

NOTE:  
1. FOR TYPE "C" BUFFER REQUIREMENTS ALONG REAMES ROAD AND LAKEVIEW ROAD, SEE LANDSCAPE PLANS SHEETS 23-27.  
2. FOR SPECIMEN TREE CALCULATIONS, SEE LANDSCAPE PLANS SHEETS 23-27.

NOTE: A VARYING SIDEWALK EASEMENT (1' TO 6' IN WIDTH) WILL BE PROVIDED FOR THE PROPOSED SIDEWALK LOCATED ALONG REAMES ROAD. EASEMENT SHALL INCLUDE LAND BETWEEN THE R/W AND 2' BEHIND THE BACK OF SIDEWALK OR TO THE FACE OF THE BUILDING, WHICHEVER IS LESS.

#### SITE TABULATION

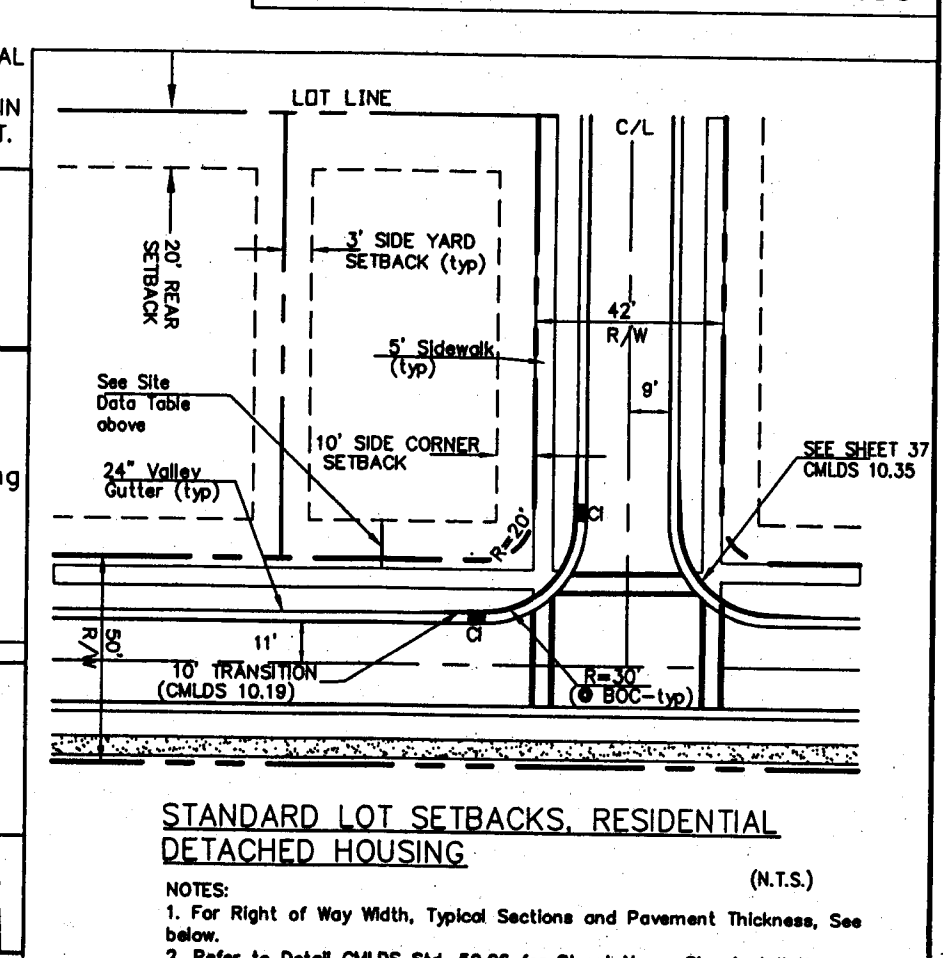
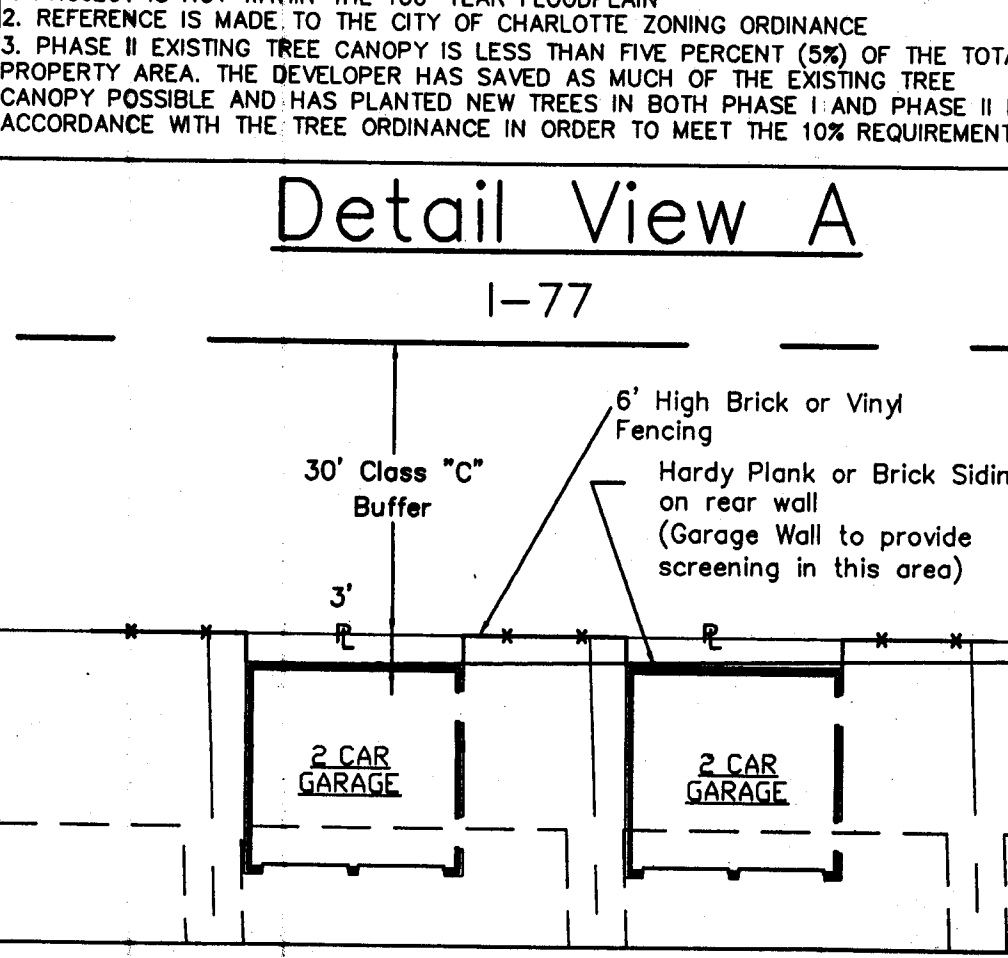
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|--|----------|
| TOTAL NUMBER OF LOTS                           | 257      |
| ACREAGE  | 64.72 AC |
| STREET RIGHT OF WAY                            | 10.77 AC |
| SITE NET AREA                                  | 43.95 AC |
| COMMON OPEN SPACE (REQUIRED)                   | 6.47 AC  |
| COMMON OPEN SPACE (PROVIDED)                   | 10.82 AC |
| TREE SAVE AREA (REQUIRED)                      | 6.47 AC  |
| TREE SAVE AREA (PROVIDED)                      | 6.37 AC  |
| TREE SAVE GROSS AREA                           | 11.44%   |
| TREE SAVE NET AREA PERCENTAGE (GROSS LESS R/W) | 14.82%   |

- Specific Innovative Requests
1. Sidewalk abutting back of curb in areas along parallel parking spaces for pedestrian ease of access.
  2. Private Streets on the East side of Reames Road to be built in accordance to Public Street Standards.
  3. See Site Data Table.
  4. Reduction to the 50' Buffer along I-77 by use of the screening as shown in the Detail View A.

| SITE DATA   |   |   |
|---|---|---|
| LOCATION: INT. REAMES RD. (SR# 2110) & LAKEVIEW RD. (SR# 2112) MECKLENBURG COUNTY, NC |   |   |
| EXISTING ZONING: MX-2, INNOVATIVE   |   |   |
| USE: RESIDENTIAL, SINGLE-FAMILY DETACHED  |   |   |
| ITEM  | PROVIDED  |   |
|   | PHASE I - 184 LOTS  | PHASE II - 73 LOTS  |
| SITE AREA   | 40.35 ACRES   | 14.7 ACRES  |
| MINIMUM FRONT SETBACK   | 10 FT TO BLDG/20 FT TO GARAGE MEASURED FROM BACK OF SIDEWALK  | 10 FT TO BLDG/20 FT TO GARAGE MEASURED FROM BACK OF SIDEWALK  |
| MINIMUM SIDE SETBACK  | 3 FT  | 3 FT  |
| MINIMUM REAR SETBACK  | 10 FT ON LOTS THAT BACK UP TO OPEN SPACE<br>20 FT ON LOTS THAT ARE ALONG THE EXTERIOR BOUNDARY WITH THE COMBINATION OF THE REAR YARD AND THE OPEN SPACE MUST EQUAL TO 40 FT.<br>20 FT ON LOTS THAT DO NOT BACK UP TO OPEN SPACE | 10 FT ON LOTS THAT BACK UP TO OPEN SPACE<br>20 FT ON LOTS THAT ARE ALONG THE EXTERIOR BOUNDARY WITH THE COMBINATION OF THE REAR YARD AND THE OPEN SPACE MUST EQUAL TO 40 FT.<br>20 FT ON LOTS THAT DO NOT BACK UP TO OPEN SPACE |
| MINIMUM LOT SIZE  | 3500 sf   | 3500 sf   |
| MINIMUM LOT WIDTH   | 40 FT   | 40 FT   |
| DETACHED GARAGE   | 3 FT SIDE/3 FT REAR   | 3 FT SIDE/3 FT REAR   |
| OPEN SPACE  | 10.44 AC (4.0 AC REQUIRED)  | 0.48 AC   |
| TREE SAVE AREA  | 3.44 AC EXISTING TREE SAVE AREA<br>2.19 AC SPECIMEN TREE CREDIT<br>TOTAL=5.63 AC (4.03 AC REQUIRED)   | 50 AC EXISTING TREE SAVE AREA (LESS THAN 5%)<br>24 AC PLANTING TO MEET 5% REQUIREMENT<br>0.74 AC TOTAL TREE AREA (0.74 AC TO MEET 5% requirement)   |

| SITE LEGEND                  |     |
|------------------------------|-----|
| PROPOSED CURB & GUTTER       | --- |
| REVERSED PITCH CURB & GUTTER | --- |
| PROPERTY LINE                | --- |
| LOT LINES                    | --- |
| CHAIN LINK FENCING           | X X |
| TRAFFIC FLOW                 | →   |
| NC DOT STD. MINISIP          | --- |
| NC DOT STD. GUARDRAIL        | --- |
| OVERLAY SECTION              | --- |
| PROPOSED WIDENING SECTION    | --- |
| CONCRETE                     | --- |
| BENCHMARK                    | --- |
| EXISTING FEATURES SCREENED   | --- |

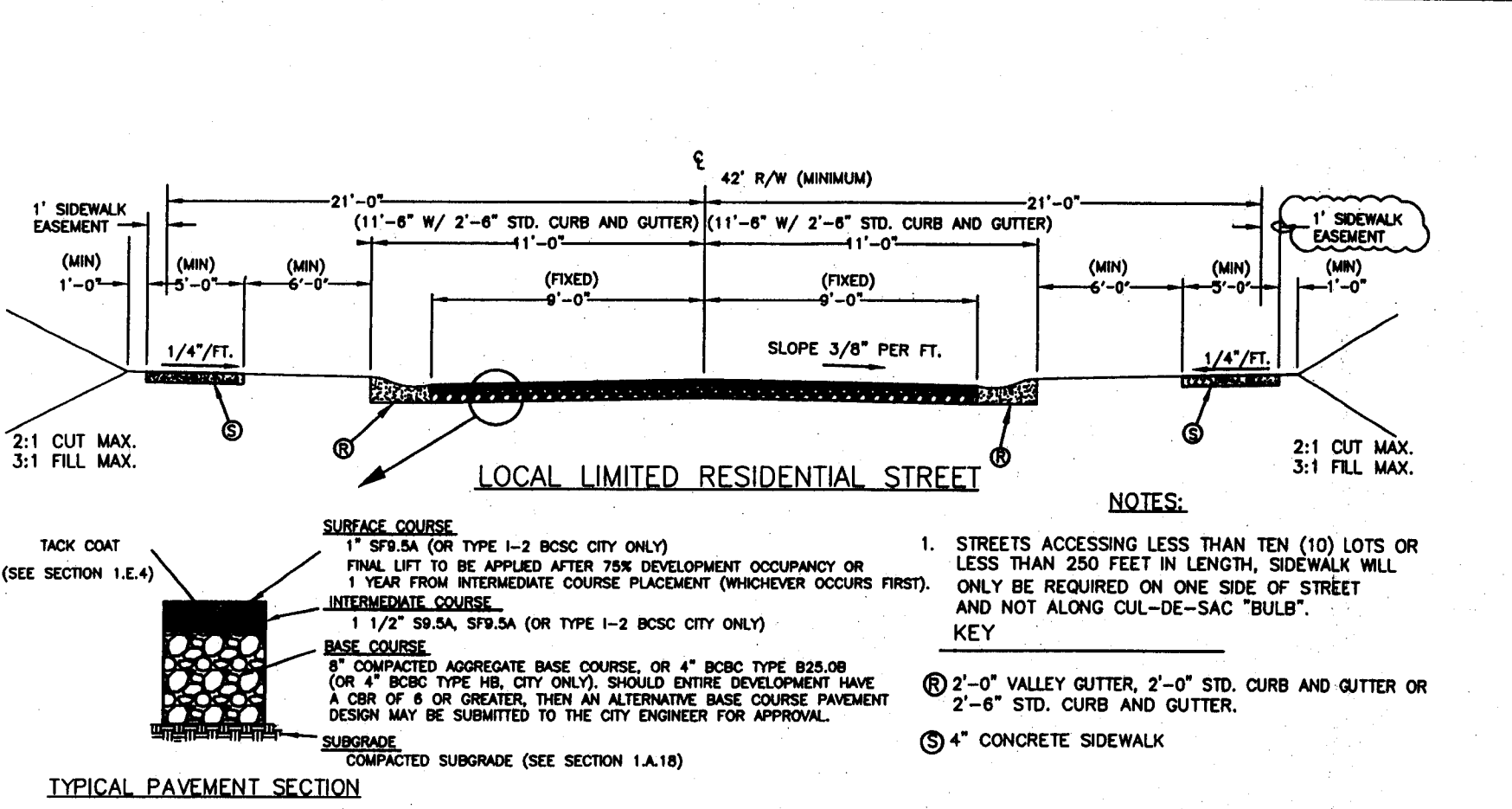
REZONING PETITION #2006-038



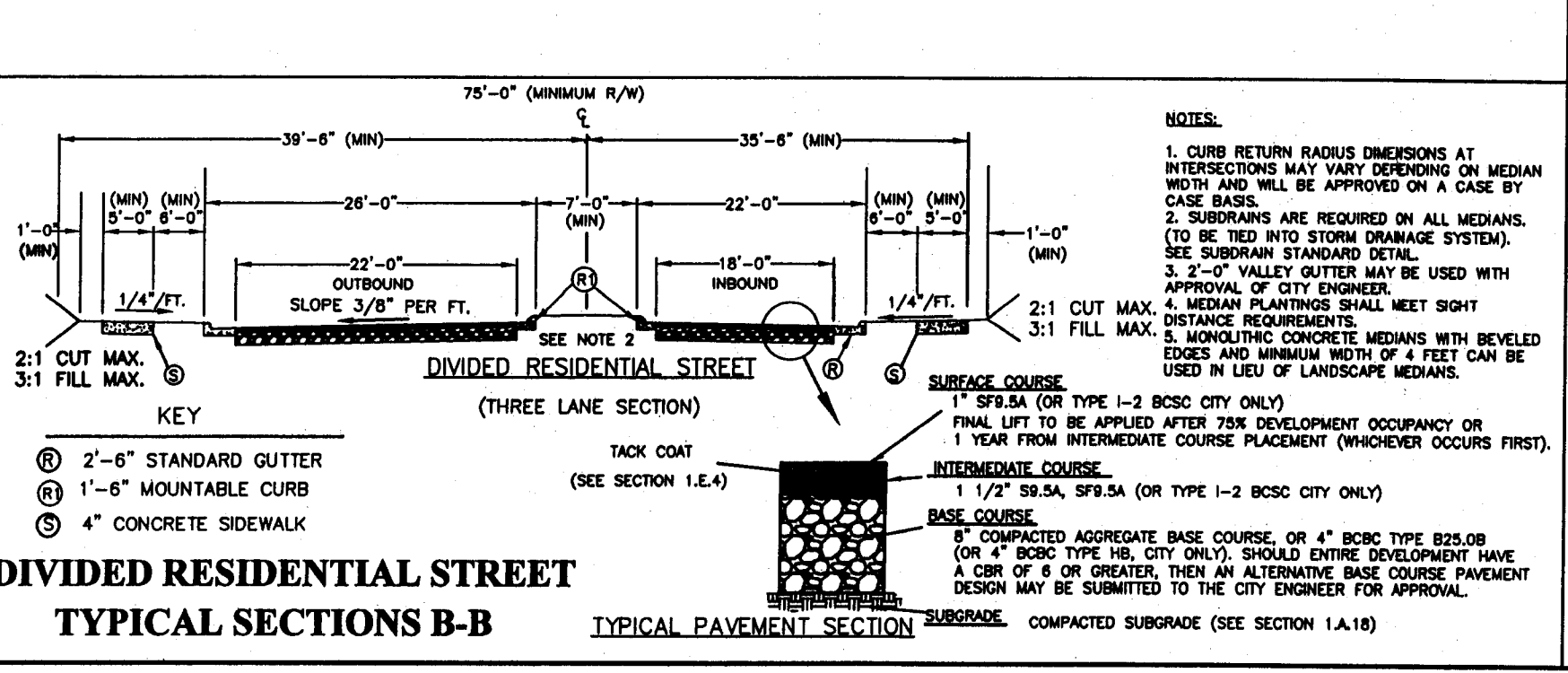
NOTE:  
ALL LOTS BACKING UP TO THE 30' CLASS "C" BUFFER MUST CONFORM TO DETAIL VIEW A. ALL GARAGES IN THIS AREA MUST NOT ABUT EACH OTHER.

- NOTES:
1. CURB AND GUTTER STREETS MAY USE VALLEY GUTTER OR STANDARD CURB AND GUTTER.
  2. ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CDOT FOR REVIEW AND APPROVAL.
  3. THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC "BULB".
  4. STREETS ACCESSING FEWER THAN TEN (10) LOTS OR LESS THAN 250 FEET IN LENGTH WILL ONLY BE REQUIRED TO HAVE SIDEWALK ON ONE SIDE OF THE STREET AND NOT ALONG THE CUL-DE-SAC "BULB".
  5. REFER TO NC DOT STANDARDS FOR DITCH TYPE STREETS IN ETJ.
  6. REFER TO CITY OF CHARLOTTE SUBDIVISION ORDINANCE 7.160 AND 7.170 FOR APPLICABILITY.

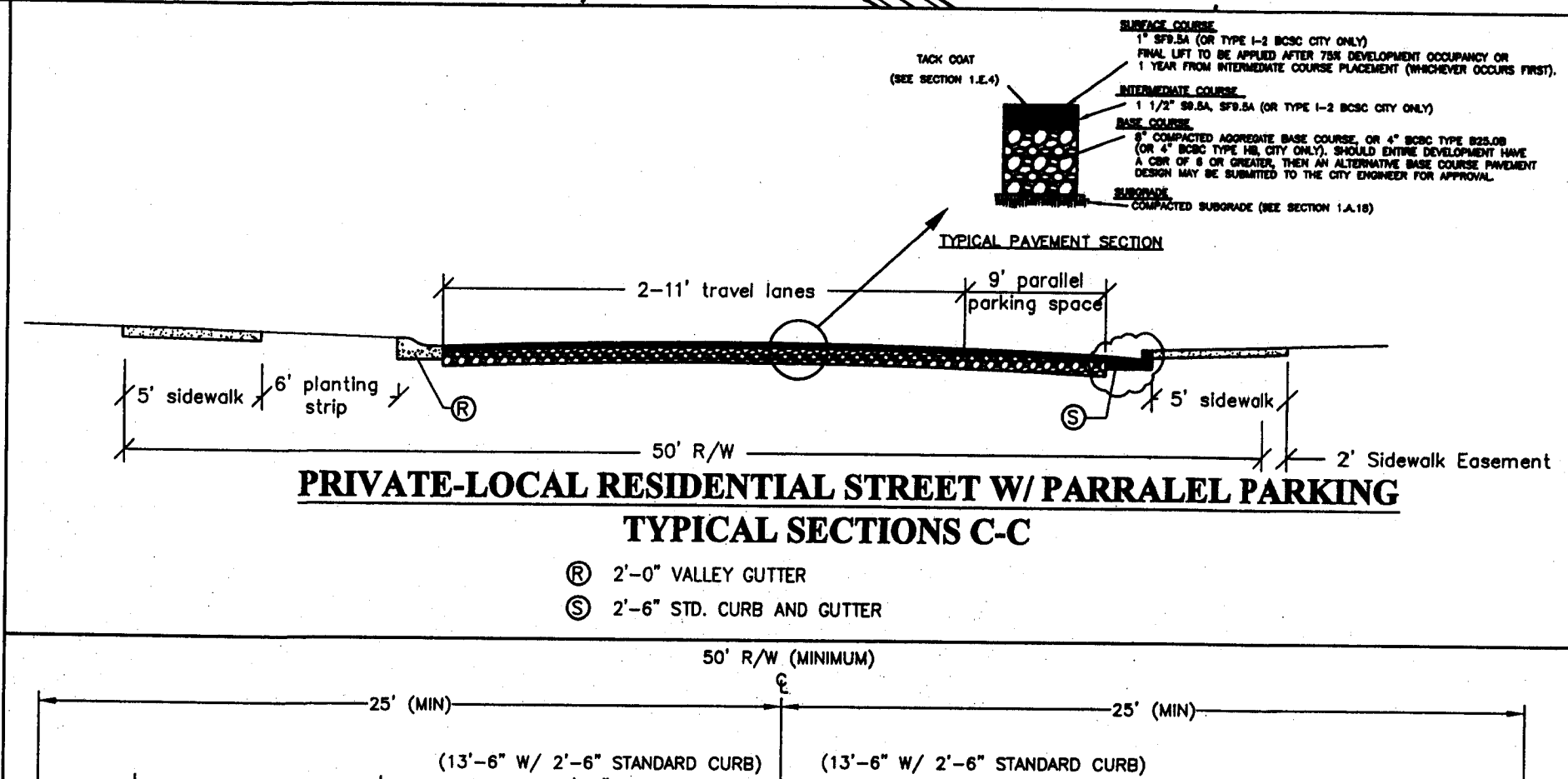
APPROVED FOR CONSTRUCTION  
C M P C  
SWf 9.7.07



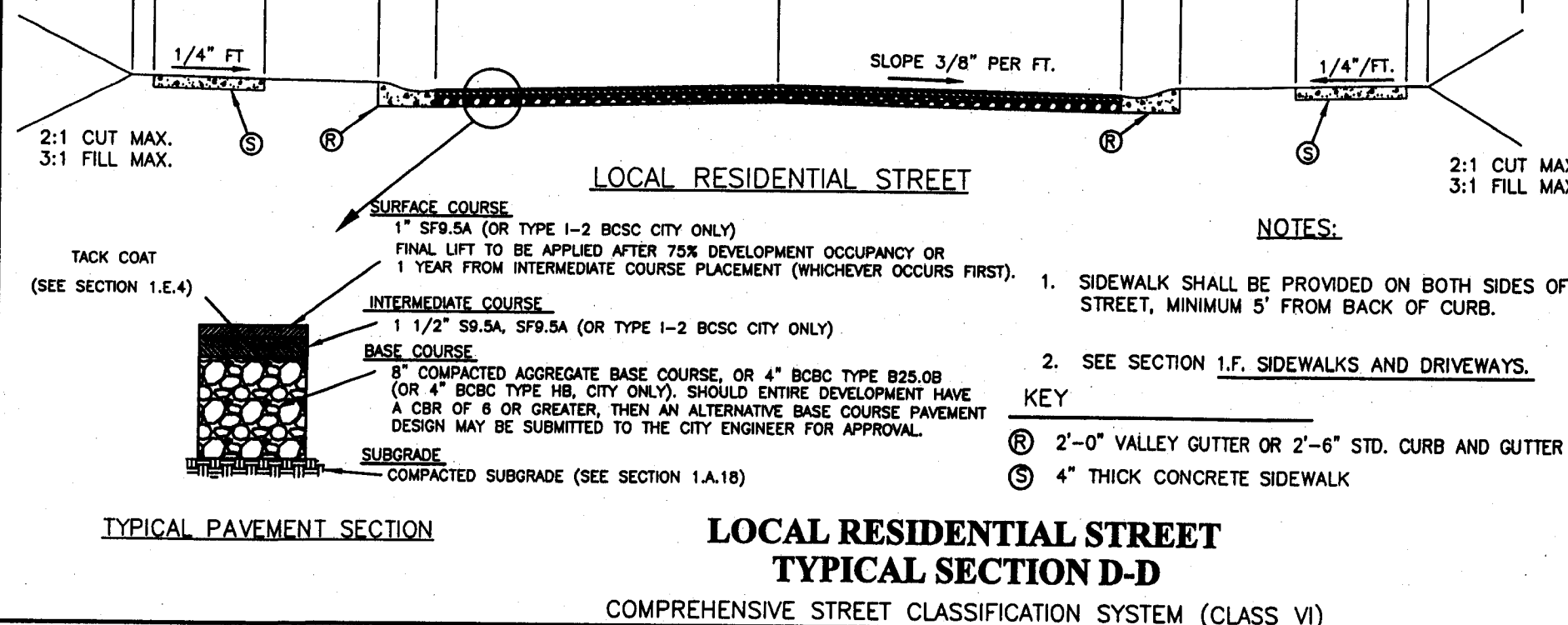
PRIVATE-LOCAL LIMITED RESIDENTIAL STREET  
TYPICAL SECTION A-A  
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI-L)



DIVIDED RESIDENTIAL STREET  
TYPICAL SECTION B-B  
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

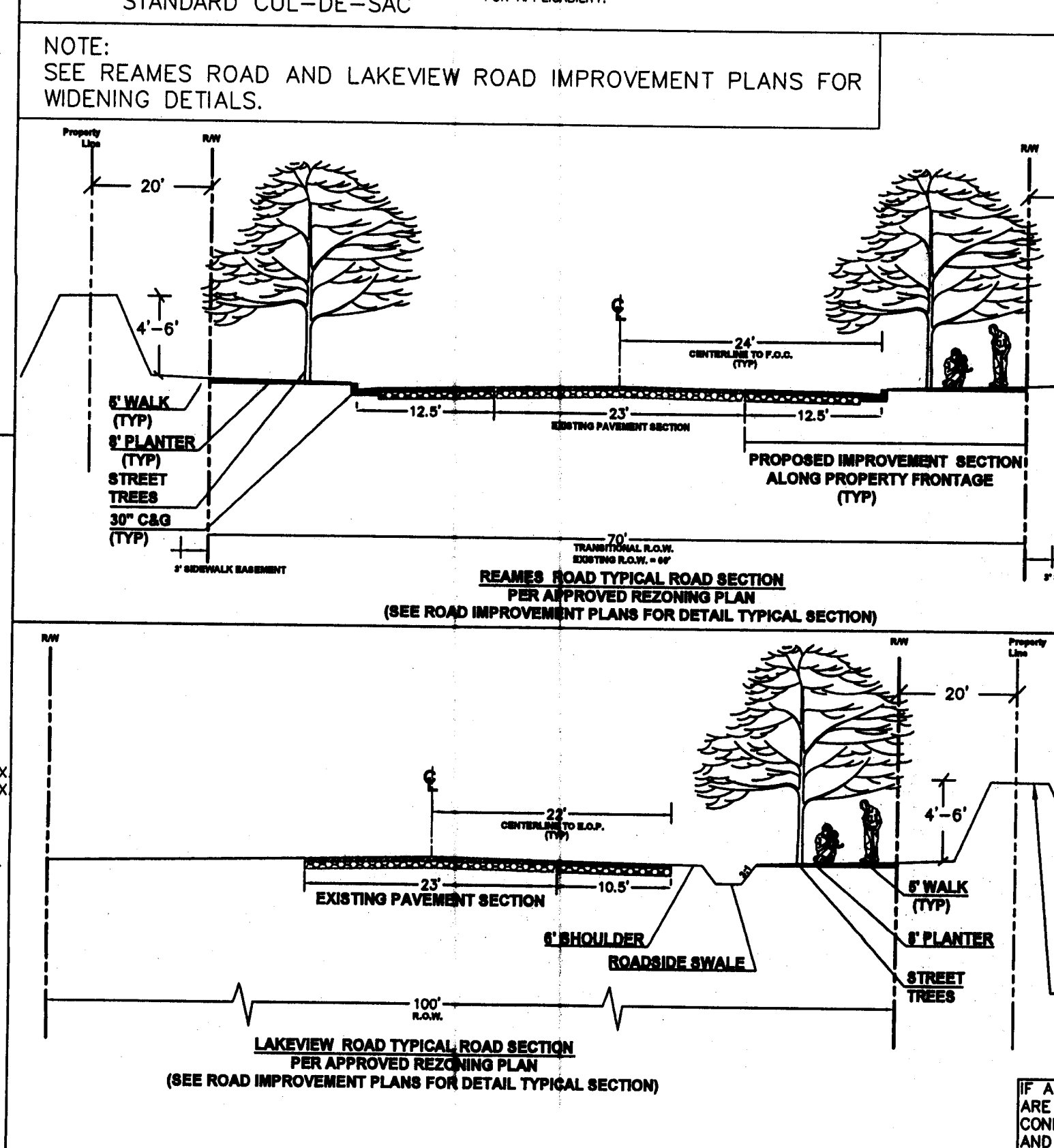


PRIVATE-LOCAL RESIDENTIAL STREET W/ PARALLEL PARKING  
TYPICAL SECTION C-C  
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

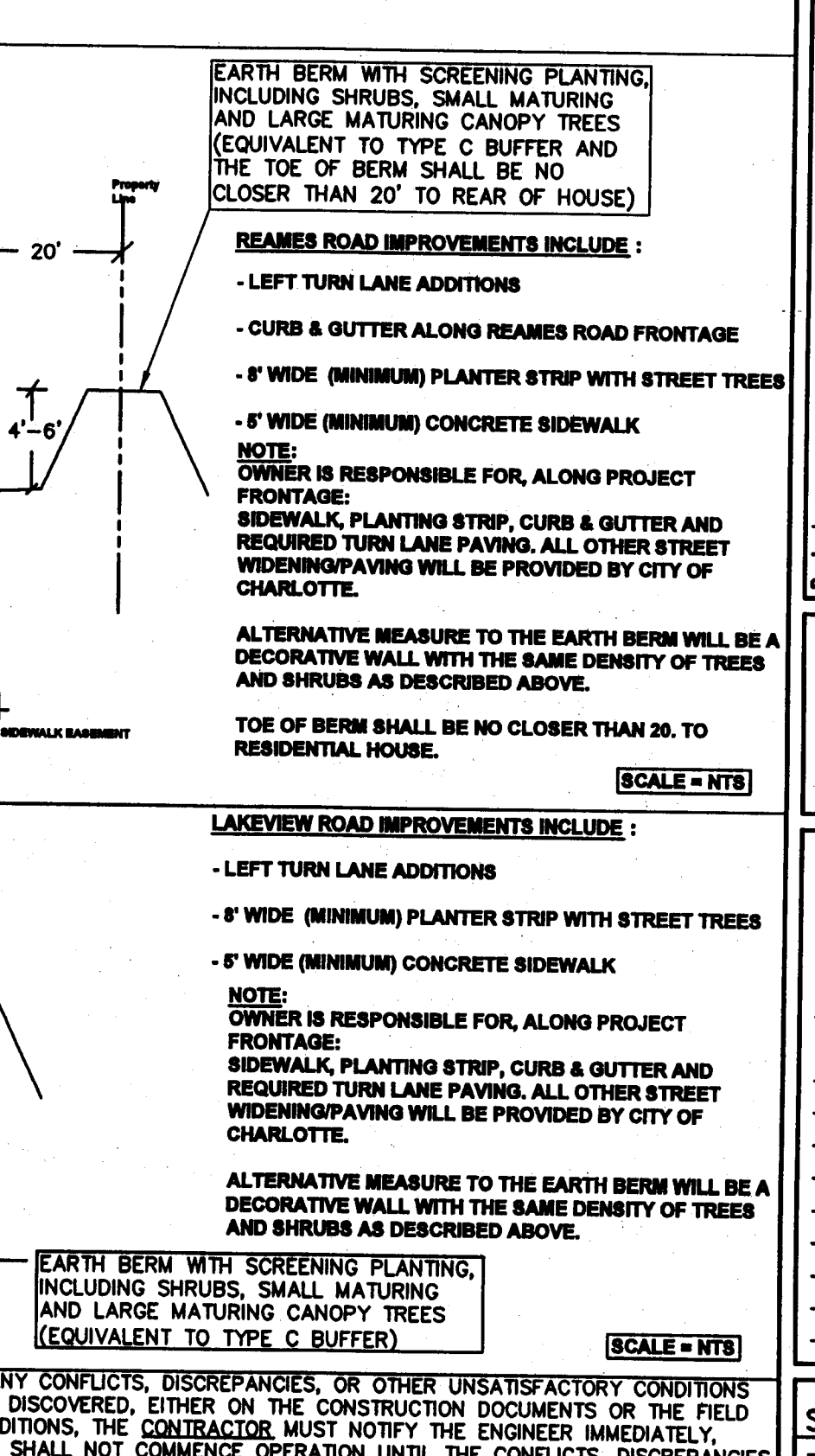


LOCAL RESIDENTIAL STREET  
TYPICAL SECTION D-D  
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

NOTE:  
SEE REAMES ROAD AND LAKEVIEW ROAD IMPROVEMENT PLANS FOR WIDENING DETAILS.



REAMES ROAD TYPICAL ROAD SECTION  
PER APPROVED REZONING PLAN  
(SEE ROAD IMPROVEMENT PLANS FOR DETAIL TYPICAL SECTION)



LAKEVIEW ROAD TYPICAL ROAD SECTION  
PER APPROVED REZONING PLAN  
(SEE ROAD IMPROVEMENT PLANS FOR DETAIL TYPICAL SECTION)

**environmental DESIGN**

landscape architecture  
civil engineering  
land planning  
land surveying

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**THIS PLAN IS A FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION UNLESS INITIALED/DATED AS APPROVED BY ENGINEER.**

INITIAL DATE

**GRAPHIC SCALE 1" = 160 FT**

**OVERALL SITE PLAN INDEX**

**BROOKLINE, PHASE I**  
Reames Road and Lakeview Road  
Charlotte, N.C.

Project Location Sheet Title

**DEVELOPER/OWNER**  
CLARION REAMES, LLC  
Dan Bartok  
8628 Reames Road  
CHARLOTTE, NC 28216  
(704) 202-0077

**Designed By** EDPA  
**Drawn By** JDL,DPW  
**Date** 09/22/06

**Revisions**

|          |                        |
|----------|------------------------|
| 1-18-07: | CDOT/Planning Comments |
| 3-29-07: | CDOT/Planning Comments |
| 6-19-07: | CDOT/Planning Comments |
| 7-27-07: | CDOT/Planning Comments |

**Sheet 2 of 36**  
**Project Number** 05023