

THE COMMONS AT MONROE & SARDIS

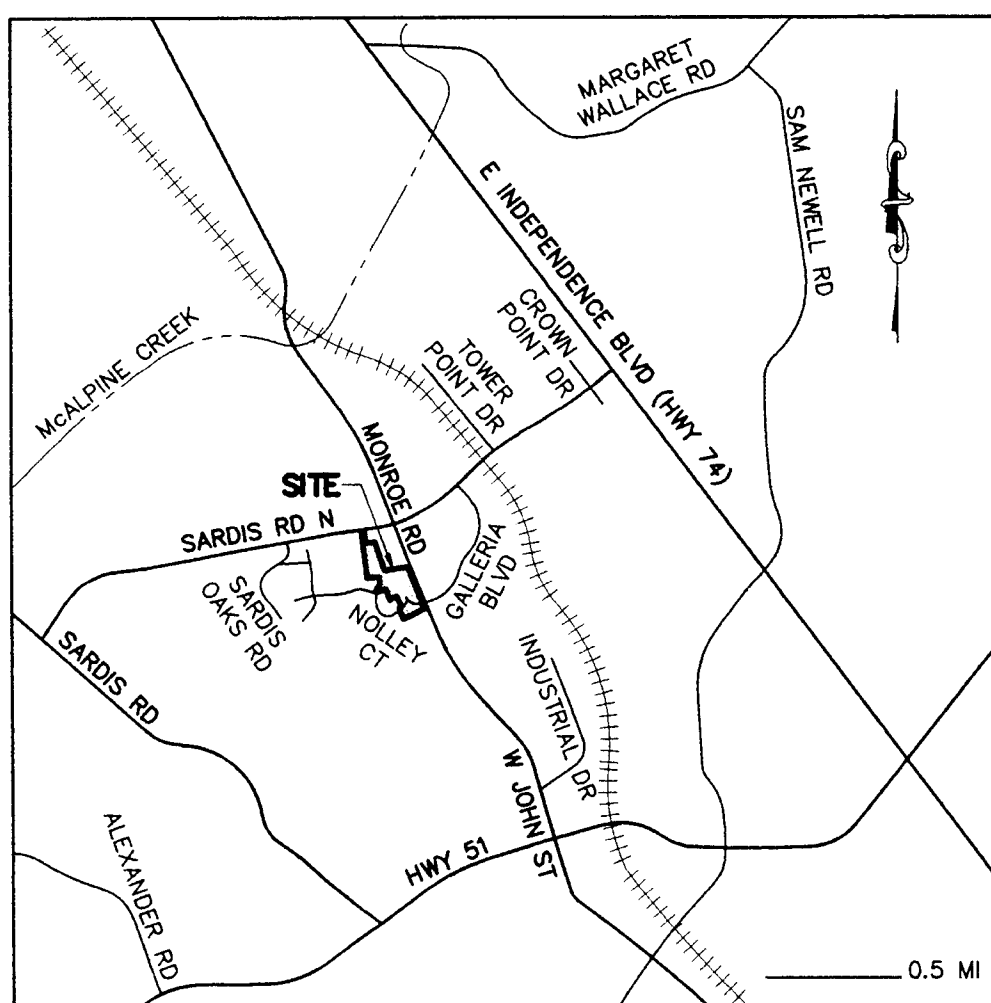
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NOTES:

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6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
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					CHARLOTTE, N.C. 28217
					PHONE (704) 527-3440 FAX (704) 527-8335



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ZONING CODE SUMMARY

PROJECT NAME: FIRESTONE
PLANS PREPARED BY: THE ISSACS GROUP, P.C. PHONE # 704-527-3440
TAX ID: 213-221-01
ZONING: NS JURISDICTION: CITY OF CHARLOTTE (MECKLENBURG COUNTY)
PETITION # 2004-022
SITE ADDRESS: 1530 GALLERIA BLVD.
YARD REQUIREMENTS:
SETBACK (FRONT): 10 FT. FROM R/W
SIDE YARD (SOUTH): 5 FT. SIDE YARD (NORTH): 10 FT.
REAR YARD: 5 FT.
LOT SIZE: 662,751/15.21 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 2
PROPOSED USE: RETAIL SHOPS/OFFICE
GROSS FLOOR AREA: 32,575 SQ. FEET
BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 90.040/2.06 SQ. FEET/ACRES
PARKING REQUIRED: 2004 C.O.D. PAVEMENT MARKING STANDARDS:
1 SPACE REQUIRED PER 250 S.F. RETAIL
1 SPACE REQUIRED PER 300 S.F. OFFICE
7,575 SF OF RETAIL/250 SF = 30 SPACES
25,000 SF OF OFFICE/300 SF = 83 SPACES
REQUIRED: 113 PROVIDED: 128 INCLUDES:
(HANDICAP: 5 COMPACT: 0 SERVICE BAYS: 10)
LONG-TERM BICYCLE PARKING REQUIRED = 1/12,000 SF = 20,075/12,000 = 2 (RETAIL)
LONG-TERM BICYCLE PARKING REQUIRED = 1/10,000 SF = 12,500/10,000 = 2 (OFFICE)
SHORT-TERM BICYCLE PARKING REQUIRED = 5% OF AUTO PARKING = 0.05x125 = 7
ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.
SITE ADDRESS SHALL BE POSTED ON THE BUILDING.
ALL UTILITIES SHALL BE UNDERGROUND.
ALL PROPOSED DRIVEWAYS AND CURB CUTS ARE TO BE PERMITTED WITH THE BUILDING PERMIT.

PAVING SPECIFICATIONS

LIGHT DUTY PAVEMENT (LDP)
1" COMPACTED AGGREGATE BASE COURSE (CABC)
2" BINDER COURSE, TYPE H
1" SURFACE COURSE, TYPE H

HEAVY DUTY PAVEMENT (HDP)
8" COMPACTED AGGREGATE BASE COURSE (CABC)
2" BINDER COURSE, TYPE H
1" SURFACE COURSE, TYPE H

CONCRETE PAVEMENT
5" COMPACTED STONE BASE COURSE (NCDOT TYPE 57W)
7" 3600 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT(10 GAUGE)
PUBLIC STREET PAVEMENT
5" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B
2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE TYPE 119.0B
2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 59.5B

NOTES:
1. ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERGROUND SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE TOP 18 INCHES OF SUBGRADE AND 24 INCHES BELOW PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 98 PERCENT OF THE SAME.
2. THE ABOVE COMPACTION SPECIFICATION, RECOMMENDATION ONLY, DOES NOT REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
3. PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISSACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.

LEGEND

(HDP) PROPOSED HEAVY DUTY PAVEMENT (HDP)
(LDP) PROPOSED LIGHT DUTY PAVEMENT (LDP)
PROPOSED CONCRETE
PROPOSED RETAINING WALL
PROPOSED LARGE MATURING TREE = RED MAPLE
PROPOSED SMALL MATURING TREE = YOSHINO CHERRY
FUTURE LARGE MATURING TREE = RED MAPLE
EXISTING TREE
PROPOSED LIGHT POLE
PROPOSED ORANGE TREE PROTECTION FENCE
PROPOSED HANDRAIL ALONG TOP OF WALL

SIGN SCHEDULE

(A) VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8E, R7-8A & R7-8D)
(B) (MUTCD R7-1)
(C) RESERVED PARKING-MAX PENALTY \$250 (MUTCD R7-8A & R7-8D)
(D) STOP SIGN
(E) DO NOT ENTER (30"x30")

STANDARD NOTES

1. CONTACT THE UTILITY DEPARTMENT TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE REPLACED AT THE EXPENSE OF THE APPLICANT.
2. DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
3. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5733 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
4. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
5. DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D.S. 50.05 (9" SIGNS ONLY).
6. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

LANDSCAPING REQUIREMENTS

TRACT A:
BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 90.040/2.06 SQ. FEET/ACRES
INTERIOR LANDSCAPED AREA REQUIRED: 90,040 X 10% = 9,004 SQ. FEET
INTERIOR LANDSCAPED AREA PROVIDED: 171,758 SF (TRACT A) = 90,040 SF (IMPERVIOUS) = 81,718 SF
INTERNAL TREE REQUIREMENT: 1 TREE/10,000 S.F. IMPERVIOUS = 90,040/10,000 S.F. IMPERVIOUS = 9 TREES, 8 LMT + 1 SMT PROVIDED
206 SHRUBS PROVIDED ON TRACT A; 2" HIGH, 2" WIDE, 5-GALL. 5" O.C., EVERGREEN FROM APPROVED LIST
ADDITIONAL SCREENING:
7 LMT + 38 SHRUBS PROVIDED AROUND DETENTION BASIN
TRACT 'A' STREET TREE REQUIREMENTS:
GALLERIA BLVD. = 281 LF/40 FT/LM. TREE = 7 LMT REQUIRED, 7 LMT PROPOSED
NOLLEY CT. = 708 LF/40 FT/LM. TREE = 17 LMT REQUIRED, 17 LMT PROPOSED
MONROE RD. = 700.51/30 FT/S.M. TREE = 23 TREES REQUIRED, 137 TREES EXISTING
SUBDIVISION STREET TREE REQUIREMENTS:
NOLLEY CT. = 4,110 LF/40 FT/LM. TREE = 102 LMT REQUIRED, 40 LMT PROPOSED, 82 LMT FUTURE
NOTE: L.M.T. & S.M.T. REPRESENTS LARGE MATURING & SMALL MATURING TREES FROM APPROVED LIST IN APPENDIX OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING AND BUTTER TREES, AND FROM THE URBAN FORESTRY APPROVED LIST FOR STREET TREES AND INTERNAL PLANTINGS REQUIRED BY THE TREE ORDINANCE. MINIMUM TREE CALIPER MEASURED 6 INCHES ABOVE GROUND ON ALL TREES SHALL BE 2.0 INCHES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL L.M.T.-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 8" TALL.
NOTE: SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX 1 OF THE CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE AT LEAST 2.0" TALL AND MIN 2.0" SPREAD WHEN PLANTED AND NO FURTHER APART THAN 5'. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE OF 5 TO 6 FEET COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

SITE NOTES:

1. DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D.S. #50.05 (9" SIGNS ONLY).
2. SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
3. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS. APPROVAL OF THIS SITE PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
4. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
5. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
6. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
7. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
8. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
9. PRIOR TO INSTALLATION, P.E. SEALED AS-BUILT DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED. PRIOR TO C.D. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
10. NONSTANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE) DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
11. A SIDEWALK EASEMENT TO THE CITY OF CHARLOTTE IS REQUIRED FOR ALL SIDEWALKS THAT ARE OUTSIDE OF THE RIGHT-OF-WAY. THIS EASEMENT WILL INCLUDE THE LAND BETWEEN THE RIGHT-OF-WAY AND ONE FOOT BEHIND THE BACK OF THE SIDEWALKS, WHICH WILL ALLOW FOR CITY MAINTENANCE OF SIDEWALKS.

GRAPHIC SCALE
1 INCH = 30 FEET

NO.	BY	DATE	REVISION
1.	MAD	5/4/06	PER DEVELOPER COMMENTS
2.	MAD	1/30/07	PER CITY COMMENTS
3.	MAD	3/9/07	PER REVIEW COMMENTS
4.	MAD	4/4/07	PER CITY COMMENTS
5.	MAD	5/29/07	PER CITY COMMENTS

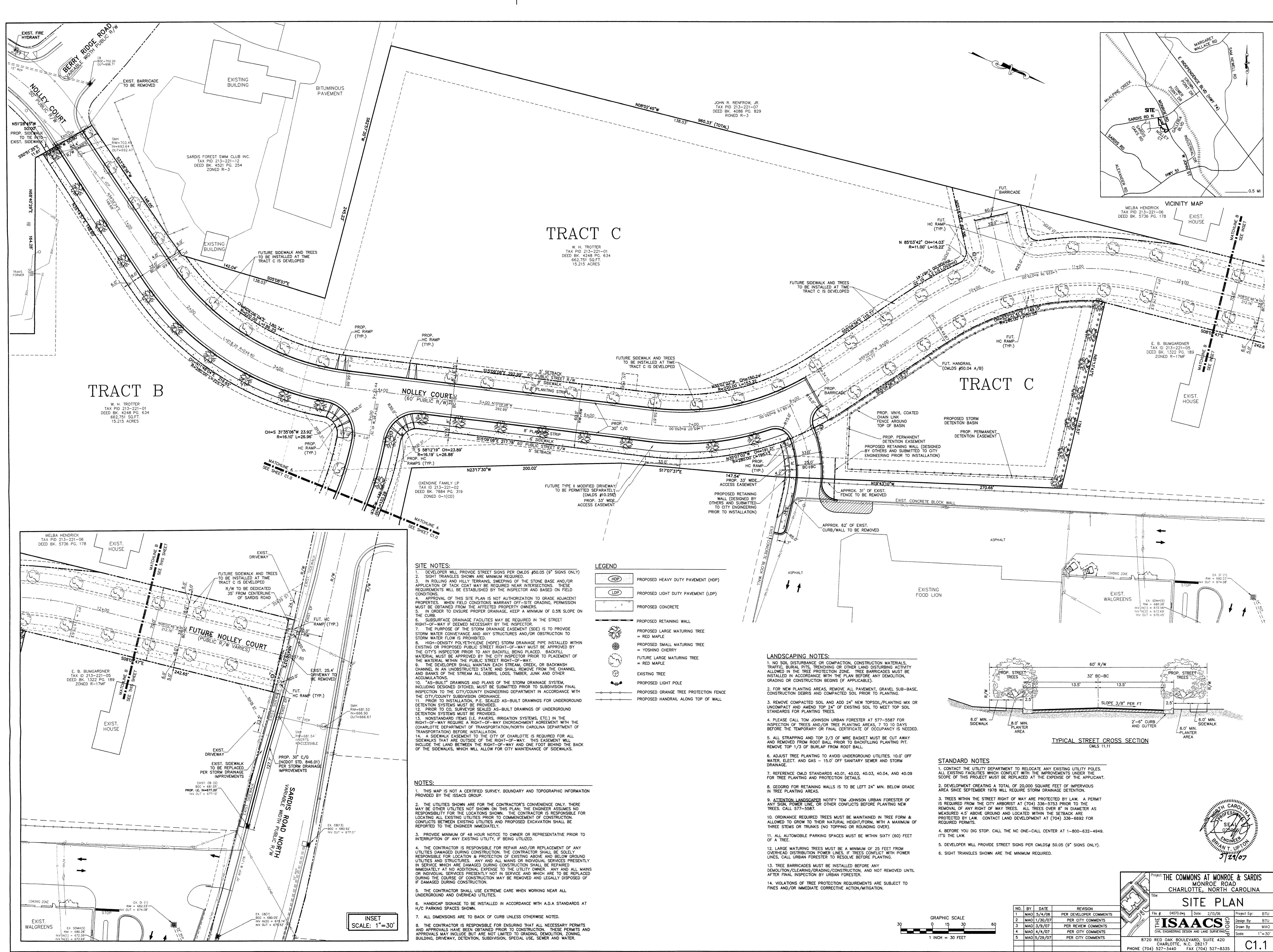
THE COMMONS AT MONROE & SARDIS
MONROE ROAD
CHARLOTTE, NORTH CAROLINA

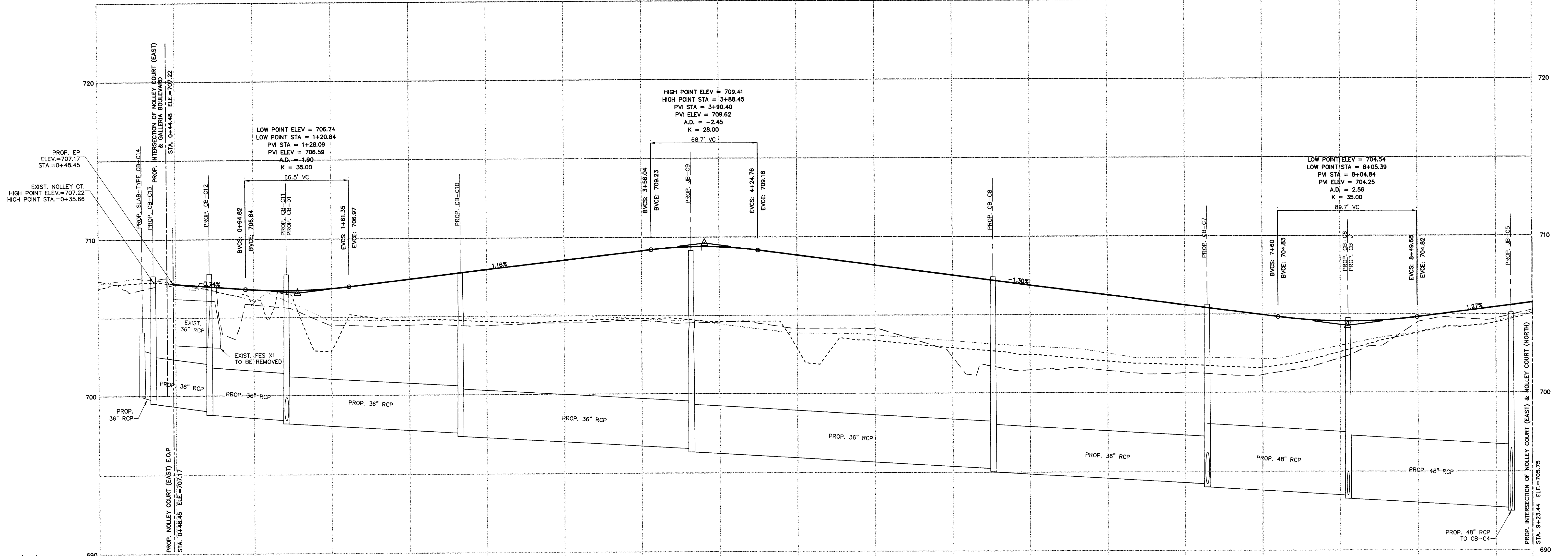
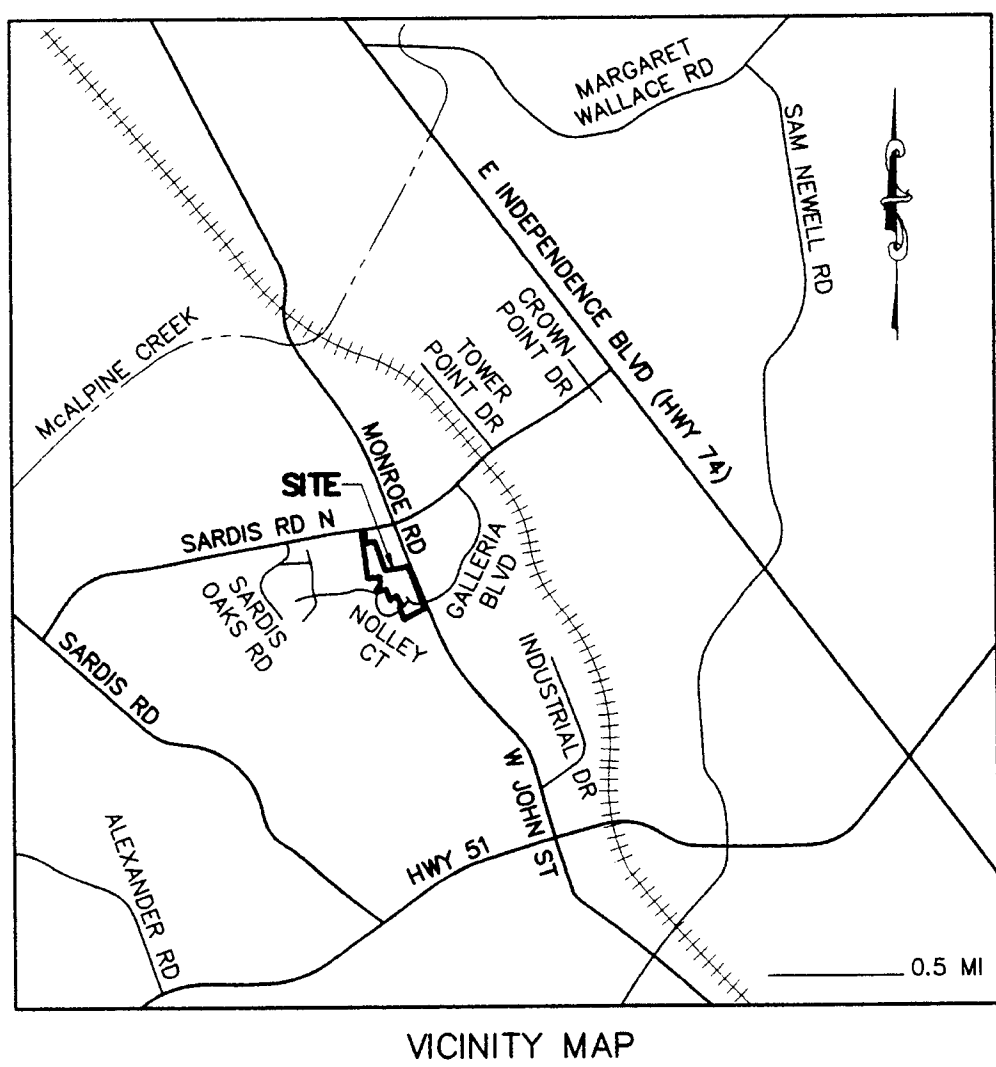
SITE PLAN

File # 04070.040 Date: 2/15/06 Project Egr: BTU
Design By: BTU
Drawn By: MAD
Scale: 1"=30'
8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8355

ISAACS
CIVIL ENGINEERING DESIGN AND LAND SURVEYING
Scale: 1"=30'

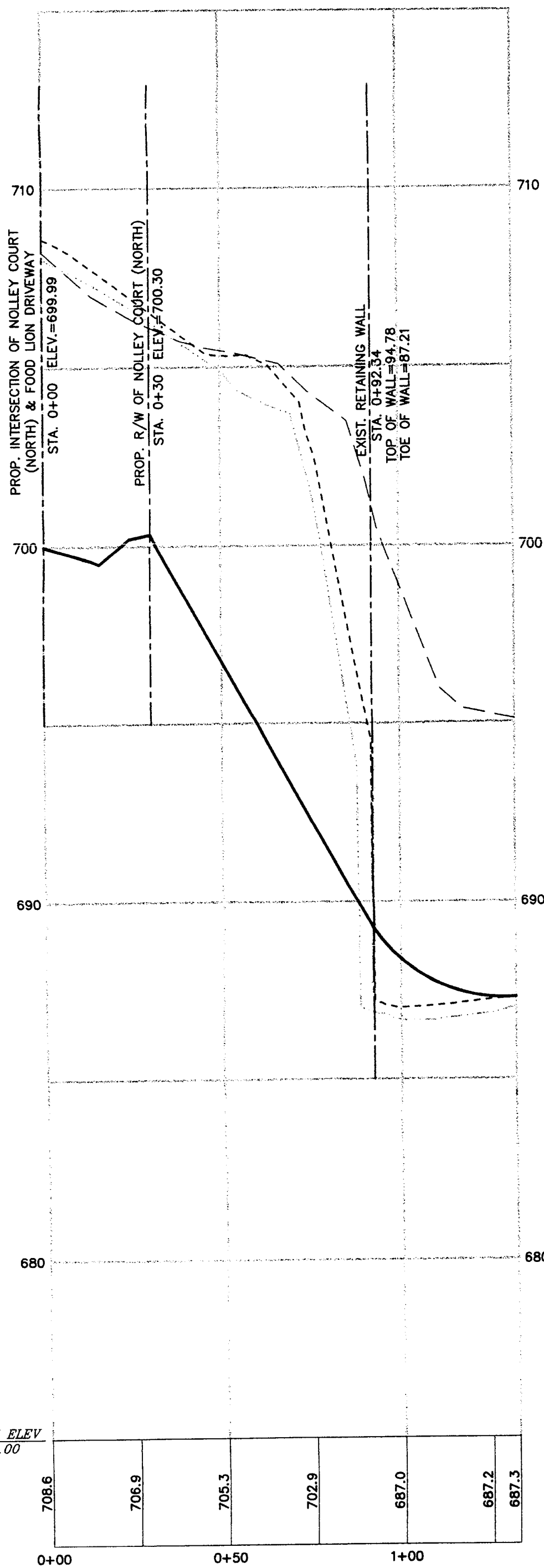
C1.0





PROP. FOOD LION DRIVEWAY STA. 0+00-1+32.57 (ft.)

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



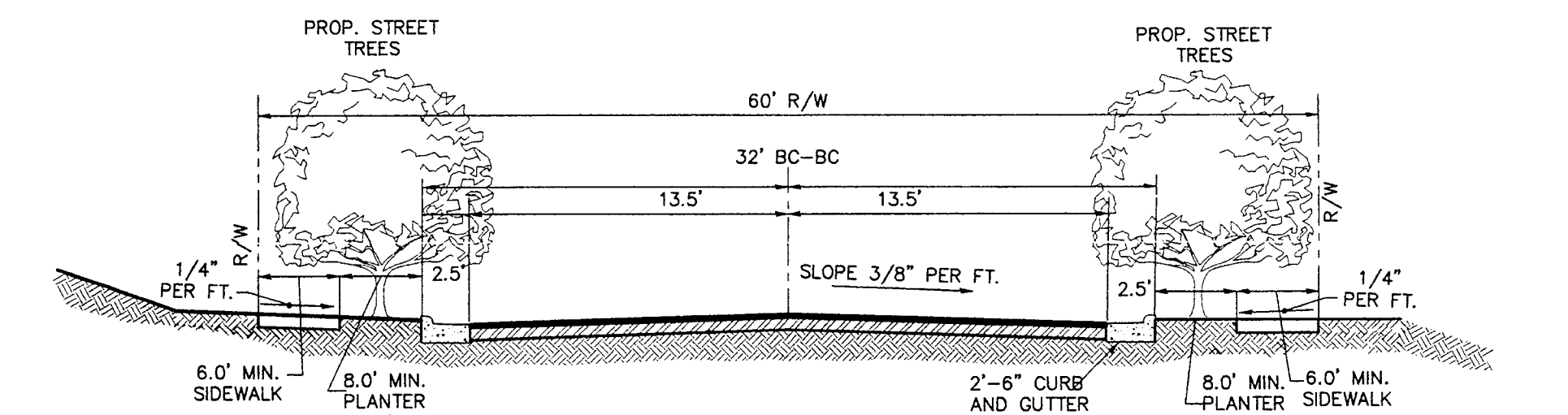
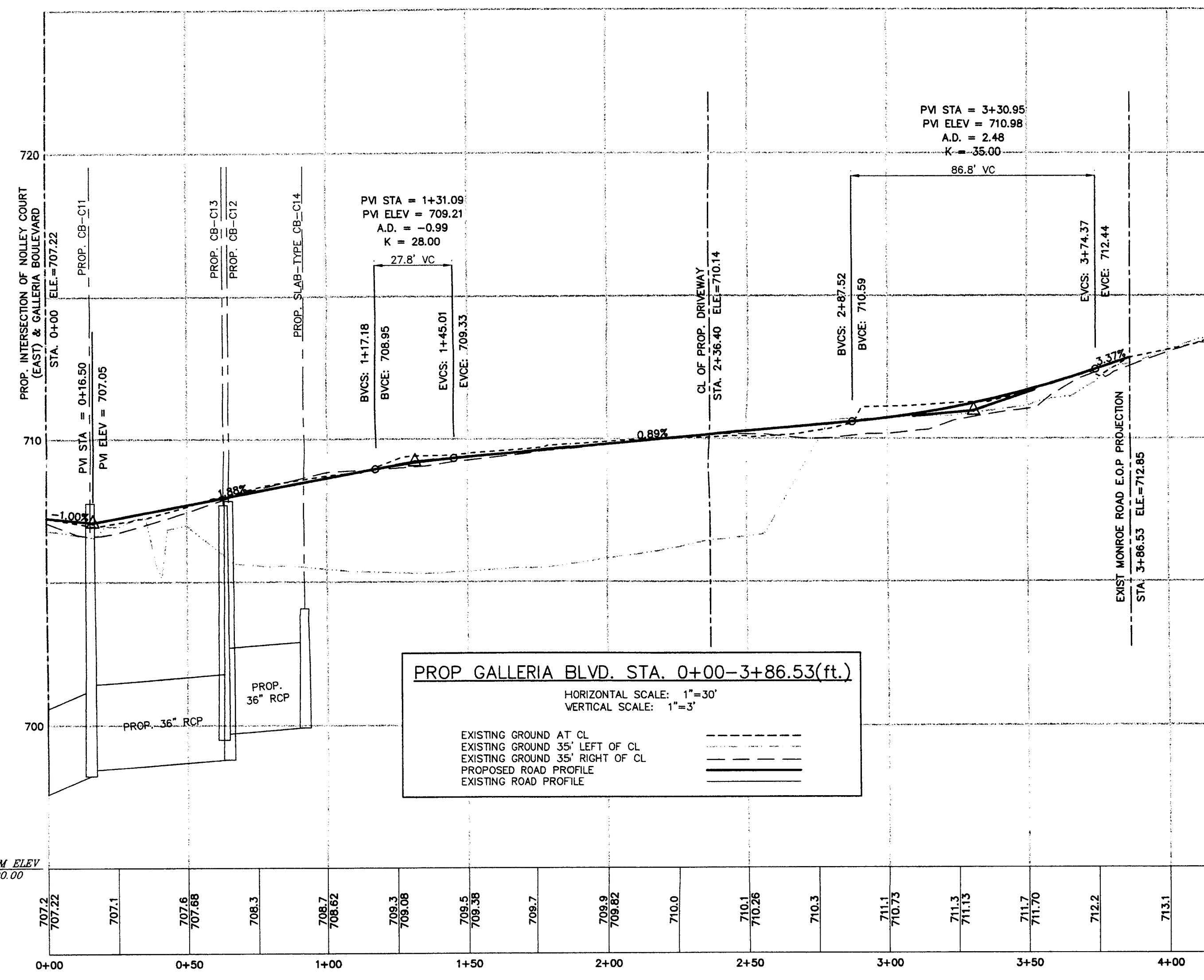
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LAND DEVELOPMENT NOTES

- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D.S. 50.05 (9" SIGNS ONLY).
- NONSTANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPT. OF TRANSPORTATION BEFORE INSTALLATION.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- PROPOSED STREET TREES SHALL BE LARGE MATURING W/MIN. 2" CALIPER @ PLANTING. SPACING SHALL BE WITHIN 20' OF BACK OF CURB @ 40'-50' SPACING. TREES SHALL BE BONDED AND PLANTED AFTER HOUSES ARE CONSTRUCTED.
- REFERENCE THE CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND/OR THE FOLLOWING DETAILS:

CONSTRUCTION ENTRANCE - STD. #50.11A
SLT FENCE - STD. #20.06
CURB INLET - STD. #20.13 & 20.14
DIVERSION DITCH - STD. #20.05
CONCRETE SIDEWALK - STD. #10.22
*STD. # refers to STANDARD DETAILS IN THE CHARLOTTE MECK.
LAND DEVELOPMENT STANDARDS MANUAL.

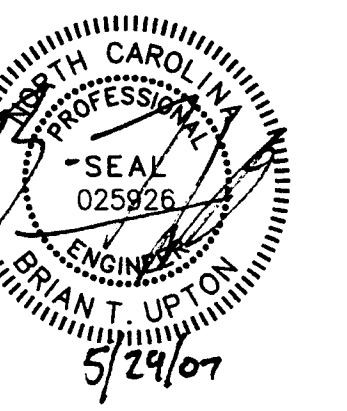
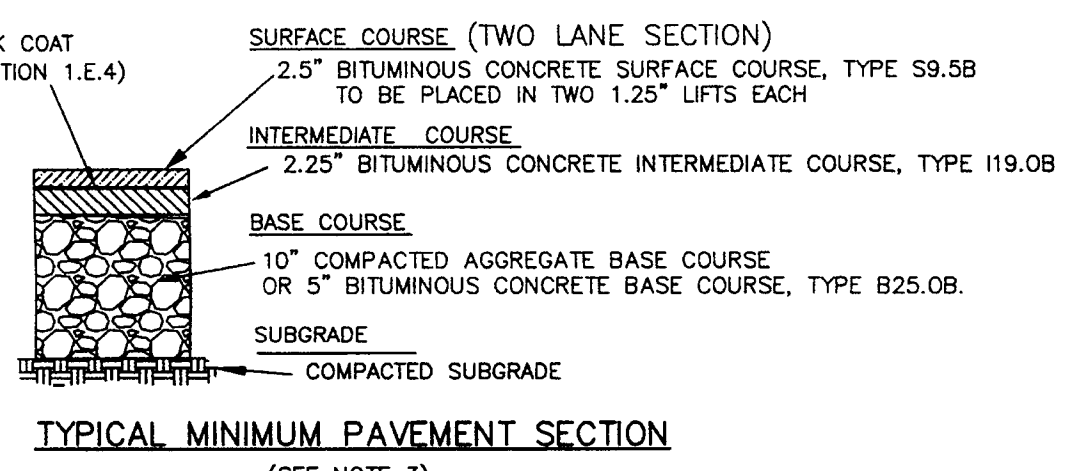


NOTES:

- DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT DESIGN TO CITY ENGINEER.
- SEE SECTION 1.F. SIDEWALKS AND DRIVEWAYS.
- AN ALTERNATIVE PAVEMENT DESIGN MAY BE REQUIRED BY CDDT/NCDDT BASED ON SPECIFIC TRAFFIC PARAMETERS.

DRAINAGE NOTES:

- REVERSE CURB AND GUTTER TO BE USED IN AREAS NOT CHANNELING STORM WATER RUNOFF.
- THE PROPOSED CONTOURS WITHIN PAVED AREAS ARE GRAPHICAL REPRESENTATIONS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING UNIFORMLY BETWEEN SPOT ELEVATIONS.
- CONTRACTOR TO GRADE ALL AREAS WITHIN PROJECT TO DRAIN STORM WATER. CARE SHALL BE TAKEN TO ENSURE THAT ALL AREAS WITHIN PARKING LOTS AND LANDSCAPED ISLANDS SHALL NOT HOLD WATER UPON PROJECT COMPLETION.
- MIN. LONGITUDINAL SLOPE ON ALL ASPHALT TO BE 1.5%.
- MIN. SLOPE ON CURB AND GUTTER CARRYING STORM WATER TO BE 0.5%.
- MIN. SLOPE ON REVERSE CURB AND GUTTER TO BE 0.0%.
- SWALES BETWEEN HOUSE PADS ARE GRAPHICAL REPRESENTATIONS OF DRAINAGE FLOW DIRECTION ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING LOT PADS TO DRAIN IN THE DIRECTIONS AS SHOWN ON THESE PLANS.
- SMOOTH INTERIOR WALL PLASTIC PIPE WILL BE AN ACCEPTABLE SUBSTITUTE FOR REINFORCED CONCRETE PIPE, OUTSIDE OF PUBLIC ROAD RIGHT OF WAY, IF APPROVED BY ENGINEER.



Project: THE COMMONS AT MONROE & SARDIS			
Title: ROAD PROFILES			
NO.	BY	DATE	REVISION
1	MAO	1/30/07	PER CDDT COMMENTS
2	MAO	4/4/07	PER CITY COMMENTS
3	MAO	5/29/07	PER CITY COMMENTS

File #: 04070.dwg Date: 7/15/06 Project Egr: BTU
Design By: BTU
Drawn By: P.W.
Scale: 1"=30'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8355

C1.2