATES A "SMALL MATURING" TYPE PLANTED AT 30 FEET ON-CENTER.
 12. PEDESTRIAN SCALED LIGHTING (MAXIMUM HEIGHT OF 20 FEET) SHALL BE PROVIDED.
 13. THE PETITIONER/DEVELOPER SHALL PROVIDE A RIGHT OF WAY DIMENSION OF 35 FEET AS MEASURING FROM THE CENTERLINE OF PARK RD AND PARK SOUTH DRIVE AS SHOWN ALONG THE SITE'S FRONTAGE ALONG SAID STREETS. THE PETITIONER/DEVELOPER SHALL DEDICATE ANY RIGHT-OF-WAY AREA NEEDED TO SATISFY THIS DIMENSION AND SHALL DO SO PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
 14. THE PETITIONER/DEVELOPER SHALL PROVIDE AN EASEMENT FOR A CATS WAITING PAD ALONG PARK RD AND CONSTRUCT A WAITING PAD PER CATS STANDARDS. THE LOCATION SHALL BE DETERMINED DURING THE BUILDING PERMIT PROCESS.
 15. THE ATTACHED ARCHITECTURAL ELEVATIONS ARE HEREBY MADE A PART OF THE CONDITIONAL SITE PLAN. THE ELEVATIONS ARE INTENDED TO REFLECT THE OVERALL, GENERAL ARCHITECTURAL THEME AND STYLE OF THE PROPOSED DWELLING UNITS. CHANGES WHICH DO NOT SIGNIFICANTLY ALTER THE DESIGN THEME ARE ALLOWED AS A MATTER OF RIGHT AT THE DISCRETION OF THE PETITIONER/DEVELOPER.
 16. PETITIONER SHALL PROVIDE RIGHT-OF-WAY ON PARK ROAD AND PARK SOUTH DRIVE THAT MEASURES 35 FEET FROM THE CENTERLINE OF EACH ROAD.
 17. ALL END ELEVATIONS OF CORNER/END DWELLING UNITS WILL BE DESIGNED TO PRECLUDE UNARTICULATED OR BLANK WALLS.
 18. A MINIMUM OF 2 PARKING SPACES/DWELLING UNIT SHALL BE PROVIDED.
 19. THE PETITIONER/DEVELOPER SHALL SECURE THE REQUIRED PERMITS FROM LUESA REGARDING THE DEMOLITION OF THE EXISTING THREE SINGLE FAMILY STRUCTURES ON THE SITE.
 20. THE PETITIONER/DEVELOPER SHALL PROVIDE EASEMENTS FOR ANY PORTION OF THE PUBLIC SIDEWALK LOCATED OUTSIDE OF THE PUBLIC STREET RIGHT-OF-WAYS.
 21. THE PETITIONER SHALL TIE INTO THE EXISTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE PROPOSED DEVELOPMENT. IF IT IS FOUND THAT THE PROPOSED DEVELOPMENT WILL CAUSE THE SYSTEM(S) TO BE TAKEN OUT OF STANDARDS, THE PETITIONER SHALL PROVIDE ALTERNATIVE METHODS TO PREVENT THIS FROM OCCURRING.
- FOR PROJECTS WITH DEFINED WATERSHEDS GREATER THAN 24% BUILT UPON AREA, CONSTRUCT WATER QUALITY BEST MANAGEMENT PRACTICES (BMPs) TO ACHIEVE 85% TOTAL SUSPENDED SOLID (TSS) REMOVAL FOR THE ENTIRE POST-DEVELOPMENT RUNOFF VOLUME FROM THE RUNOFF GENERATED FROM THE FIRST 1-INCH OF RAINFALL. BMPs MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE NC DEPT OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR) BEST MANAGEMENT PRACTICES MANUAL, APRIL 1999, SECTION 4.0. USE OF LOW IMPACT DEVELOPMENT (LID) TECHNIQUES IS OPTIONAL.
- FOR PROJECTS WITH DEFINED WATERSHEDS GREATER THAN 24% BUILT-UPON AREA, CONTROL THE ENTIRE VOLUME FOR THE 1-YEAR, 24 HOUR STORM. RUNOFF VOLUME DRAWDOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS.
- FOR RESIDENTIAL PROJECTS WITH GREATER THAN 24% BUA, CONTROL THE PEAK TO MATCH PREDEVELOPMENT RUNOFF RATES FOR THE 10-YEAR, 6-HOUR STORMS OR PERFORM A DOWNSIDE ANALYSIS TO DETERMINE WHETHER PEAK CONTROL IS NEEDED, AND IF SO, FOR WHAT LEVEL OF STORM FREQUENCY.

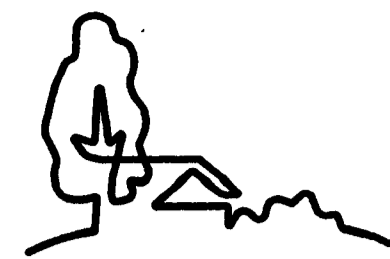
CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	40.28	20.00	S72°52'15"W	33.80
C2	88.40	300.00	N41°00'46"W	88.08
C3	31.43	20.00	N122°39'E	28.29
C4(T)	97.92	185.99	N87°33'07"E	96.51
C5	39.56	25.00	S30°12'38"E	35.56

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission
9/5/18



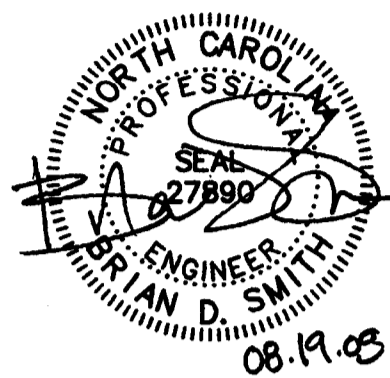
PROJECT SCHEDULE

MULTIFAMILY PERMIT: MARCH TO AUGUST 2008
BUILDING PERMIT: JUNE TO SEPTEMBER 2008
CONSTRUCTION: JUNE/SEPTEMBER 2008 TO 2009



URBAN
DESIGN
PARTNERS

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urbandesignpartners.com



Park South Estates, LLC

Jeff Avery

Ardsley Court

Site Plan

Charlotte, NC

NO. DATE: BY: REVISIONS:

1. 06.03.08 acb per city comments
2. 08.30.08 acb per building standards comments
3. 7.22.08 acb per city comments
4. 08.13.08 acb per city comments

Project No: 07-017

Date: March 2008

Designed by: prg

Drawn by: prg

Scale: 1"=50'

Sheet No:

C-3.0