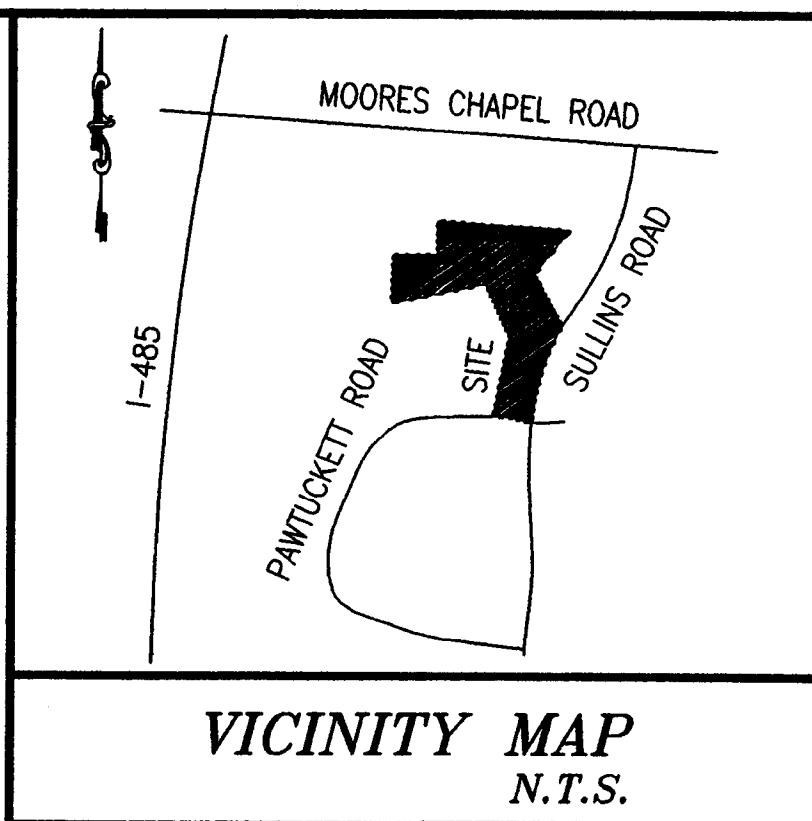
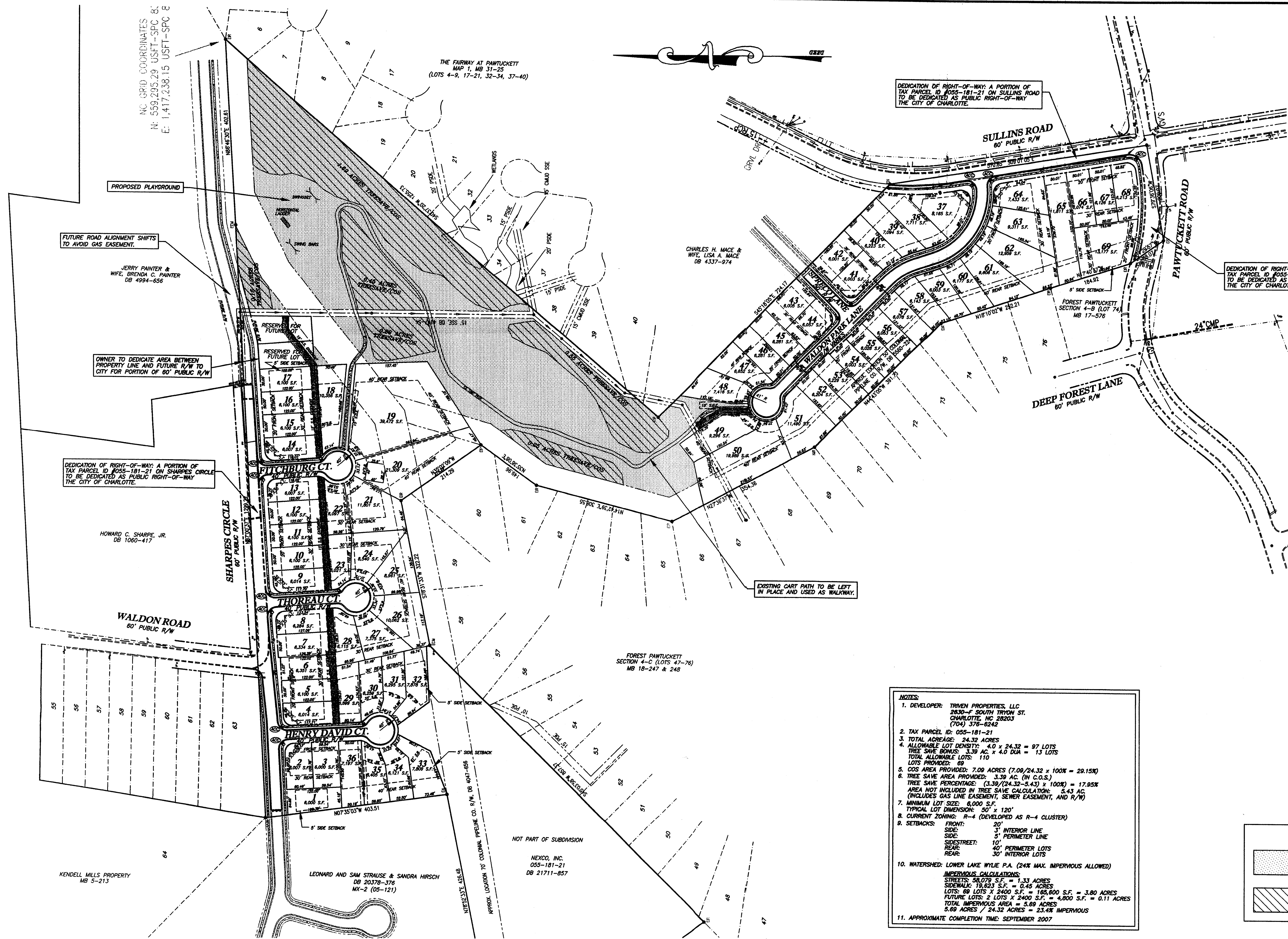




DEDICATION OF RIGHT-OF-WAY: A PORTION OF TAX PARCEL ID 055-181-21 ON SULLINS ROAD TO BE DEDICATED AS PUBLIC RIGHT-OF-WAY THE CITY OF CHARLOTTE.

DEDICATION OF RIGHT-OF-WAY: A PORTION OF TAX PARCEL ID 055-181-21 ON PAWTUCKETT RD. TO BE DEDICATED AS PUBLIC RIGHT-OF-WAY THE CITY OF CHARLOTTE.

FUTURE ROAD ALIGNMENT SHIFTS TO AVOID GAS EASEMENT.

JERRY PAINTER & WIFE, BRENDA C. PAINTER DB 4994-656

OWNER TO DEDICATE AREA BETWEEN PROPERTY LINE AND FUTURE R/W TO CITY FOR PORTION OF 60' PUBLIC R/W

DEDICATION OF RIGHT-OF-WAY: A PORTION OF TAX PARCEL ID 055-181-21 ON SHARPES CIRCLE TO BE DEDICATED AS PUBLIC RIGHT-OF-WAY THE CITY OF CHARLOTTE.

HOWARD C. SHARPE, JR. DB 1060-417

CHARLES H. MACE & WIFE, LISA A. MACE DB 4337-974

EXISTING CART PATH TO BE LEFT IN PLACE AND USED AS WALKWAY.

FOREST PAWTUCKETT SECTION 4-C (LOTS 47-76) MB 18-247 & 248

NOT PART OF SUBDIVISION

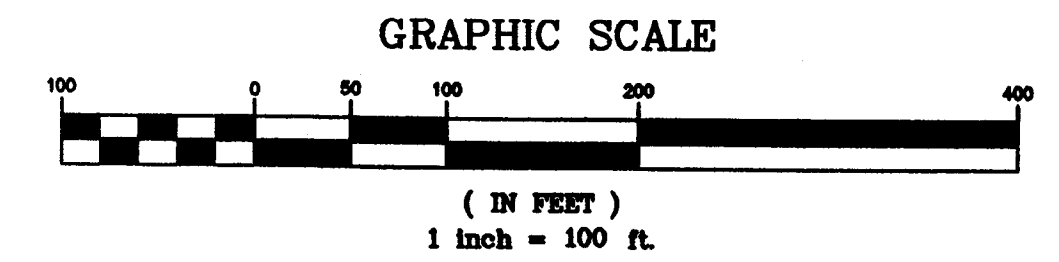
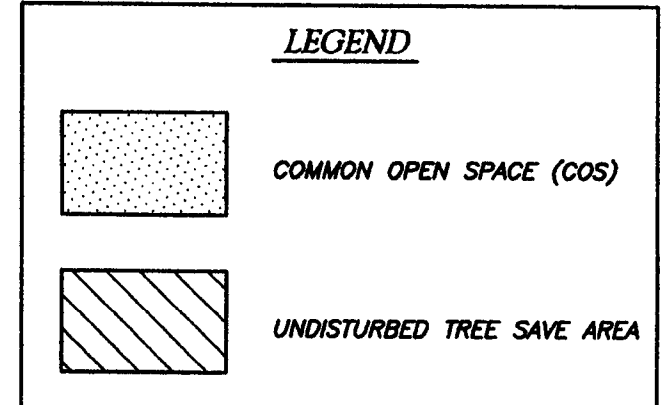
NEXCO, INC. 055-181-21 DB 21711-857

LEONARD AND SAM STRAUSS & SANDRA HIRSCH DB 20378-376 MX-2 (05-121)

KENDALL MILLS PROPERTY MB 5-213

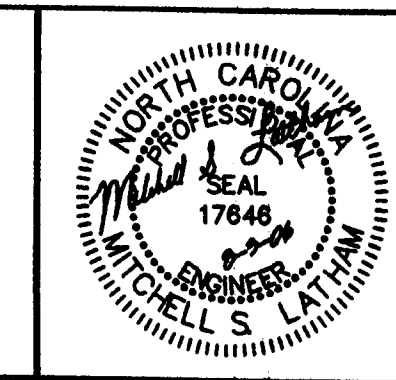
- NOTES:
1. DEVELOPER: TRIVEN PROPERTIES, LLC 2630-F SOUTH TRYON ST. CHARLOTTE, NC 28203 (704) 376-6242
  2. TAX PARCEL ID: 055-181-21
  3. TOTAL ACRES: 24.32 ACRES
  4. ALLOWABLE LOT DENSITY: 4.0 x 24.32 = 97 LOTS  
TREE SAVE BONUS: 3.39 AC. x 4.0 DIA = 13 LOTS  
TOTAL ALLOWABLE LOTS: 110  
LOTS PROVIDED: 69
  5. COS AREA PROVIDED: 7.09 ACRES (7.09/24.32 x 100% = 29.15%)  
TREE SAVE AREA PROVIDED: 3.39 AC. (IN C.O.S.)  
TREE SAVE PERCENTAGE: (3.39/(24.32-5.43) x 100%) = 17.95%  
AREA NOT INCLUDED IN TREE SAVE CALCULATION: 2.43 AC.  
(INCLUDES GAS LINE EASEMENT, SEWER EASEMENT, AND R/W)
  6. MINIMUM LOT SIZE: 6,000 S.F.  
TYPICAL LOT DIMENSION: 50' x 120'
  7. CURRENT ZONING: R-4 (DEVELOPED AS R-4 CLUSTER)
  8. SETBACKS: FRONT: 20'  
SIDE: 3' INTERIOR LINE  
SIDE: 5' PERIMETER LINE  
SIDE: 10' PERIMETER LOTS  
REAR: 40' PERIMETER LOTS  
REAR: 30' INTERIOR LOTS
  10. WATERSHED: LOWER LAKE WYLYE P.A. (24% MAX. IMPERVIOUS ALLOWED)  
IMPERVIOUS CALCULATIONS:  
STREETS: 58,079 S.F. = 1.33 ACRES  
SIDEWALK: 19,823 S.F. = 0.45 ACRES  
TOTAL IMPERVIOUS: 77,902 S.F. = 1.78 ACRES  
FUTURE LOTS: 2 LOTS x 2400 S.F. = 4,800 S.F. = 0.11 ACRES  
TOTAL IMPERVIOUS AREA = 5.69 ACRES  
5.69 ACRES / 24.32 ACRES = 23.4% IMPERVIOUS
  11. APPROXIMATE COMPLETION TIME: SEPTEMBER 2007

APPROVED FOR  
CONSTRUCTION  
CMPC  
JLS 5/31/2007



| REV. NO. | REVISIONS                                      | DATE    |
|----------|------------------------------------------------|---------|
| 4        | REVISED PER CHARLOTTE 2ND REVIEW COMMENTS      | 4/23/07 |
| 3        | REVISED WALDON PARK LANE ALIGNMENT PER CDDY    | 2/27/07 |
| 2        | REVISED PER CHARLOTTE 1ST REVIEW COMMENTS      | 2/9/07  |
| 1        | REVISED LOTS 1-17 TO ENSURE 6,000 S.F. MINIMUM | 1/18/07 |

**LWE**  
LATHAM-WALTERS ENGINEERING, INC.  
18507-A NORTHCROSS DRIVE  
HUNTERVILLE, NORTH CAROLINA 28078  
(704) 895-8484 FAX (704) 895-8485



OWNER:  
**TRIVEN PROPERTIES, LLC**  
2630-F SOUTH TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28203  
(704) 376-6242

|                                                             |                                                                                                |                   |
|-------------------------------------------------------------|------------------------------------------------------------------------------------------------|-------------------|
| <b>WALDON PARK</b><br>PAWTUCKETT ROAD CITY OF CHARLOTTE, NC | DATE: AUG. 2006<br>SCALE: 1" = 100'<br>DRAWN BY: MSL<br>CHECKED BY: JLV<br>PROJECT NO: 2006.44 | SHEET<br><b>2</b> |
|-------------------------------------------------------------|------------------------------------------------------------------------------------------------|-------------------|