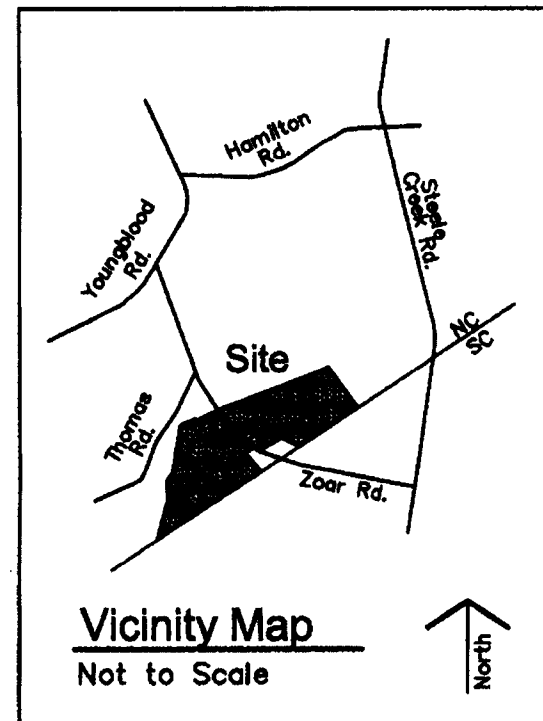




Development Data

Existing Zoning	R-3
Tax Parcel No.	219-101-04, 05, 06, 07 217-041-03
Development Zoning Criteria	R-3 (with Tree Ordinance Incentives for Tree Save Areas)
Proposed Use	Single Family Detached Residential
Total Gross Site Area	99.15
CMU Pump Station Area	0.50 Ac.
NET Site Area (For Tree Save Calcs.)	98.56 Ac.
Common Open Space Provided	11.48 Ac.
Percent of Gross Site Area	11.58%
Tree Save Area	10.12 Ac.
Percent of NET Site Area	10.27%
Permitted No. of Lots (base zoning)	297
Proposed No. of Lots	268

Lot Criteria

Min. Lot Size	8000 S.F. *
Min. Lot Width	60 Ft. *
Min. Front Setback	20 Ft. **
Rear Yard (Interior Lots)	30 Ft. *
Rear Yard (Exterior Lots)	45 Ft. *
Side Yard (Interior side yards)	3 Ft. **
Side Yard (Exterior boundary)	6 Ft. **
Side Yard (Corner Lots)	10 Ft. **

* Per cluster development provisions of the Zoning Ordinance
** Per Tree Save Area Incentive provisions of the Tree Ordinance

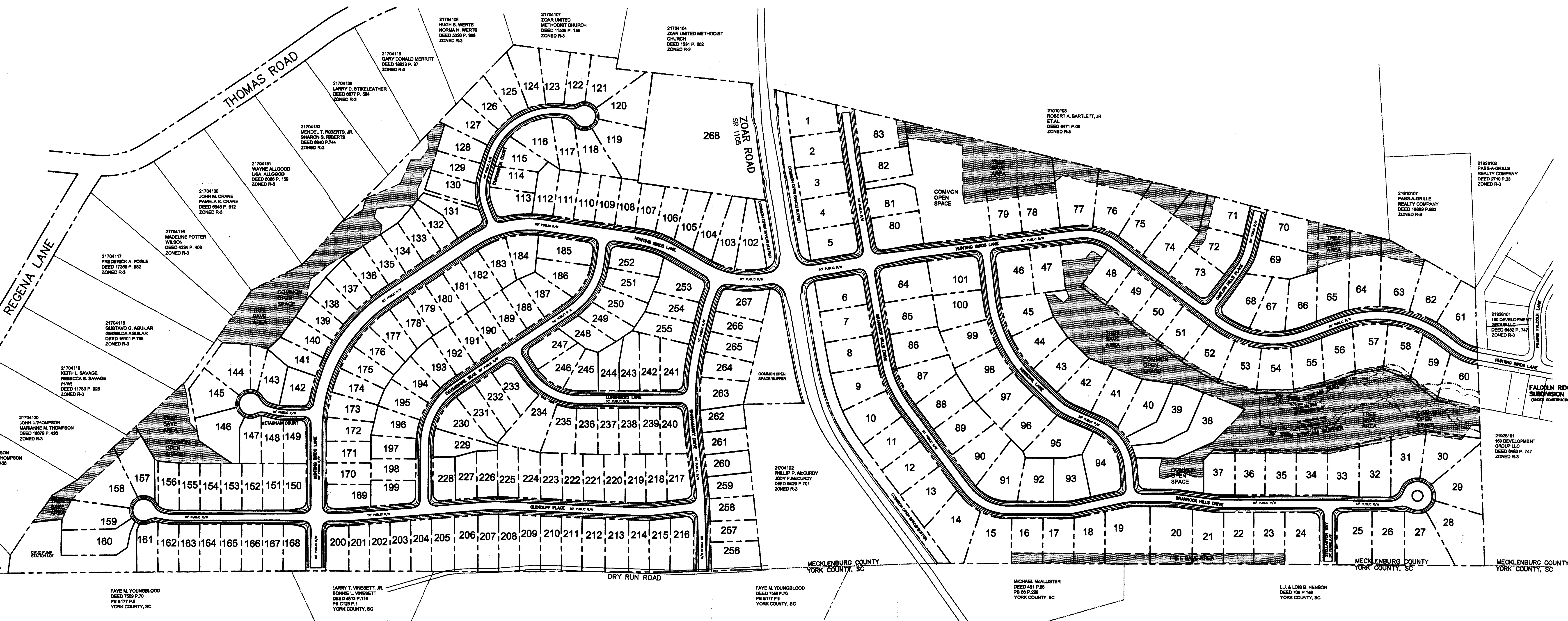
Sheet Schedule

Sheet Title	Sheet No.	Original Date	Latest Revision Date
Overall Site Plan	L-1	June 21, 2006	March 12, 2007
Existing Conditions Plan	L-2.1	June 21, 2006	June 21, 2006
Wetlands Map	L-2.2	June 21, 2006	December 18, 2006
Preliminary Subdivision Plan	L-3	June 21, 2006	April 16, 2007
Preliminary Subdivision Plan	L-4	June 21, 2006	March 12, 2007
Tree Protection & Required Planting Plan	L-5	June 21, 2006	March 12, 2007
Tree Protection & Required Planting Plan	L-6	June 21, 2006	December 18, 2006
Initial Phase Erosion Control Plan	L-7	June 21, 2006	December 18, 2006
Final Erosion Control Plan	L-8	June 21, 2006	March 12, 2007
Final Erosion Control Plan	L-9	June 21, 2006	December 18, 2006
Sediment Basin Grading & Details	L-10.1	June 21, 2006	December 18, 2006
Sediment Basin Grading & Details	L-10.2	June 21, 2006	December 18, 2006
Grading & Storm Drainage Plan	L-11	June 21, 2006	April 16, 2007
Grading & Storm Drainage Plan	L-12	June 21, 2006	March 12, 2007
Storm Drainage Basin Areas	L-13	June 21, 2006	March 12, 2007
Storm Drainage Basin Areas	L-14	June 21, 2006	March 12, 2007
Sediment Basin Areas	L-15	June 21, 2006	December 18, 2006
Sediment Basin Areas	L-16	June 21, 2006	December 18, 2006
Site Details	L-17	June 21, 2006	March 12, 2007
Site Details	L-18	June 21, 2006	March 12, 2007
Culvert Details	L-18.1	March 5, 2007	March 12, 2007
Road Profiles	L-19	June 21, 2006	December 18, 2006
Road Profiles	L-20	June 21, 2006	March 12, 2007
Road Profiles	L-21	June 21, 2006	December 18, 2006
Road Profiles	L-22	June 21, 2006	December 18, 2006
Road Profiles	L-23	June 21, 2006	December 18, 2006
Road Profiles	L-24	June 21, 2006	December 18, 2006
Zoar Road Improvements Plan	L-25	June 21, 2006	April 16, 2007
Zoar Road Traffic Control Plan	L-26	June 21, 2006	March 12, 2007
Zoar Road Sight Distance Plan & Profile	L-27	June 21, 2006	March 12, 2007
Zoar Road Cross Sections	L-28	February 10, 2007	April 16, 2007
Zoar Road Cross Sections	L-29	February 10, 2007	March 12, 2007

Legend

Lot Number	18
Lot Line/ Street R/W	
Curb & Gutter	
Concrete Sidewalk	
35' SWM Buffer Line	35' SWM BUFFER
Tree Save Area	

This set is current through April 16, 2007.



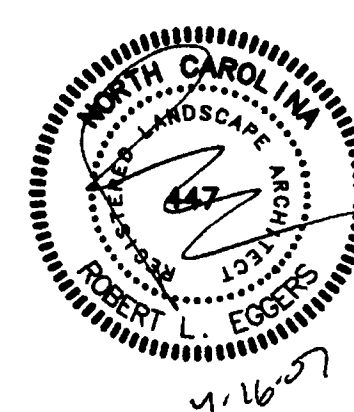
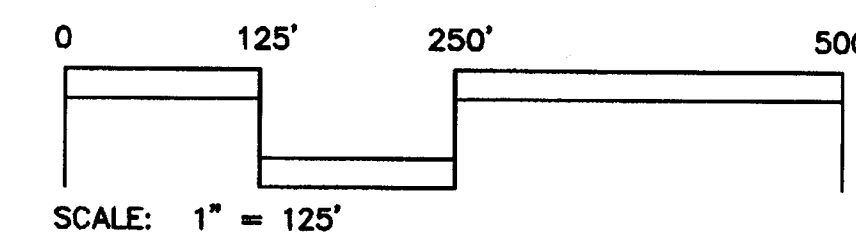
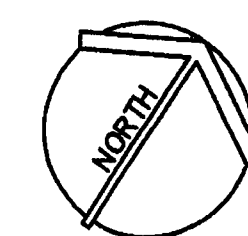
Designers:
Site Design Studio
4828 Carousel Drive
Charlotte, NC 28212
704-763-7876

Lash Engineering
1226 Mann Drive, Suite 100
Matthews, NC 28105
704-847-3031

EMH&T
8307 University Executive Park Drive
Suite 1230
Charlotte, NC 28105
704-548-0334

Owner:
Diamond Oak Development
1234 Mann Drive, Suite 100
Matthews, North Carolina 28105
Phone: 704-814-4441

SEE SHEET L-4 FOR GENERAL NOTES



Overall Site Plan

Creekshire
Charlotte, North Carolina ETJ
For Diamond Oak Development

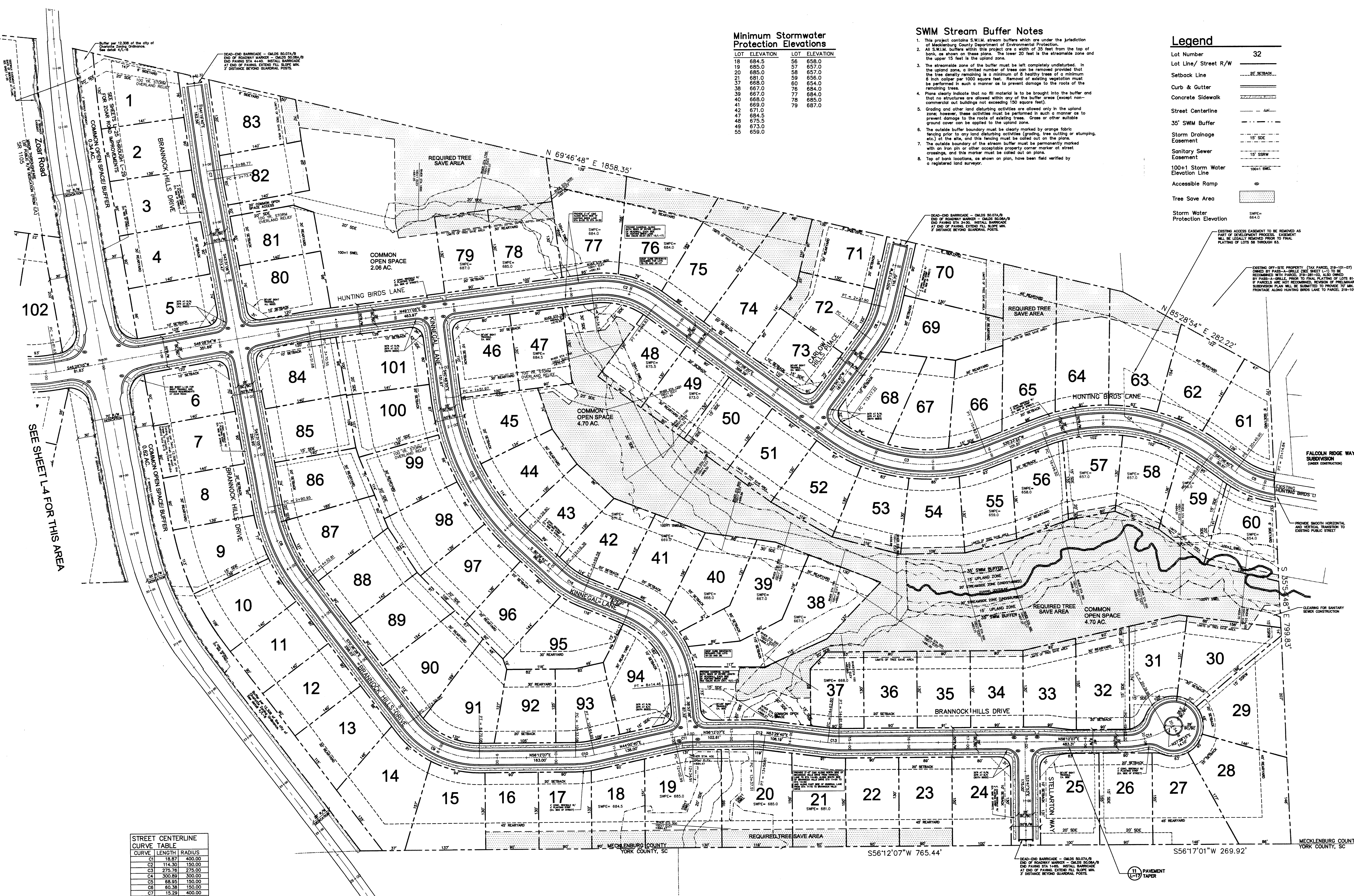
June 21, 2009

L-1
SHEET 1 OF 31

COMM. NO. 2812

REVISIONS:
1. 10-10-06 Per City Resolution
2. 12-18-06 General conditions
3. 3-12-07 Revised design team, sheet schedule

SITE DESIGN STUDIO
4828 Carousel Drive
Charlotte, NC 28212
Phone: 704-763-7876



Minimum Stormwater Protection Elevations

LOT	ELEVATION	LOT	ELEVATION
18	684.5	56	658.0
19	685.0	57	657.0
20	685.0	58	657.0
21	681.0	59	656.0
37	658.0	60	654.0
38	667.0	76	684.0
39	667.0	77	684.0
40	684.5	78	685.0
41	669.0	79	687.0
42	671.0		
47	684.5		
48	675.5		
49	673.0		
55	659.0		

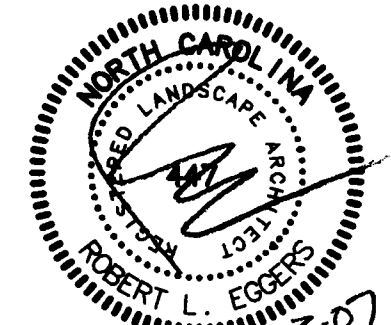
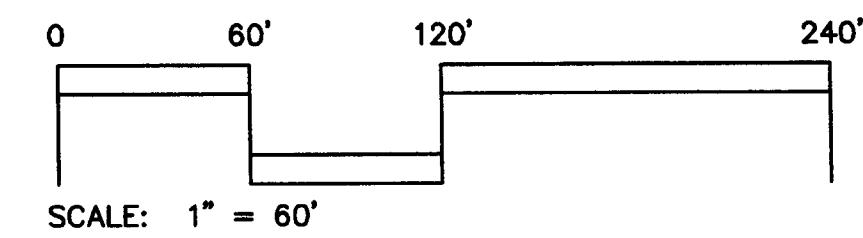
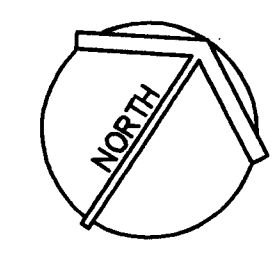
- SWIM Stream Buffer Notes**
- This project contains S.W.I.M. stream buffers which are under the jurisdiction of Mecklenburg County Department of Environmental Protection.
 - All S.W.I.M. buffers within this project are a width of 35 feet from the top of bank, as shown on these plans. The lower 20 feet is the streamside zone and the upper 15 feet is the upland zone.
 - The streamside zone of the buffer must be left completely undisturbed. In the upland zone, a limited number of trees can be removed provided that the tree density remaining is a minimum of 8 healthy trees of a minimum 6 inch caliper per 1000 square feet. Removal of existing vegetation must be performed in such a manner as to prevent damage to the roots of the remaining trees.
 - Plans clearly indicate that no fill material is to be brought into the buffer and that no structures are allowed within any of the buffer areas (except non-commercial out buildings not exceeding 150 square feet).
 - Grading and other land disturbing activities are allowed only in the upland zone; however, these activities must be performed in such a manner as to prevent damage to the roots of existing trees. Grass or other suitable ground cover can be applied to the upland zone.
 - The outside buffer boundary must be clearly marked by orange fabric fencing prior to any land disturbing activities (grading, tree cutting or stumping, etc.) at the site, and this fencing must be called out on the plans.
 - The outside boundary of the stream buffer must be permanently marked with an iron pin or other acceptable property corner marker at street crossings, and this marker must be called out on plans.
 - Top of bank locations, as shown on plan, have been field verified by a registered land surveyor.

- Legend**
- Lot Number 32
 - Lot Line/ Street R/W
 - Setback Line
 - Curb & Gutter
 - Concrete Sidewalk
 - Street Centerline
 - 35' SWIM Buffer
 - Storm Drainage Easement
 - Sanitary Sewer Easement
 - 100+1 Storm Water Elevation Line
 - Accessible Ramp
 - Tree Save Area
 - Storm Water Protection Elevation

STREET CENTERLINE CURVE TABLE

CURVE	LENGTH	RADIUS
C1	18.87	400.00
C2	114.30	150.00
C3	275.76	275.00
C4	300.89	300.00
C5	68.95	150.00
C6	80.38	150.00
C7	15.29	400.00
C8	141.85	300.00
C9	139.24	150.00
C10	31.92	150.00
C11	31.92	150.00
C12	19.09	150.00
C13	19.09	150.00
C14	74.78	150.00
C15	277.83	400.00
C16	53.20	150.00
C17	163.29	150.00

SEE SHEET L-1 FOR DEVELOPMENT DATA
SEE SHEET L-4 FOR GENERAL NOTES



General Notes

1. Property boundary from survey by Jack R. Christian and Associates. See sheet L-2.
2. All streets to be public, developed to City of Charlotte and NCDOT standards.
3. Project to be serviced with public (CMU) sewer system. Water to be provided by York County Public Works, in agreement with CMU.
4. Project shall be developed as a cluster subdivision with common open space. Common open space shall be private, maintained by a private homeowners' association.
5. The location of the subject property has been checked against area FEMA/FIRM maps, and it has been determined that it is not located in a special flood hazard area, FEMA map number 3701590283E.
6. Land Development Inspector to be given 24 hours notice prior to start of construction.
7. Coordinate all curb and street grades in intersections with Inspector.
8. The developer will provide street signs per CMDS 50.05 (9" signs only).
9. Sight triangles shown are the minimum required.
10. In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector based upon field conditions.
11. Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
12. In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
13. Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector.
14. The developer shall maintain each stream, creek, or backswamp channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
15. The City of Charlotte Engineering Dept. has not reviewed the structural stability of any retaining walls on the site and does not assume responsibility for them. Retaining walls in critical areas may require a PE seal prior to installation.
16. "As-built" drawings and plans of the storm drainage system must be submitted prior to subdivision final inspection to the City of Charlotte Engineering Dept. in accordance with the City Subdivision Ordinance.
17. Site development is estimated to be completed by December 2011.
18. Non-standard items (i.e. power, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the North Carolina Department of Transportation/Charlotte Department of Transportation before installation.
19. Provide handicap ramp curb depressions at street intersections per CMDS standard detail 10.33, latest revision.
20. On-site burial pits require an on-site demolition landfill permit from the Zoning Administrator. Any on-site demolition landfills or stumpholes shall be no closer to any exterior property lines than that permitted by code.
21. All lot dimensions shown are approximate. See record plot for exact dimensions.
22. The purpose of the storm drainage easement (SDE) is to provide storm water conveyance and any structures and/or obstruction to storm water flow is prohibited.
23. Project shall comply with Tree Ordinance requirements, including preservation of existing trees and planting of new trees along public streets.
24. Project is not located in a watershed protection area.
25. Zor Road is a minor thoroughfare. Right-of-way equal to 35' from the road centerline shall be dedicated to the North Carolina Department of Transportation. Improvements to Zor Road, including left turn lane, shall be constructed, as required.
26. No single-family detached lots shall have direct vehicular access to Zor Road, except lot 268.
27. Shared drives that serve more than three lots require a driveway permit from Charlotte Department of Transportation.
28. All road improvements to Zor Road are to be coordinated with City of Charlotte Engineering Department and NCDOT prior to construction.
29. Any building within the 100+1 Stormwater Protection Elevation Line is subject to the restrictions of the City of Charlotte/Mecklenburg County Subdivision Ordinance, Section 7.200.8.

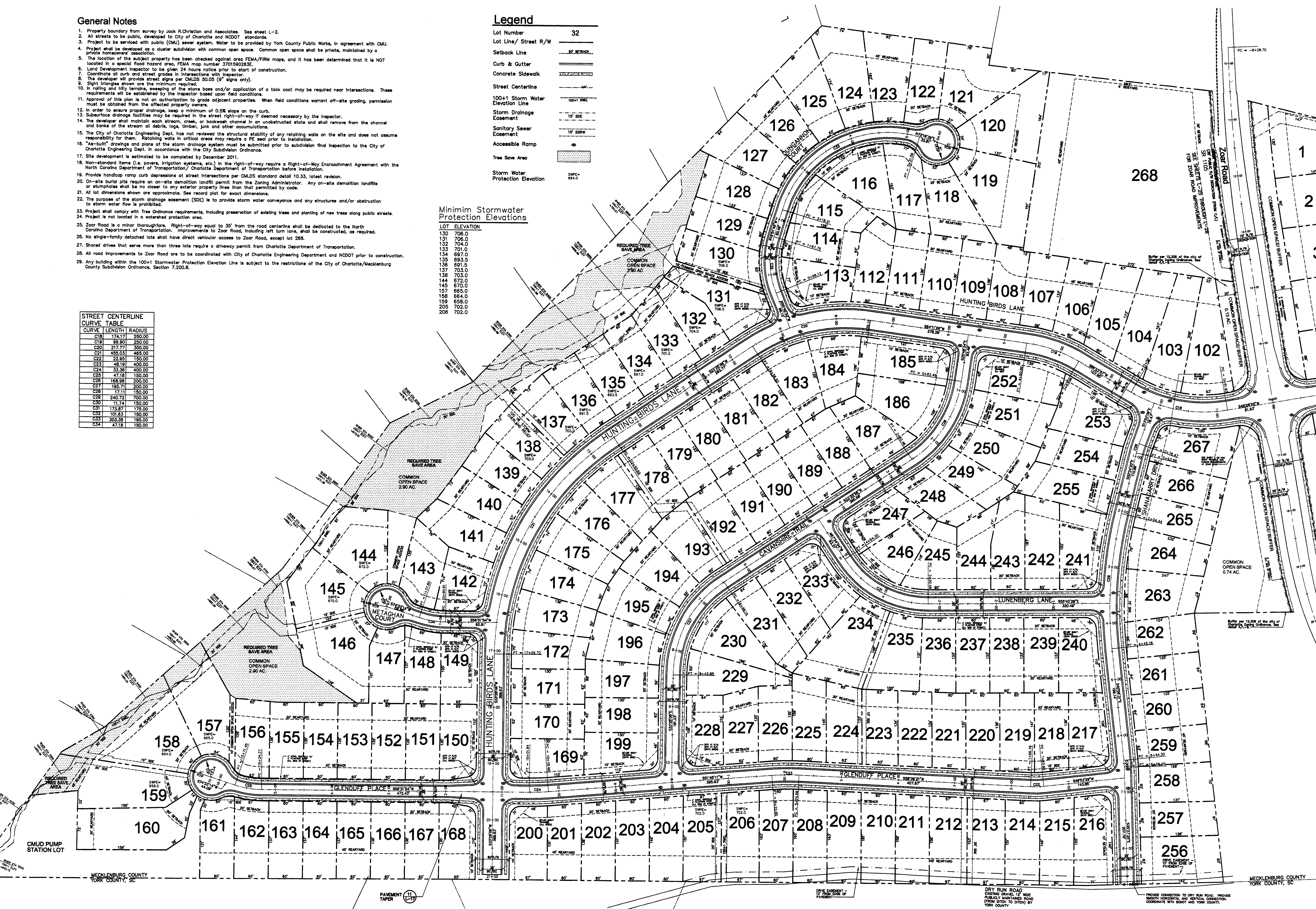
STREET CENTERLINE CURVE TABLE		
CURVE	LENGTH	RADIUS
C18	174.17	250.00
C19	85.90	250.00
C20	217.77	300.00
C21	455.03	450.00
C22	22.95	150.00
C23	48.19	400.00
C24	33.35	400.00
C25	47.18	150.00
C26	168.98	200.00
C27	195.71	200.00
C28	171.11	150.00
C29	240.72	700.00
C30	11.74	150.00
C31	173.87	175.00
C32	101.63	150.00
C33	303.38	195.00
C34	47.18	150.00

Legend

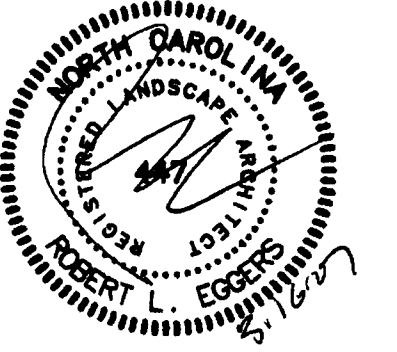
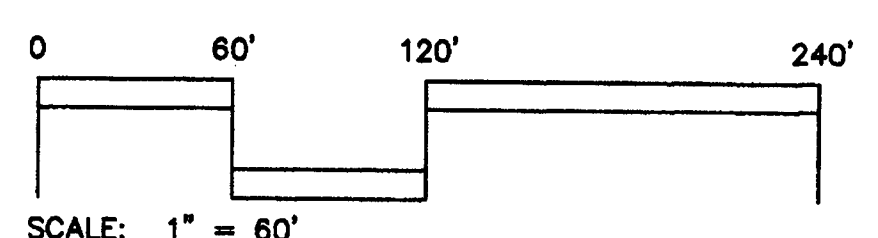
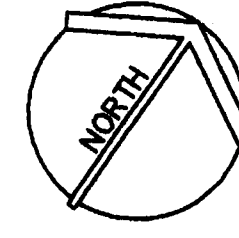
Lot Number	32
Lot Line/ Street R/W	32'
Setback Line	32' SETBACK
Curb & Gutter	32' SETBACK
Concrete Sidewalk	32' SETBACK
Street Centerline	32' SETBACK
100+1 Storm Water Elevation Line	100+1 SWEL
Storm Drainage Easement	15' SDE
Sanitary Sewer Easement	15' SSWE
Accessible Ramp	15' SDE
Tree Save Area	15' SDE
Storm Water Protection Elevation	SWPE=684.0

Minimum Stormwater Protection Elevations

LOT	ELEVATION
130	706.0
131	706.0
132	704.0
133	701.0
134	697.0
135	693.5
136	691.5
137	703.0
138	703.0
144	672.0
145	670.0
157	665.0
158	664.0
159	658.0
205	702.0
206	702.0



SEE SHEET L-1 FOR DEVELOPMENT DATA



Preliminary Subdivision Plan

Creekshire
Charlotte, North Carolina ETJ
For Diamond Oak Development