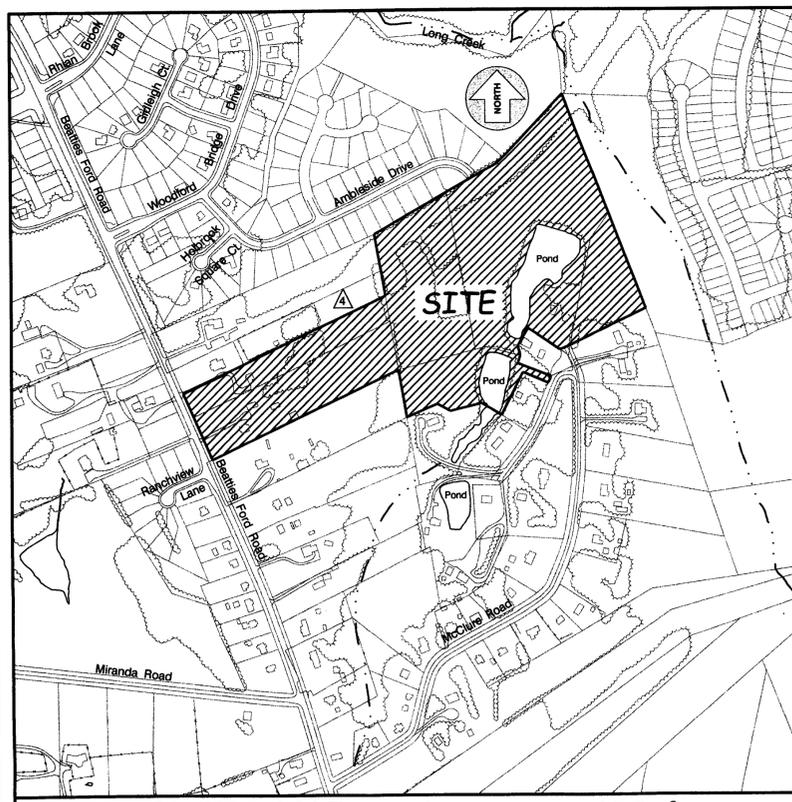


NORTH LAKE LANDING

**McALPINE COMPANIES
 MECKLENBURG COUNTY
 CHARLOTTE, NORTH CAROLINA**

**NORTH LAKE LANDING
 BEATTIES FORD ROAD
 ZONED : R - 3 (CLUSTER)
 OWNER / DEVELOPER : McALPINE COMPANIES
 1329 MOREHEAD STREET
 CHARLOTTE, NC 28204
 PHONE : (704) 362-2400
 MECKLENBURG COUNTY, CHARLOTTE, NORTH CAROLINA
 CONSTRUCTION PLANS**



VICINITY MAP 1 inch = 400 feet

SITE INFORMATION:

- OWNER/DEVELOPER: McALPINE COMPANIES
 1329 MOREHEAD STREET
 CHARLOTTE, NORTH CAROLINA 28204
 CONTACT: SHANE SEAGLE PHONE: (704) 362-2400
 FAX: (704) 362-2422
- PIN # 025-171-05 DEED REFERENCE : DEED BOOK 22270 PAGE 508 : 2.68 AC. +/-
 PIN # 025-171-06 DEED REFERENCE : DEED BOOK 20978 PAGE 49 : 11.009 AC. +/-
 PIN # 025-171-41 DEED REFERENCE : DEED BOOK 20978 PAGE 63 : 1.994 AC. +/-
 PIN # 025-171-27 DEED REFERENCE : DEED BOOK 20978 PAGE 59 : 13.423 AC. +/-
 PIN # 025-171-40 DEED REFERENCE : DEED BOOK 20978 PAGE 55 : 2.247 AC. +/-
- TRACT AREA : .3159 ACRES (Dewberry Survey)
- BOUNDARY SURVEY INFORMATION OBTAINED FROM DEWBERRY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON TOPOGRAPHIC MAPPING PROVIDED BY DEWBERRY.
- PROPERTY IS PROPOSED TO BE DEVELOPED AS A SINGLE-FAMILY RESIDENTIAL SUBDIVISION IN ACCORDANCE WITH ALL REQUIREMENTS OF THE R-3 (CLUSTER) ZONING DISTRICT:

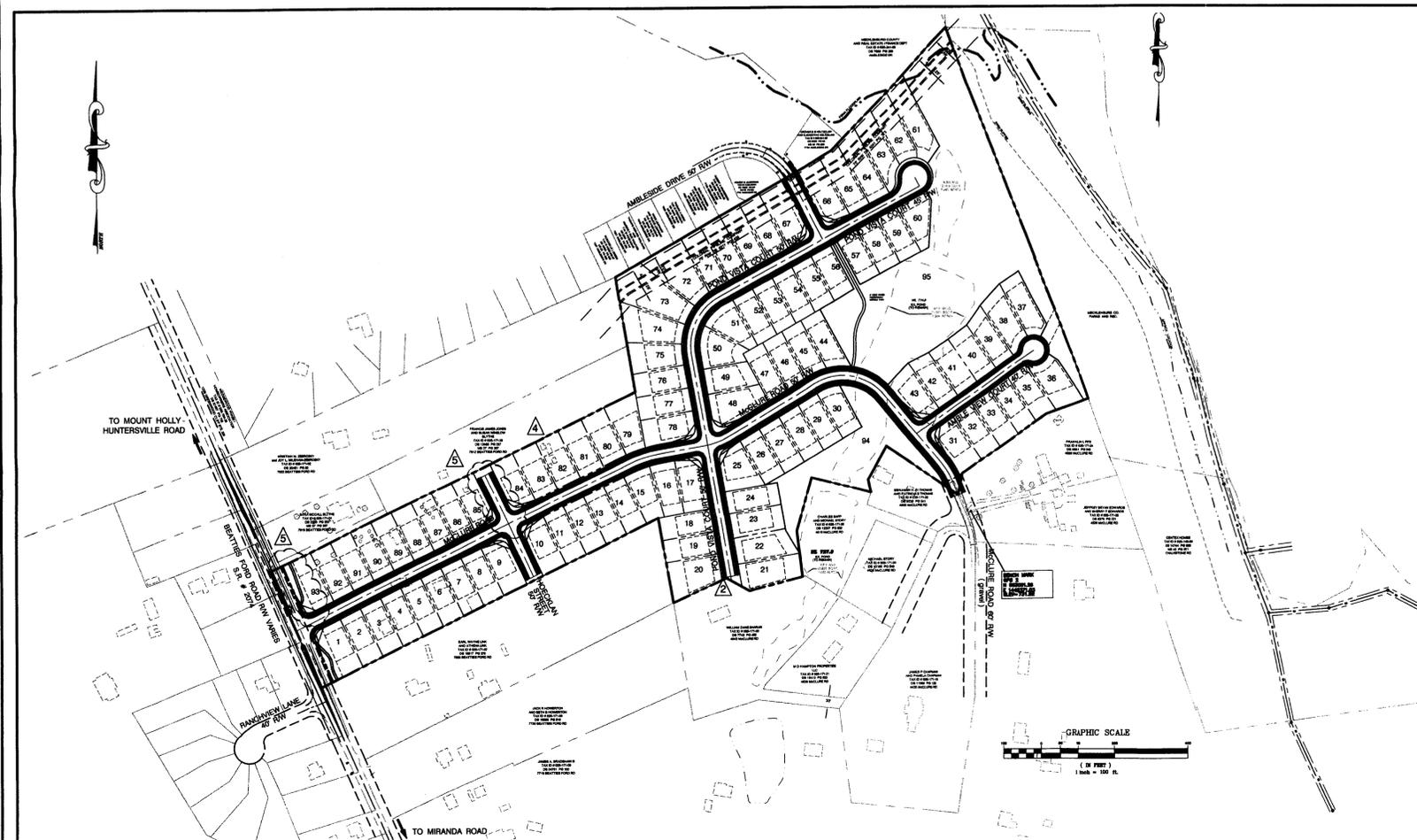
TOTAL PROPOSED NO. OF LOTS	93
PROPOSED DENSITY	2.94 DU / AC
MIN. LOT AREA	8,000 SQ. FT.
MIN. LOT WIDTH	60 FEET
MIN. BUILDING SETBACK	20 FEET
MIN. REAR YARD	30 FEET (INTERIOR LOT) 45 FEET (PERIMETER LOT)
MIN. SIDE YARD	5 FEET (INTERIOR LOT) 6' (PERIMETER LOT)
- TWO LOTS WITHIN THE PROPERTY (SPECIFICALLY LOTS 94 & 95) ARE PROPOSED TO BE DEVELOPED AS OPEN SPACE.



INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. HOWEVER, DEWBERRY & DAVIS, INC. HAS NO NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD US TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE, BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS ASSIGNS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT DEWBERRY & DAVIS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION. INFORMATION WITH RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

SHEET INDEX

SHEET NO.	TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	GENERAL NOTES
C4	SITE LAYOUT PLAN
C5	SITE LAYOUT PLAN
C6	SITE LAYOUT PLAN
C7	EROSION CONTROL PLAN : INITIAL CLEARING
C8	EROSION CONTROL PLAN : INITIAL CLEARING
C9	EROSION CONTROL PLAN : FINAL
C10	EROSION CONTROL PLAN : FINAL
C11	GRADING and DRAINAGE PLAN
C12	GRADING and DRAINAGE PLAN
C13	GRADING and DRAINAGE PLAN
C14	DRAINAGE AREA MAP
C15	ROADWAY PLAN and PROFILE : McCLURE ROAD
C16	ROADWAY PLAN and PROFILE : McCLURE ROAD
C17	ROADWAY PLAN and PROFILE : McCLURE ROAD
C18	ROADWAY PLAN and PROFILE : POND VISTA COURT
C19	ROADWAY PLAN and PROFILE : POND VISTA COURT
C20	ROADWAY PLAN and PROFILE : AMBLESIDE DRIVE
C21	ROADWAY PLAN and PROFILE : AMBER VIEW COURT & HOECKLAN STREET
C21a	ROADWAY PLAN and PROFILE : HOECKLAN STREET
C22	STORM SEWER PROFILES
C23	STORM SEWER PROFILES
C24	STORM SEWER PROFILES
C25	STORM SEWER PROFILES
C26	BEATTIES FORD ROAD IMPROVEMENTS AND SIGHT DISTANCE PROFILE
C27	BEATTIES FORD ROAD TRAFFIC CONTROL PLAN
C28	BEATTIES FORD ROAD PAVEMENT / STRIPING PLAN
C29	SITE DEVELOPMENT DETAILS
C30	SITE DEVELOPMENT DETAILS
C31	SITE DEVELOPMENT DETAILS
C32	SITE DEVELOPMENT DETAILS
C33	SOILS MAP
C34	WSPE CROSS - SECTIONS
C35	WSPE CROSS - SECTIONS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE DETAILS
L4	EXISTING TREE CANOPY AERIAL PHOTO



LOCATION MAP SCALE : 1 inch = 200 feet



**APPROVED FOR
 CONSTRUCTION
 CMPC**
Shayne 12.6.07

SEAL

**FINAL DRAWING
 NOT FOR
 CONSTRUCTION**

SEAL



No.	Date	By	Description
1	10/15/07	MMG	REVISED PER CITY COMMENTS
2	08/17/07	EMH	ADDED LOTS 79 - 94
3	06/01/07	CFC	REVISED SHEET INDEX
4	03/26/07	JTB	REVISED PER CITY COMMENTS
5	01/05/07	CFC	REVISED PER CITY COMMENTS

REVISIONS

DRAWN BY: C.F.C.
 APPROVED BY: C.N.N.
 CHECKED BY: A.R.V.
 DATE: 10/10/2006

TITLE

**COVER
 SHEET**

PROJECT NO. 10001506

C1

SHEET NO.

BEATTIES FORD ROAD CROSS SECTIONS UNDER SEPARATE COVER



SCALE : 1 inch = 40 feet

No.	Date	By	Description
1	10/15/07	MMG	REVISED PER CITY COMMENTS
2	08/17/07	EMH	ADDED LOTS 79 - 94
3	06/01/07	JTB	REVISED PER CITY COMMENTS
4	03/26/07	JTB	REVISED PER CITY COMMENTS
5	01/05/07	CFC	REVISED PER CITY COMMENTS

REVISIONS

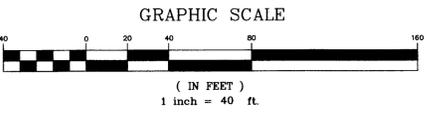
DRAWN BY	C.F.C.
APPROVED BY	C.N.N.
CHECKED BY	A.R.V.
DATE	10 / 10 / 2006

**SITE LAYOUT
 PLAN**

PROJECT NO. 10001506

C4

SHEET NO.



CURVE TABLE

CURVE	DELTA	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	16°05'58"	84.30'	300.00'	42.43'	84.02'	S 72°06'16" W
C2	20°06'39"	70.20'	200.00'	35.46'	69.84'	N 70°05'56" E
C3	79°35'49"	208.38'	150.00'	124.97'	192.03'	N 80°09'29" W
C4	17°49'25"	46.66'	150.00'	23.52'	46.47'	N 31°26'52" W
C5	22°50'37"	87.71'	220.00'	44.45'	87.13'	N 11°06'52" W
C6	71°33'10"	187.32'	150.00'	108.09'	175.39'	S 25°55'50" W
C7	89°22'50"	234.00'	150.00'	148.39'	210.98'	N 72°58'59" W

LINE TABLE

LINE	LENGTH	BEARING
L1	995.83	N 64°03'17" E
L2	125.88	N 80°09'15" E
L3	268.18	N 60°02'36" E
L4	235.82	S 40°21'35" E
L5	121.87	S 22°32'10" E
L6	90.41	S 00°18'27" W
L7	601.65	N 09°50'45" W
L8	609.36	N 61°42'25" E
L9	26.00	S 27°27'27" E
L10	383.06	N 55°55'34" E
L11	189.01	N 28°17'35" W
L12	68.87	S 62°19'36" W
L13	165.00	N 25°56'43" W
L14	144.45	N 25°56'43" W

Tree Save Calculations

Total Site Area	31.59 AC
Ex. Pond/Wetland Area	2.16 AC
Colonial Pipeline Easement Area	1.82 AC
Existing McClure Road R/W	0.03 AC
Net Site Area	27.58 AC
Prop. Tree Save Area	2.83 AC
Net % Tree Save Area	10.26 %

KRISTIAN M. ZEBROSKY
 JOY L. MILEHAM-ZEBROSKY
 TAX ID # 025-171-02
 DB 20451 PG 82
 7932 BEATTIES FORD RD

SARA MCCALL BLYTHE
 TAX ID # 025-171-04
 DB 2590 PG 333
 MB 37 PG 287
 7916 BEATTIES FORD RD

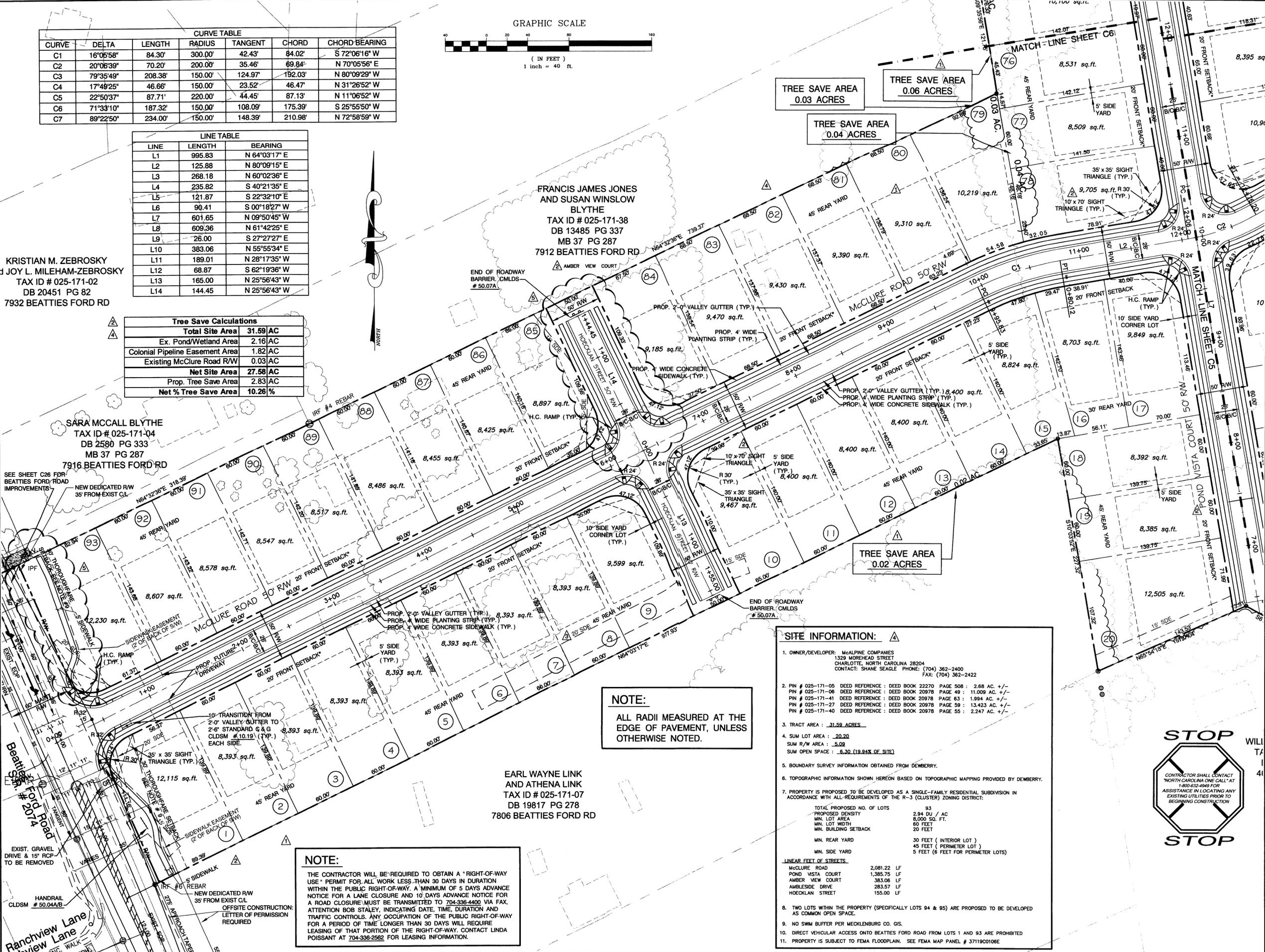
FRANCIS JAMES JONES
 AND SUSAN WINSLOW
 BLYTHE
 TAX ID # 025-171-38
 DB 13485 PG 337
 MB 37 PG 287
 7912 BEATTIES FORD RD

EARL WAYNE LINK
 AND ATHENA LINK
 TAX ID # 025-171-07
 DB 19817 PG 278
 7806 BEATTIES FORD RD

SEE SHEET C26 FOR
 BEATTIES FORD ROAD
 IMPROVEMENTS

EXIST. GRAVEL
 DRIVE & 15" RCP
 TO BE REMOVED

HANDRAIL
 CLDSM # 50.04A/B



SITE INFORMATION:

- OWNER/DEVELOPER: McALPINE COMPANIES
 1329 MOREHEAD STREET
 CHARLOTTE, NORTH CAROLINA 28204
 CONTACT: SHANE SEAGLE PHONE: (704) 362-2400
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 PIN # 025-171-27 DEED REFERENCE : DEED BOOK 20978 PAGE 59 : 13,423 AC. +/-
 PIN # 025-171-40 DEED REFERENCE : DEED BOOK 20978 PAGE 55 : 2,247 AC. +/-
- TRACT AREA : 31.59 ACRES
- SUM LOT AREA : 20.20
 SUM R/W AREA : 5.09
 SUM OPEN SPACE : 6.30 (19.94% OF SITE)
- BOUNDARY SURVEY INFORMATION OBTAINED FROM DEWBERRY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON TOPOGRAPHIC MAPPING PROVIDED BY DEWBERRY.
- PROPERTY IS PROPOSED TO BE DEVELOPED AS A SINGLE-FAMILY RESIDENTIAL SUBDIVISION IN ACCORDANCE WITH ALL REQUIREMENTS OF THE R-3 (CLUSTER) ZONING DISTRICT.
 TOTAL PROPOSED NO. OF LOTS 93
 PROPOSED DENSITY 2.94 DU / AC
 MIN. LOT AREA 8,000 SQ. FT.
 MIN. LOT WIDTH 60 FEET
 MIN. BUILDING SETBACK 20 FEET
 MIN. REAR YARD 30 FEET (INTERIOR LOT)
 MIN. SIDE YARD 45 FEET (PERIMETER LOT)
 5 FEET (6 FEET FOR PERIMETER LOTS)
- LINEAR FEET OF STREETS
 McClure Road 2,081.22 LF
 POND VISTA COURT 1,385.75 LF
 AMBER VIEW COURT 383.06 LF
 AMBLESDRIVE DRIVE 283.57 LF
 HOECKLAN STREET 155.00 LF
- TWO LOTS WITHIN THE PROPERTY (SPECIFICALLY LOTS 94 & 95) ARE PROPOSED TO BE DEVELOPED AS COMMON OPEN SPACE.
- NO SWIM BUFFER PER MECKLENBURG CO. GIS.
- DIRECT VEHICULAR ACCESS ONTO BEATTIES FORD ROAD FROM LOTS 1 AND 93 ARE PROHIBITED
- PROPERTY IS SUBJECT TO FEMA FLOODPLAIN. SEE FEMA MAP PANEL # 37119001006E

NOTE:
 ALL RADII MEASURED AT THE
 EDGE OF PAVEMENT, UNLESS
 OTHERWISE NOTED.

NOTE:
 THE CONTRACTOR WILL BE REQUIRED TO OBTAIN A "RIGHT-OF-WAY
 USE" PERMIT FOR ALL WORK LESS THAN 30 DAYS IN DURATION
 WITHIN THE PUBLIC RIGHT-OF-WAY. A MINIMUM OF 5 DAYS ADVANCE
 NOTICE FOR A LANE CLOSURE AND 10 DAYS ADVANCE NOTICE FOR
 A ROAD CLOSURE MUST BE TRANSMITTED TO 704-336-4400 VIA FAX.
 ATTENTION BOB STALEY, INDICATING DATE, TIME, DURATION AND
 TRAFFIC CONTROLS. ANY OCCUPATION OF THE PUBLIC RIGHT-OF-WAY
 FOR A PERIOD OF TIME LONGER THAN 30 DAYS WILL REQUIRE
 LEASING OF THAT PORTION OF THE RIGHT-OF-WAY. CONTACT LINDA
 POISSANT AT 704-336-2582 FOR LEASING INFORMATION.



SEAL
**FINAL DRAWING
 NOT FOR
 CONSTRUCTION**



SCALE : 1 inch = 40 feet

No.	Date	By	Description
1	08/11/07	EMH	ADDED LOTS 79-94
2	08/01/07	JTB	REVISED PER CITY COMMENTS
3	03/26/07	JTB	REVISED PER CITY COMMENTS
4	01/05/07	CFC	REVISED PER CITY COMMENTS

REVISIONS

DRAWN BY: C.F.C.
 APPROVED BY: C.N.N.
 CHECKED BY: A.R.V.
 DATE: 10/10/2006

TITLE

**SITE LAYOUT
 PLAN**

PROJECT NO. 10001506

C6

SHEET NO.

