

SITE TABULATION:

TOTAL SITE AREA: 34.55 ACRES (33.91 AC. NET AREA TO FUTURE 100' R/W)

TAX PARCELS #S: 219-121-02

EXISTING ZONING: R-3 (CLUSTER WITH TREE SAVE INCENTIVE)

PROPOSED PARKING: 2 MIN. PER LOT

MAXIMUM # UNITS ALLOWED: 3 X34.55 (AC.) + 10% TREE SAVE INCENTIVE DENSITY BONUS = 114

PROPOSED # OF LOTS: 106 DETACHED SINGLE-FAMILY

TOTAL COMMON OPEN SPACE: 47.30 ACRES (21% OF TOTAL SITE AREA)

MAXIMUM BLDG. HEIGHT: 40'

WATERSHED DISTRICT: N/A

FEMA FLOODPLAIN: N/A

MINIMUM LOT STANDARDS (R-3 CLUSTER):

FRONT YARD: 20' MIN. (AS SHOWN)

SIDE YARD: 3' (WITH TREE SAVE INCENTIVE)

REAR YARD: 45' (EXTERNAL LOTS), 30' (INTERNAL LOTS)

MIN. LOT WIDTH: 60'

MIN. LOT AREA: 8,000 S.F.

* FACE OF GARAGES TO BE SET BACK A MINIMUM OF 20' FROM RIGHT-OF-WAY

TREE ORDINANCE DATA:

1. TOTAL TREE SAVE AREA REQUIRED: 3.38 AC. MIN. (10%)

2. TOTAL TREE SAVE AREA PROVIDED: 3.24 AC. (11.02%)

3. SEE SHEET L-7 PLANTING PLAN FOR ADDITIONAL INFORMATION.

GENERAL/SITE NOTES:

1. EXISTING BOUNDARY TAKEN FROM BOUNDARY SURVEY BY THE SCHNEIDER CORPORATION, DATED 9/19/06 AND 11/09/06.

2. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO BEGINNING OF CONSTRUCTION.

3. THE FOLLOWING DETAILS SHALL BE USED FROM THE "CHARLOTTE LAND DEVELOPMENT STANDARDS" (CLDS) MANUAL, LATEST EDITION:

- 10.17 2'-0" VALLEY GUTTER, & 1'-6" CURB & GUTTER
- 10.22 CONCRETE SIDEWALK
- 10.27 GRADED DRIVEWAY FOR VALLEY GUTTER
- 10.33 ACCESSIBLE SIDEWALK RAMP
- 10.39 MODULAR RETAINING WALLS USING GEORGIA IN THE RIGHT OF WAY
- 10.21 BRICK STORM STRUCTURE WITH TEMPORARY PIPE
- 50.05 STREET NAME SIGN
- 50.06 STREET NAME SIGN INSTALLATION
- 50.03 CONCRETE CONTROL MONUMENTS

4. SITE DEVELOPMENT IS EXPECTED TO BE COMPLETED WITHIN 36 MONTHS FROM PRELIMINARY SUBDIVISION PLAN APPROVAL.

5. STORM DRAIN EASEMENTS (SDE) ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER OR HOMEOWNERS ASSOCIATION.

6. ALL RADI AT INTERSECTIONS TO BE 20' AT RIGHT-OF-WAY AND 20' AT BACK OF CURB UNLESS OTHERWISE NOTED.

7. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.

8. GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY ORDINANCE AND IS SUBJECT TO FINES.

9. (ELIMINATED)

10. SLOPES SHALL NOT EXCEED 2:1 (HOR. TO VERT.).

11. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE WHICH WAS NOT INCLUDED IN A PREVIOUSLY APPROVED GRADING PLAN.

12. (ELIMINATED)

13. THIS DEVELOPMENT WILL BE SERVICED BY PUBLIC (CMU) WATER AND SEWER.

14. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS PRIOR TO PLAN APPROVAL.

15. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

16. A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, CONCRETE PAVEMENT, BRICK PAVING, ETC.) WITHIN A PROPOSED EXISTING (RIGHT-OF-WAY) RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER/BUSINESS ASSOCIATION, AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDD/NCDD PRIOR TO THE INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDD/NCDD FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE REQUIREMENTS. IT IS POSSIBLE THAT CDD/NCDD MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENCROACHMENT AGREEMENT.

17. ALL PROPOSED TREES, BERM, WALLS, FENCES AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTIONS.

18. ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUALS AND COORDINATED WITH CITY ENGINEERING DEPARTMENT.

19. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDD.

20. SIGNAGE AND LANDSCAPING AND OTHER MONUMENTATIONS SHALL BE PERMITTED IN CONFORMANCE WITH ZONING ORDINANCE RECEPT NOT CONSTRUCTED WITH HOMES. THE BUILDER WILL PROVIDE A CONCRETE PARKING PAD TO ACCOMMODATE 2 PARKING SPACES PER LOT. THIS PAD WILL END A MINIMUM OF 20' BEHIND BUILDING SETBACK TO ALLOW FOR FULL PARKING OUTSIDE OF THE BUILDING SETBACK.

22. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.

23. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.

24. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.

25. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.

26. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.

27. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.

28. NO DIRECT ACCESS IS PERMITTED FROM LOTS 1 THRU 11 TO EXISTING STEELE CREEK ROAD.

29. ALL PAYMENT MARKINGS SHALL BE FOUR (4) INCHES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

30. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.

31. (ELIMINATED)

32. COORDINATE PUBLIC STREET CURB IN INTERSECTION WITH INSPECTOR.

33. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDS 50.06 (IF SIGNS ONLY).

34. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

35. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.

36. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

37. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS ARE THE NECESSARY RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

38. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS. ALL DEBRIS FROM CLEARING OPERATIONS TO BE DISPOSED OF OFF-SITE IN AN APPROVED DISPOSAL FACILITY.

39. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBMITTING FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPT. IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

40. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.

41. THE CITY OF CHARLOTTE ENGINEERING DEPT. HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.

42. ONLY PATIOS (NO ELEVATED DECKS) AT GRADE ARE ALLOWED IN THE SETBACK.

43. ALL ROAD IMPROVEMENTS AT INTERSECTION WITH STEELE CREEK ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

44. (ELIMINATED)

45. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.

46. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

47. CONTRACTOR TO COORDINATE WITH DUKE ENERGY ON RELOCATION OF EXISTING OVERHEAD POWERLINE.

48. CONTRACTOR TO PROVIDE TRAFFIC CONTROL DURING SITE CONSTRUCTION WITHIN STEELE CREEK ROAD ROW AS DIRECTED BY CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (DOT).

49. NO PROPOSED STUMP HOLES OR DEMOLITION LANDFILLS ON SITE. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS TO OFF-SITE LOCATIONS.

50. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7088) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAY WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER. ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH NCDDOT AND CITY OF CHARLOTTE STANDARDS, DETAILS AND SPECIFICATIONS.

51. ALL ACCESSIBLE RAMPS, PARKING SPACES, SIGNS, ETC., SHALL MEET THE STANDARDS OF THE AMERICANS WITH DISABILITIES ACT AND THE NC ACCESSIBILITY CODES.

52. TOP SOIL TO BE STRIPPED AND SMALL PORTION OF THE TOP SOIL MAY BE STOCKPILED ON-SITE IN AREAS DIRECTED BY SITE DEVELOPERS. CONTRACTOR TO BE RESPONSIBLE FOR OFF-SITE DISPOSAL FOR THE REMAINDER OF THE TOP SOIL.

53. CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS THAT MAY CHANGE DESIGN WITH DPR ASSOCIATES, INC. PRIOR TO PROCEEDING.

54. NO PORTION OF THE SUBJECT TRACT IS LOCATED IN A 100 YEAR FLOOD BOUNDARY PER THE FEMA MAP COMMUNITY PANEL NO. 370159-02686, DATED 02/04/2004.

55. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-432-4949. IT'S THE LAW.

56. STORM BARS AT INTERSECTION WITH STEELE CREEK ROAD SHALL BE WHITE SOLID PAINTED LINES 8" WIDE.

57. ALL NCDDOT STANDARDS PER HIGHWAY DESIGN STANDARD DRAWINGS JANUARY 2002 OR LATEST EDITION.

58. PROPOSED SIGNAGE SHALL COMPLY WITH CITY OF CHARLOTTE ZONING REQUIREMENTS.

59. ALL ADA RAMPS TO BE INSTALLED PER CITY OF CHARLOTTE STANDARDS, AND NCDDOT STANDARDS AT PUBLIC STREET ROW ALONG STEELE CREEK ROAD.

60. CONTRACTOR TO OBTAIN BUILDING PERMIT AS REQUIRED PER ALL APPLICABLE REGULATIONS.

61. THE SITE IS NOT LOCATED WITHIN REGULATED WATERSHED, HOWEVER, THE SITE IS SUBJECT TO "SWIM" BUFFER ZONE REGULATIONS.

62. RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

63. LOTS 97, 98, 99 AND 100 ARE WITHIN WATER EDGE OF EXISTING POND AND MAY BE SUBJECT TO ADDITIONAL REGULATIONS. ACTIVITY WITHIN THESE 4 LOTS BEYOND ROADWAY CONSTRUCTION IS PROHIBITED UNTIL THE POND IS DRAINED AND FURTHER WETLAND/UNDERGROUND CHANNEL HAS BEEN REVIEWED AND ANY POTENTIAL IMPACT HAS BEEN APPROVED BY U.S. ARMY CORPS OF ENGINEERS (USACE) AND CITY OF CHARLOTTE.

64. (ELIMINATED)

65. (ELIMINATED)

66. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

67. ALL EXISTING ON-SITE STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED (CONTRACTOR TO REVIEW WITH DEVELOPER/OWNER PRIOR TO COMMENCEMENT OF DEMOLITION. CONTRACTOR TO FOLLOW CONSTRUCTION SEQUENCE AND DEMOLITION SEQUENCE).

68. 4.04 ACRES OF ROW AT STEELE CREEK ROAD TO BE DEDICATED TO NCDDOT.

69. ANY BUILDING WITHIN THE 100+1 STORMWATER PROTECTION LINE (SWPL) IS SUBJECT TO THE RESTRICTION OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 2.00.8.

70. BOUNDARY SURVEY NOTE BY THE SCHNEIDER CORPORATION.

71. RIGHT-OF-WAY LINES SHOWN HEREON ARE FOR PICTORIAL PURPOSES ONLY. NO RIGHT OF WAY MONUMENTS WERE LOCATED. NO INSTRUMENT OF RECORD ESTABLISHING THE 60' RIGHT OF WAY FOR STEELE CREEK ROAD WAS FOUND. DEED BOOK 8121, PAGE 943 DESCRIBES THE 60' AS HAVING A 60' RIGHT OF WAY, BUT DOES NOT TRANSFER TITLE. NCDDOT MAINTAINS FROM BACK OF DITCH TO BACK OF DITCH.

72. PRIOR TO PLANT RELOCATION, OFFSITE RW AND CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS." THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

TREE PROTECTION NOTES:

1. TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
2. TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER AN INSPECTION BY URBAN FORESTRY STAFF.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
4. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
5. URBAN FORESTER, GARY TURNER, AT 704-336-4330, MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
6. TREE PROTECTION FENCE TO BE PLACED AT THE DRIP LINE PLUS FIVE (5) FEET, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.

TREE PLANTING NOTES:

1. TREES SHALL BE PLANTED IN ACCORDANCE WITH CHARLOTTE LAND DEVELOPMENT STANDARDS NO. 40.01, AND 40.09.
2. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOTBALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOTBALL.
3. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER TO RESOLVE BEFORE PLANTING.
4. ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
5. NEW TREES SHALL BE A MINIMUM 2" CALIPER FOR STREET TREE REQUIREMENTS.
6. SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.

SWIM BUFFER NOTES:

1. THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 8-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 160 SQUARE FEET). GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
3. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
4. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.
5. EXACT LOCATIONS OF THE SWIM BUFFER BOUNDARY SOUTH OF THE PROPOSED REMAINING LANE TO BE DETERMINED AFTER THE EXISTING POND HAS BEEN DRAINED BY WETLAND CONSULTANT AND APPROVED BY REGULATORY AGENCIES.

TRAFFIC SIGNAGE:

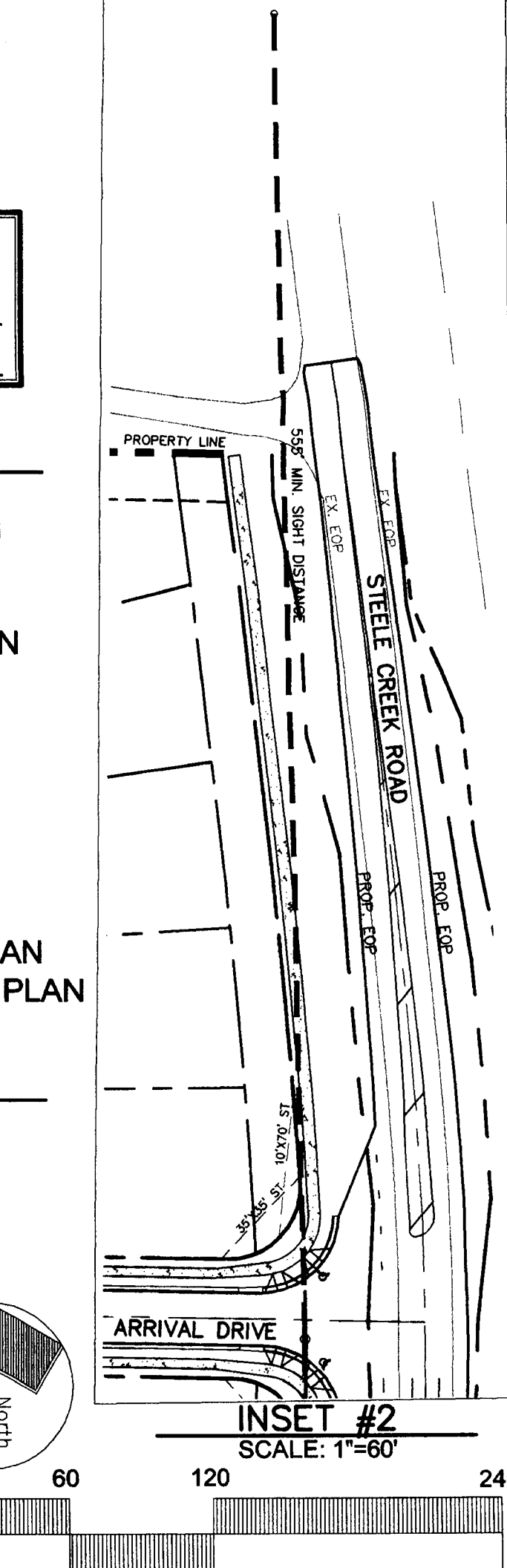
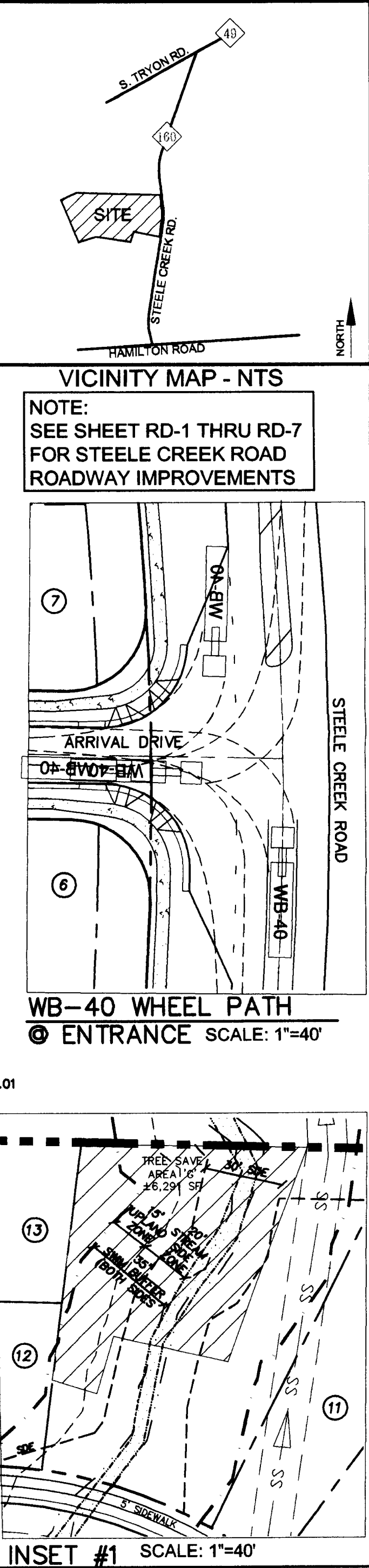
1. R-1-30' X 30' SIGN STOP SIGN (AT STEELE CREEK ROAD INTERSECTION AND ARRIVAL DRIVE) - INSTALLED BY DEVELOPER
 2. R-1-124' X 24' SIGN STOP SIGN (AT INTERNAL INTERSECTIONS) - INSTALLED BY DEVELOPER
- TRAFFIC SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.

SHEET SCHEDULE:

- | | |
|--------------|--------------------------------------|
| L-1 | SITE PLAN |
| L-2 | GRADING AND STORM DRAINAGE PLAN |
| L-3A | EROSION CONTROL PLAN - PHASE 1 |
| L-3B | SEDIMENT BASIN PLANS |
| L-3C | SEDIMENT BASIN DRAINAGE AREA PLAN |
| L-4 | EROSION CONTROL PLAN - PHASE 2 |
| L-5 | ROAD PROFILES |
| L-6 | ROAD PROFILES |
| L-7 | PLANTING PLAN |
| L-8A to L-8C | SITE DETAILS |
| L-9 | NCDDOT DRAINAGE DETAILS |
| L-10 | DRAINAGE AREAS PLAN |
| RD-1 | STEELE CREEK RD IMPROVEMENTS PLAN |
| RD-2 | STEELE CREEK RD TRAFFIC CONTROL PLAN |
| RD-3 to RD-7 | STEELE CREEK RD CROSS SECTIONS |

LEGEND:

- STORM DRAINAGE EASEMENT
- SANITARY SEWER RIGHT OF WAY
- BUFFER/SETBACK LINE
- STREET CENTERLINE
- PROPERTY LINE
- SIGHT TRIANGLE
- SIGHT DISTANCE LINE
- LOT NUMBER
- HANDICAP RAMP
- TREE SAVE AREA
- C.O.S. SWPE



Project Manager: JS

Drawn by: PAB

Checked by: TAC

Date: 01/22/07

Project Number: 06063.6

No.	Date	By	Description
1	03/09/07	PAB	1ST REVIEW COMMENTS FROM CITY OF CHARLOTTE & NCDDOT
2	05/29/07	TAC	2ND REVIEW COMMENTS FROM CITY OF CHARLOTTE & NCDDOT
3	07/06/07	PAB	3RD REVIEW COMMENTS FROM CITY OF CHARLOTTE & NCDDOT

DESIGN-PLANNING RESEARCH

DPR ASSOCIATES

Landscapes Architects

Planners & Engineers

420 Hawthorne Lane

Charlotte, NC 28204

704/332-1204

Scale: 1" = 60'

Sheet Number: L-1

SHEET X OF X TOTAL

APPROVED FOR CONSTRUCTION

CMPC

1.26.07

ENCLAVE SUBDIVISION

14816 STEELE CREEK ROAD

CHARLOTTE, NORTH CAROLINA

HAMILTON ROAD #2, LLC