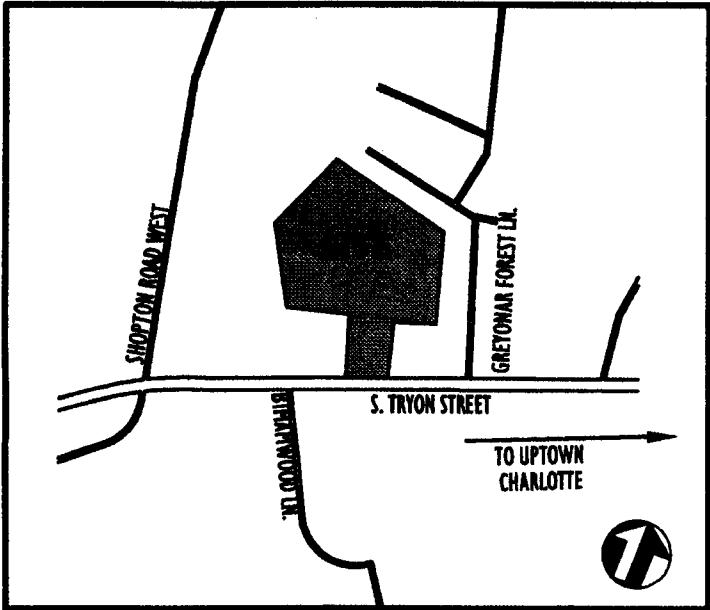


Charlotte Pines Portrait Homes

Charlotte, North Carolina



Vicinity Map - NTS

Owner
Portrait Homes
9111 Monroe Road, Suite 100
Charlotte, NC 28270-1490
(704) 849-2221

Designer

SITE SOLUTIONS

2 3 2 0
W. Morehead Street
Charlotte, NC 28208
Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone: 704-521-9880
Facsimile: 704-521-8955
CADD# 2862

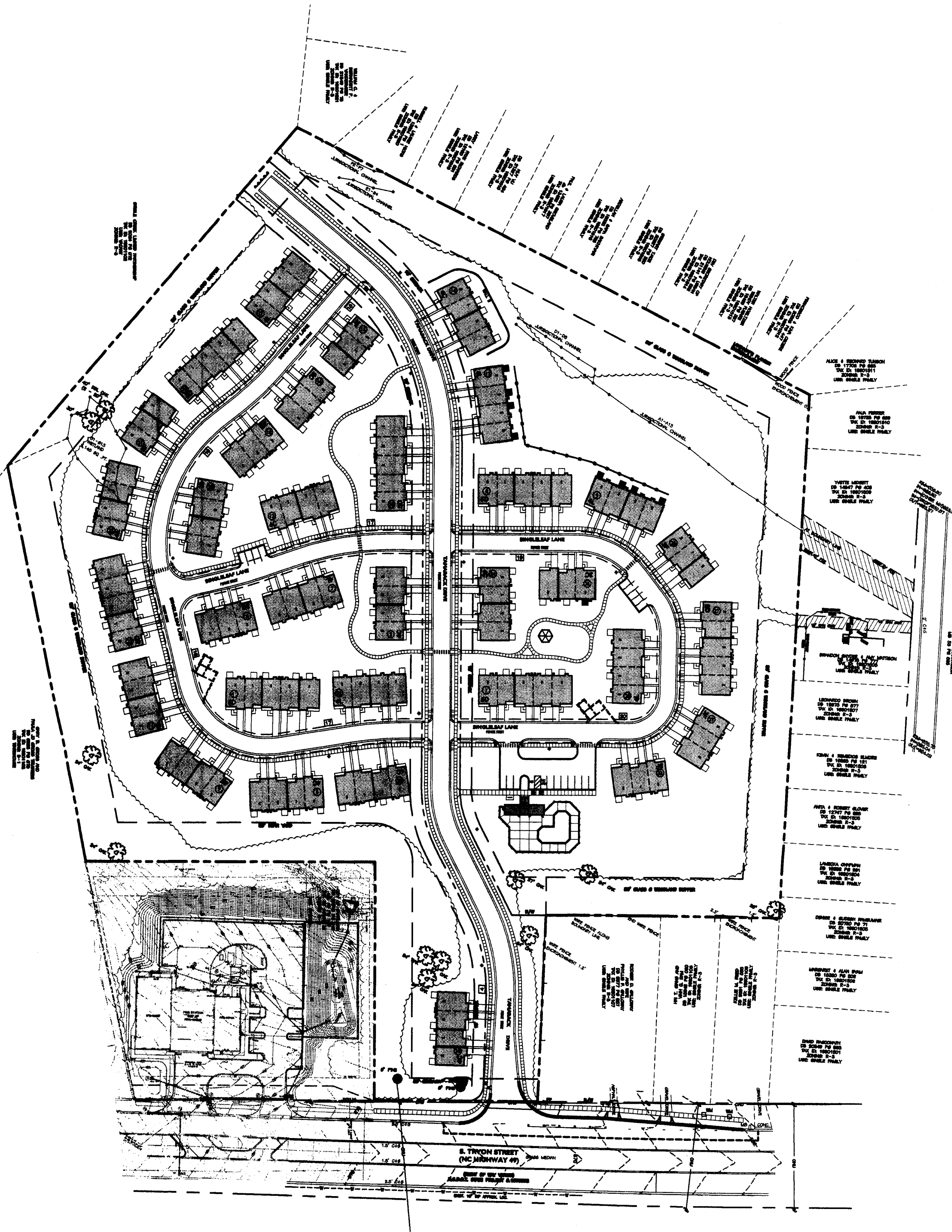
Contact: Phillip Hobbs, AIA

Sheet Schedule

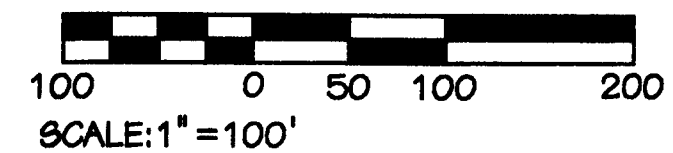
Sheet Title	Sheet No.	Original Date	Latest Revision Date	Latest Revision Number	Revision Index
Cover Sheet	-	11.10.06	1.28.07	1	Per City Comments
Rezoning Plan	-	2.24.06			
Site Survey	-	XX			
Clearing/Demolition Plan	L-1.1	11.10.06			
Site Plan-South	L-2.1	11.10.06	3.9.07	4	Rev. typ. section
Site Plan-North	L-2.2	11.10.06	2.8.07	1	Addendum No. 2
Initial Erosion Control Plan	L-3.1	11.10.06	3.9.07	4	Per City Comments
Final Erosion Control Plan	L-3.2	11.10.06	3.9.07	4	Per City Comments
Grading/Storm Drainage Plan-South	L-3.3	11.10.06	1.28.07	1	Per City Comments
Grading/Storm Drainage Plan-North	L-3.4	11.10.06	3.9.07	4	Per City Comments
Component Drainage Area Plan	L-3.5	11.10.06	1.28.07	1	Per City Comments
CMUD Cover	1 of 4	11.10.06	1.30.07	2	Per CMJ Comments
CMUD Permit	2 of 4	11.10.06	1.30.07	2	Per CMJ Comments
CMUD Plan & Profile	3 of 4	11.10.06	2.8.07	3	Addendum No. 2
CMUD Plan & Profile	4 of 4	11.10.06	2.8.07	2	Addendum No. 2
Private Utility Plan-South	L-4.1	11.10.06	2.8.07	1	Addendum No. 2
Private Utility Plan-North	L-4.2	11.10.06	2.8.07	1	Addendum No. 2
Sanitary Sewer Profiles	L-4.3	11.10.06	1.30.07	2	Per City Comments
Road Plan and Profile Public Streets	L-5.1	11.10.06	1.28.07	1	Per City Comments
Road Plan and Profile Private Streets	L-5.2	11.10.06	1.28.07	1	Per City Comments
Road Plan and Profile Private Streets	L-5.3	11.10.06			
Road Plan and Profile Private Streets	L-5.4	11.10.06			
Traffic Control Plan	L-5.5	11.10.06	3.9.07	4	Shift 345' buffer to end of improv.
Roadway Sight Distance Plan & Profile	L-5.6	11.10.06	3.9.07	4	Added pvt marking plan
S. Tryon Street Cross Sections	L-5.7	11.10.06	3.9.07	4	Per CDOT Comments-milling
S. Tryon Street Cross Sections	L-5.8	11.10.06	1.28.07	4	Per CDOT Comments-milling
S. Tryon Street Cross Sections	L-5.9	11.10.06	3.9.07	4	Per CDOT Comments-milling
Storm Sewer Profiles	L-6.1	11.10.06	1.28.07	1	Per City Comments
Storm Sewer Profiles	L-6.2	11.10.06	3.9.07	4	Per City Comments
Retaining Wall Elevations	L-6.3	11.10.06	1.28.07	1	Per City Comments/Added Sheet
Site Construction Details	L-7.1	11.10.06	3.9.07	4	Per City Comments
Site Construction Details	L-7.2	11.10.06			
Site Construction Details	L-7.3	11.10.06	1.28.07	1	Per City Comments
Site Construction Details	L-7.4	11.10.06	1.28.07	1	Per City Comments
Site Construction Details	L-7.5	11.10.06			
Basin 1 Stormwater Wetland Details	L-7.6	11.10.06	1.28.07	1	Per City Comments
Basin 2 Stormwater Wetland Details	L-7.7	11.10.06	3.9.07	4	Per City Comments
Landscape Plan-South	L-8.1	11.10.06	1.28.07	1	Per City Comments
Landscape Plan-North	L-8.2	11.10.06	1.28.07	1	Per City Comments
Landscape Plan-Channel Repair	L-8.3	11.10.06	3.9.07	4	Per City Comments
Open Space Plan	L-9.1	11.10.06	1.28.07	1	Per City Comments

Site Development Data

JURISDICTION	CITY OF CHARLOTTE
EXISTING ZONING	R-5 MF (CD)
REZONING PETITION NO.:	2006-61
TAX PARCEL NUMBER:	198-011-08
DEED BOOK NUMBER:	2746 PAGE 030
PROPOSED USE	TOWNHOMES FOR SALE
SITE AREA:	
TOTAL GROSS AREA:	19.36 ACRES
DEDICATED R/W:	1.50 ACRES
TOTAL NET AREA:	17.86 ACRES
MAXIMUM ALLOWABLE UNITS:	130 UNITS
PROPOSED UNITS (SHOWN):	130 UNITS
SETBACK:	30', 15'/22' GARAGE ALONG INTERVAL ROAD
SIDE YARD:	20'
REAR YARD:	50'
BUILDING SEPARATION:	16'
MAXIMUM HEIGHT:	40' (3 STORIES MAX.), PROPOSED BUILDINGS: 2 STORIES
REQUIRED PARKING (1.5/TOWNHOUSE UNIT):	195 SPACES
PROVIDED PARKING SPACES (2.2/TOWNHOUSE UNIT):	281 SPACES
REQUIRED BICYCLE PARKING (1 PER 20 TOWNHOUSE UNITS):	7 SPACES
PROVIDED BICYCLE PARKING SPACES:	7 SPACES
MAXIMUM ALLOWABLE DENSITY:	6.7 UNITS/AC
PROPOSED GROSS DENSITY:	6.7 UNITS/AC
NET DENSITY:	7.25 UNITS/AC
PRIVATE OPEN SPACE: 130 TOWNHOME UNITS (400 SF/UNIT) = 52,000 SF	
EACH TOWNHOME UNIT WILL HAVE MIN. OF 400 S.F. SUBLOT	
OPEN SPACE:	
REQUIRED (PER REZONING):	9.85 AC (50% MIN.)
PROVIDED:	11.57 (68.5%)
TREE SAVE AREA:	
REQUIRED (PER REZONING):	3.36 AC (17.5% MIN.)
PROVIDED:	4.21 (21.7%)
SOLID WASTE/ RECYCLING CONTAINER REQUIREMENTS	
- ONE EIGHT (8) CU.YD. COMPACTOR DUMPSTER IS REQUIRED PER 80 UNITS	
2 PROVIDED	
- ONE (1) 144 S.F. RECYCLING STATION REQUIRED FOR 30 - 50 UNITS	
2 PROVIDED	
BUILDING COVERAGE:	110,345 SF (2.72 AC), 15.2% OF NET AREA
STREETS, DRIVES, PARKING COVERAGE = 114,980 SF (2.64 AC), 14.0% OF NET AREA	
SIDEWALK COVERAGE: 21,782 SF (0.50 AC), 2.8% OF NET AREA	
POOL COVERAGE: 5,655 SF (0.13 AC), 0.7% OF NET AREA	
TOTAL NATURAL AREA: 11.57 AC, 66.5% OF NET AREA	
PARKSIDE	
NO. OF 38 UNIT BLDGS.	2 (6.1% OF TOTAL)
NO. OF 32 UNIT BLDGS.	2 (6.1% OF TOTAL)
NO. OF 36 UNIT BLDGS.	5 (15.2% OF TOTAL)
NO. OF 40 UNIT BLDGS.	5 (15.2% OF TOTAL)
NO. OF 42 UNIT BLDGS.	7 (21.2% OF TOTAL)
NO. OF 44 UNIT BLDGS.	2 (6.1% OF TOTAL)
NO. OF 50 UNIT BLDGS.	7 (21.2% OF TOTAL)
TOTAL PARKSIDE BLDGS	33
PARKSIDE TYPE	
L UNITS	10 13.0%
M UNITS	45 34.6%
N UNITS	41 31.5%
O UNITS	6 6.2%
P UNITS	5 3.8%
R UNITS	13 10.0%
TOTAL	130 100.0%

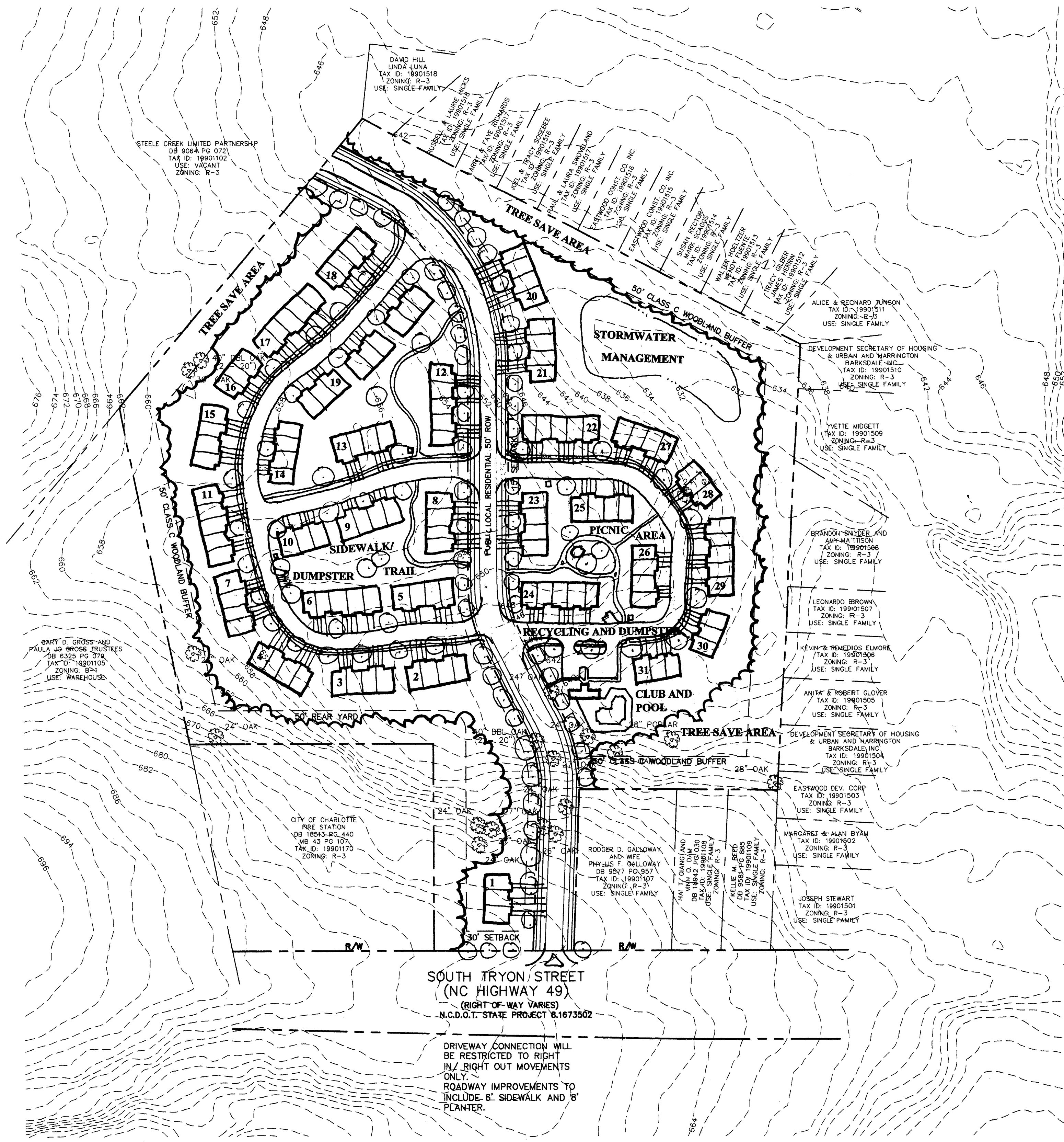


Site Plan



LEGEND

- PROPOSED STREET SIGN
- PROPOSED STOP SIGN
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER
- EXISTING FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED CURB AND GUTTER
- PROPERTY LINE
- BUILDING NUMBER
- OPEN SPACE



SITE DATA

TAX PARCEL ID# 19901106
 SITE AREA: 19.36 ACRES
 EXISTING ZONING: R-3
 PROPOSED ZONING: R-8 MF (CD)
 PROPOSED UNITS: 130 FOR SALE TOWNHOMES
 PROPOSED DENSITY: 6.7 D.U.A. MAX.
 REQUIRED PARKING: 1.5 x 130 = 195
 PROPOSED PARKING: + 195
 REQ. BICYCLE PARKING: 7 (1 PER 20 UNITS)
 PRO. BICYCLE PARKING: 7
 PROPOSED OPEN SPACE: 9.68 ACRES OR 50% MINIMUM
 PROPOSED BLDG. HT.: 40' MAXIMUM
 EHGOEO: 30'
 SIDE YARD: 20'
 REAR YARD: 50'
 REQUIRED TRASH: 130/30 = (5) CY DUMPSTERS
 REQUIRED RECYCLE: (2) 144 SF RECYCLE AREAS
 REQUIRED TREE SAVE AREA: 3.38 ACRES OR 17.5% OF SITE MINIMUM, LOCATION MAY VARY SLIGHTLY FROM PLAN LOCATION WITH DEVELOPMENT OF FINAL GRADING PLANS

BUFFERS:
 Woodland Buffer: A buffer that would allow a limited amount of clearing to take place to promote the growth of existing vegetation and/or to enhance the aesthetic appeal of the site. The following would be allowed in woodland buffer:
 1. Hand pruning only. No heavy equipment or vehicles allowed in this buffer. (ie. Bulldozers)
 2. Plant material, which may be removed, shall be cut flush with the ground. No disturbance of the soil will be allowed.
 3. No limb removal, with the exception of dead or diseased limbs.
 4. Weed and vines may be removed.
 5. Trees that measure LESS THAN 2" CALIPER at the base that are clearly within the drip line of a tree that is 2" or greater may be removed. Drip line is defined as an imaginary line on the ground that would form the perimeter of the tree's canopy.
 6. Dead trees and materials may be removed. Diseased trees may be removed at the discretion of an Urban Forester.
 7. Mulch may be applied to the woodland buffer. Keep mulch 2-3' away from bard of trees.

DEVELOPMENT STANDARDS

- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases within the building envelope line as shown on the plan per Section 6.2 of the Zoning Ordinance.
- Any detached lighting on the site will be limited to 20 feet in height and will be fully shielded. "Wall pak" lighting will not be utilized but architectural lighting on the structures will be permitted. Additional lighting for pedestrian areas will be provided in those locations where parking lot lighting and architectural lighting on the buildings is inadequate for pedestrian safety.
- Signage will be permitted in accordance with applicable Zoning standards.
- Parking will be provided which will meet or exceed the standards of the Zoning ordinance.
- The use of the site will be for a multifamily housing development along with related accessory uses.
- All multifamily buildings will be within 750 feet of a fire hydrant as prescribed by the Charlotte Fire Dept. Access will be provided within 150' of all exterior walls for fire apparatus. Access roads are required to be 20' clear. Dead end travel distance will be limited to 150' without a means to turn fire apparatus. Minimum water supply for 2 story townhomes is 1500 gpm @ 20 psi.
- The Petitioner will install an internal sidewalk system that will connect the units on the site with sidewalks on the adjacent public street as required by Section 12.529. Internal sidewalks will be constructed to meet ADA standards.
- The site will comply with Chapter 21 of the City Code. Proposed planting shown is conceptual only and will be subject to change on actual site conditions and Urban Forestry Staff approval. Internal landscaping shown on the plan is illustrative and the exact design will be determined during the design and development process.
- Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners", shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.
- Side Elevations along Hwy. 49 and new public road will include windows.
- Setback along new public street can be reduced per section 9.303(1)(9)(b).
- All driveways along new public street will be Type II drop-curb driveways.
- Development will meet all requirements as stated in Chapters 9 and 12 of the Charlotte City Code regarding solid waste dumpster and recycling areas.
- The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies and appropriate design manuals will exist. Those criteria (for example those that require buffers, regulate streets, sidewalks, trees, stormwater, and site development, etc.) will apply to the development site. This includes chapters 6, 9, 12, 17, 18, 19, 20 and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.

STORM WATER NOTES

Storm Water Quantity Control
 The petitioner shall tie-in to the existing storm water system(s). The petitioner shall have the receiving drainage system(s), down to the creek crossing, analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide alternate methods to prevent this from occurring.

Storm Water Quality Treatment
 For projects with defined watersheds greater than 24% built-up area, construct water quality best management practices (BMPs) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

Volume and Peak Control
 For projects with defined watersheds greater than 24% built-up area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.

For residential projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms and perform a downstream analysis to determine whether additional peak control is needed and if so, for what level of storm frequency.

Stream Buffers
 The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte Zoning Ordinance, Chapter 12. In intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submittal along with all buffer areas.

All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.

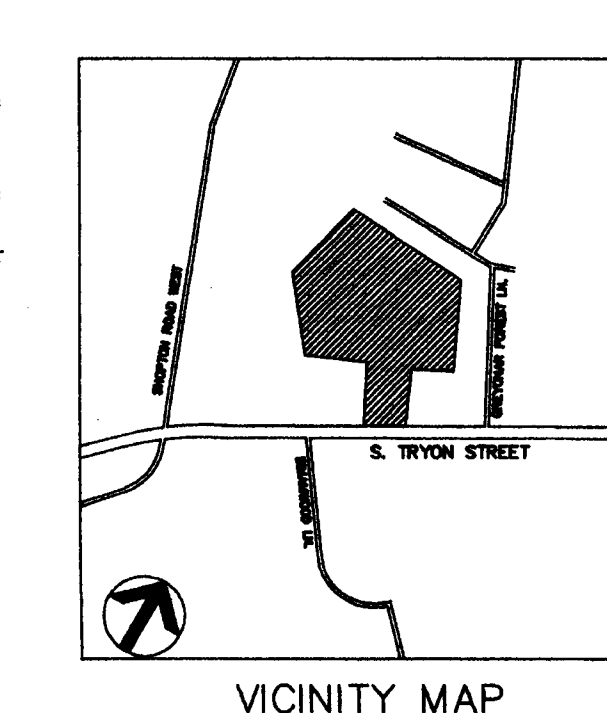
All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and uplands. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.

Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3) zones, including stream side, managed use and upland.

All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (except buffer widths).

NEIGHBORHOOD DEVELOPMENT NOTES

- Petitioner will "pull" the main drive back 15' from the property line on the rear of the property.
- The builder will provide additional screening (landscaping) on the rear of the property where the road bends to exit the property. Builder will provide 8 evergreens spaced 10' apart.
- The builder will make certain improvements to the drainage in the rear of the property to alleviate the flooding that occurs from this site onto some of the backyards of the adjoining property. Builder will regrade the area and/or clean out the creek.
- The builder will create an association on the project to help insure the project is well maintained after it completion.



VICINITY MAP
 NOT TO SCALE

APPROVED BY
 CITY COUNCIL
 JUL 17 2006

CHARLOTTE PINES
 CHARLOTTE, NC

TRYON COASTAL VENTURES, LLC
 100 WEST LONG LAKE ROAD
 BLOOMFIELD HILLS, MICHIGAN 48304

Design Resource Group

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 Charlotte, NC 28208
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 www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

DRG

**SCHEMATIC
 SITE PLAN FOR
 PUBLIC
 HEARING**

REZONING PETITION #2006-61

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RECEIVED
 JUN 18 2006

Scale: 1" = 100'
 Date: 24 FEB. 2006
 Project No.: 239-001
 Revisions:
 1. 19 MAY 2006 PER STAFF REVIEW
 2. 15 JUNE 2006 PER [Signature]
 Sheet 1

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







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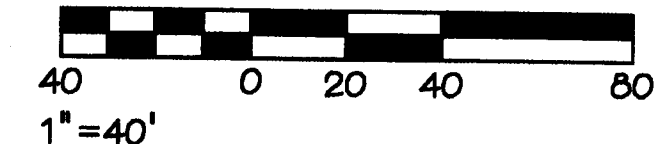


NTS



1. DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURBS, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
2. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
3. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
4. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
7. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD), 2003 EDITION AS AMENDED.
9. ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
10. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
11. CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
12. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
13. LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
14. COORDINATE ALL CURBS AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
15. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
16. ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENFORCEMENT AGREEMENT W/ CDDT BEFORE THEY CAN BE APPROVED OR PRIOR APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA POSEWANT, 704 336-2562, FOR FURTHER INFORMATION.
17. IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGNS, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN (30) DAYS THE USER MUST OBTAIN A FIELD AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA POSEWANT, 704 336-2562, FOR FURTHER INFORMATION.
18. IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGNS, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORGAN, 704 336-3088 OR BOB STALEY, 704 432-1562, FOR FURTHER INFORMATION.
19. DEVELOPER WILL PROVIDE STREET SIGNS PER CADD# \$50.00 (8" SIGNS ONLY)
20. SITE TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
21. IN ROLLINS AND HILLY TERRAINS, SWEEPINGS OF THE STONE BASE AND/OR APPLICATION OF TOP DRESSING MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
22. NON-STANDARD ITEMS (OR PAVEMENT, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENFORCEMENT AGREEMENT WITH THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
23. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURBS.
24. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
25. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (DOE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW ARE PROHIBITED.
26. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNCONSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
27. ANY BUILDING WITHIN THE 100+1 BUILDING FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.300.0.6.
28. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNATED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
29. SOLID WASTE WILL BE SERVICED FOR THIS COMMUNITY (THE ATTACHED UNITS) BY A PRIVATE HAULER, ROLL-OFF SERVICE, DUMPMSTER AND RECYCLE AREAS SHOWN ARE FOR FURTHER INSTALLATIONS, SHOULD THE HOME OWNERS CHOOSE TO DISCONTINUE THE PRIVATE SERVICE.
30. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES WITHIN THE FIELD CONDITIONS. ANY FIELD GRADING, PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNERS. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS 0.1' FLOODWAY ENROUTE DRAINAGE AREA IS SUBJECT TO THE RESTRICTIONS OF THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
31. CURBS AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERS. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR GUIDELINES OF THE OFFSITE R/W AND/OR GUIDELINES SHALL BE USED. R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

	EXISTING OPEN
	EXISTING IRON PIN
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING UTILITY POLE
	EXISTING FENCE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD POWER LINE
	RIGHT-OF-WAY
	HANDICAP SPACE
	EXISTING TREE TO REMAIN
	PROPOSED CURB AND GUTTER
	PROPERTY LINE
	CENTERLINE
	LIGHT DUTY ASPHALT PAVING
	PROPOSED CHAIN LINK FENCE
	GATE SIDEWALK



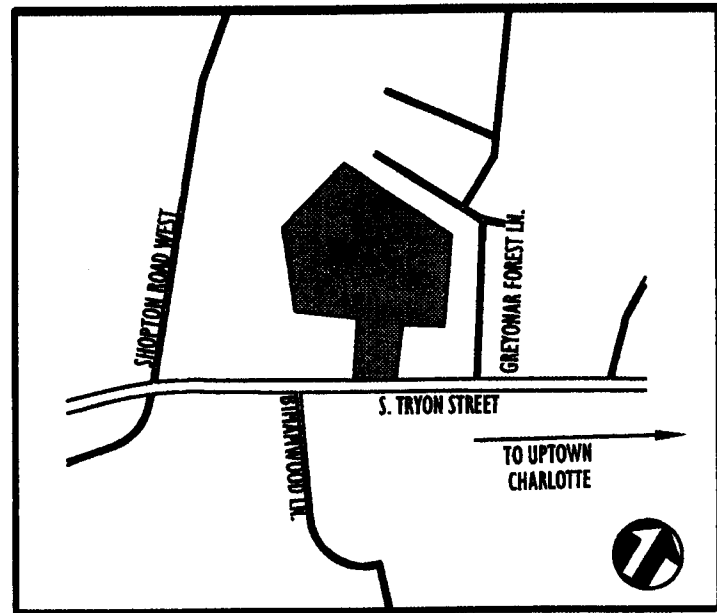
Charlotte Pines
Portrait Homes
Charlotte, North Carolina

Revisions:

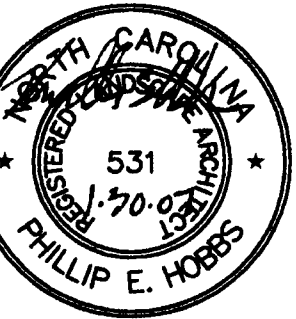
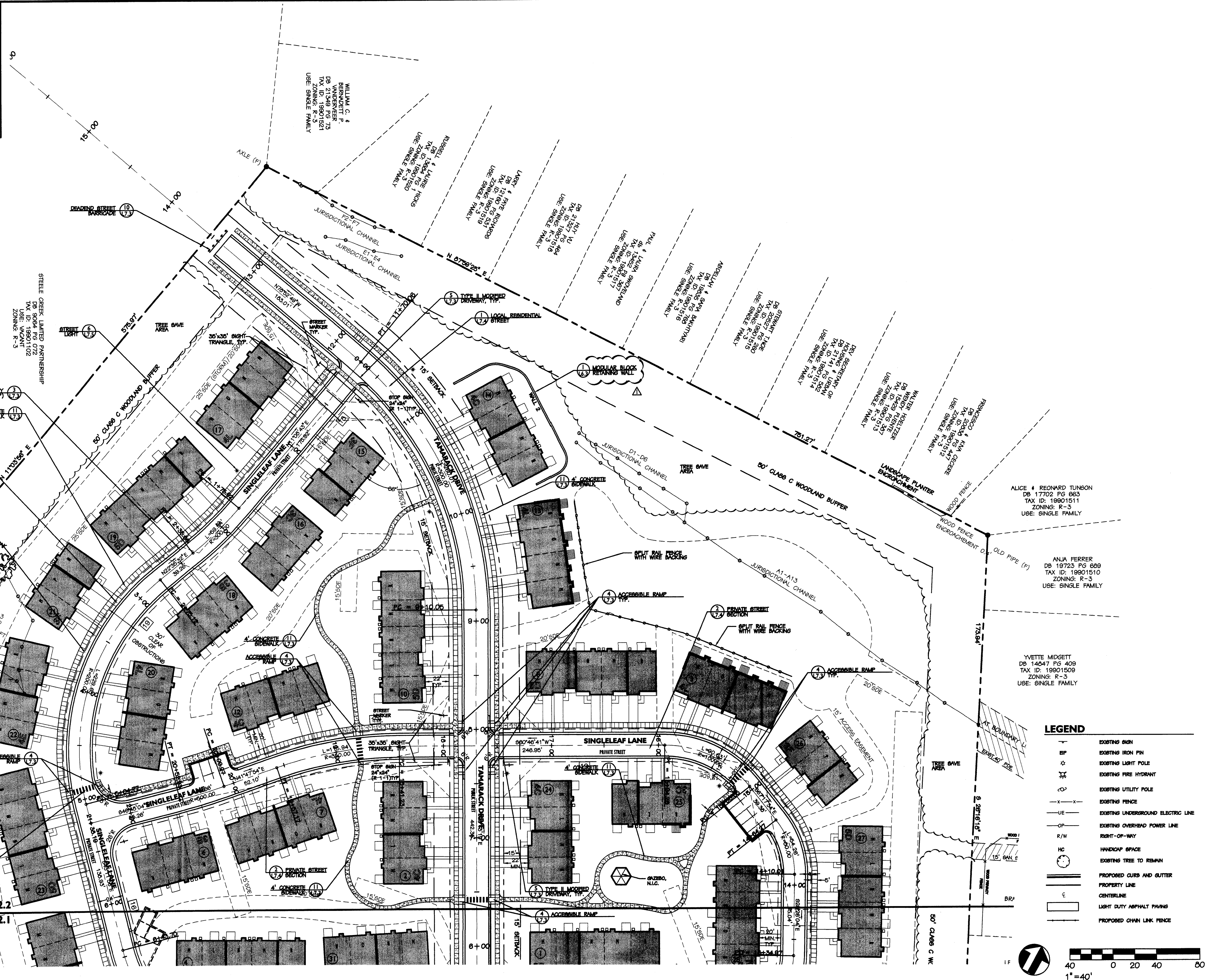
1	Per City Comments	01.26.07
2	Rev. overlay width	01.30.07
3	Addendum No. 2	02.08.07
4	Rev. typ. section	03.09.07

Sheet Title: **Site Plan-
South**

Sheet No: **L-2.1**



VICINITY MAP



Charlotte Pines Portrait Homes Charlotte, North Carolina

Project No:	2842
Drawn By:	C. Coleman / P. Gorsuch
Designed By:	P. Hobbs
Checked By:	P. Hobbs
Date:	11.10.2006
Revisions:	
Per City Comments	1.26.07
Site Walks	01.30.07

Sheet Title: **Site Plan-North**

Sheet No: **L-2.2**