

TREE PROTECTION NOTES:

1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY IS ALLOWED IN THE TREE PROTECTION ZONE.
2. TREE PROTECTION FENCE IS TO BE LOCATED AROUND THE PERIMETER OF ALL TREE PROTECTION AREAS, UNLESS OTHERWISE NOTED ON THIS PLAN.
3. BEFORE GRADING CONSTRUCTION BEGINS, CALL 336-3800 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.
4. LIMITED CLEARING OF UNDERBUSH LESS THAN 2 INCHES IN DIAMETER MAY BE DONE WITH HAND HELD TOOLS WITHIN TREE PROTECTION AREAS, AT OWNERS OPTION.
5. THE SITE HAS BEEN INSPECTED AND NO 'HERITAGE' TREES ARE PRESENT.
6. TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.
7. TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING CONSTRUCTION AND NOT REMOVED UNTIL INSPECTION BY URBAN FORESTRY STAFF.
8. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION MITIGATION.
9. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704) 336-4282.

TREE ORDINANCE PLANTING NOTES:

1. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL.
2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL - OR - UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
3. LARGE MATURING TREES MAY NOT BE LOCATED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
4. CALL 704-336-4624 FOR AN INSPECTION OF TREE PLANTING AT LEAST 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
5. ALL TREES SHALL BE PLANTED PER CMDS 40.01 AND 40.02.
6. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
7. NEW TREES SHALL BE A MINIMUM 2" CALIPER FOR STREET TREE REQUIREMENTS.

TREE LOCATION AND SELECTION NOTES:

1. ACTUAL STREET TREE LOCATIONS MAY VARY SLIGHTLY DEPENDING UPON DRIVEWAY LOCATIONS. CONTRACTOR SHALL VERIFY DESIRED TREE LOCATIONS WITH OWNER PRIOR TO INSTALLATION. TREES SHALL TYPICALLY BE LOCATED WITHIN 10 FEET OF A SIDE LOT LINE.
2. PLANT LARGE MATURING TREES ON 40-50' SPACING WHEN OVERHEAD POWER LINES ARE NOT PRESENT, AND 40' FT SPACING WHEN ACROSS THE STREET FROM COMMERCIAL OR MULTI-FAMILY DEVELOPMENT.
3. PLANT SMALL MATURING TREES ON 30' SPACING ONLY WHEN OVERHEAD POWER LINES ARE PRESENT.
4. 75% OF NEW TREES MUST BE LARGE MATURING SHADE TREES FROM THE APPROVED SPECIES LIST.

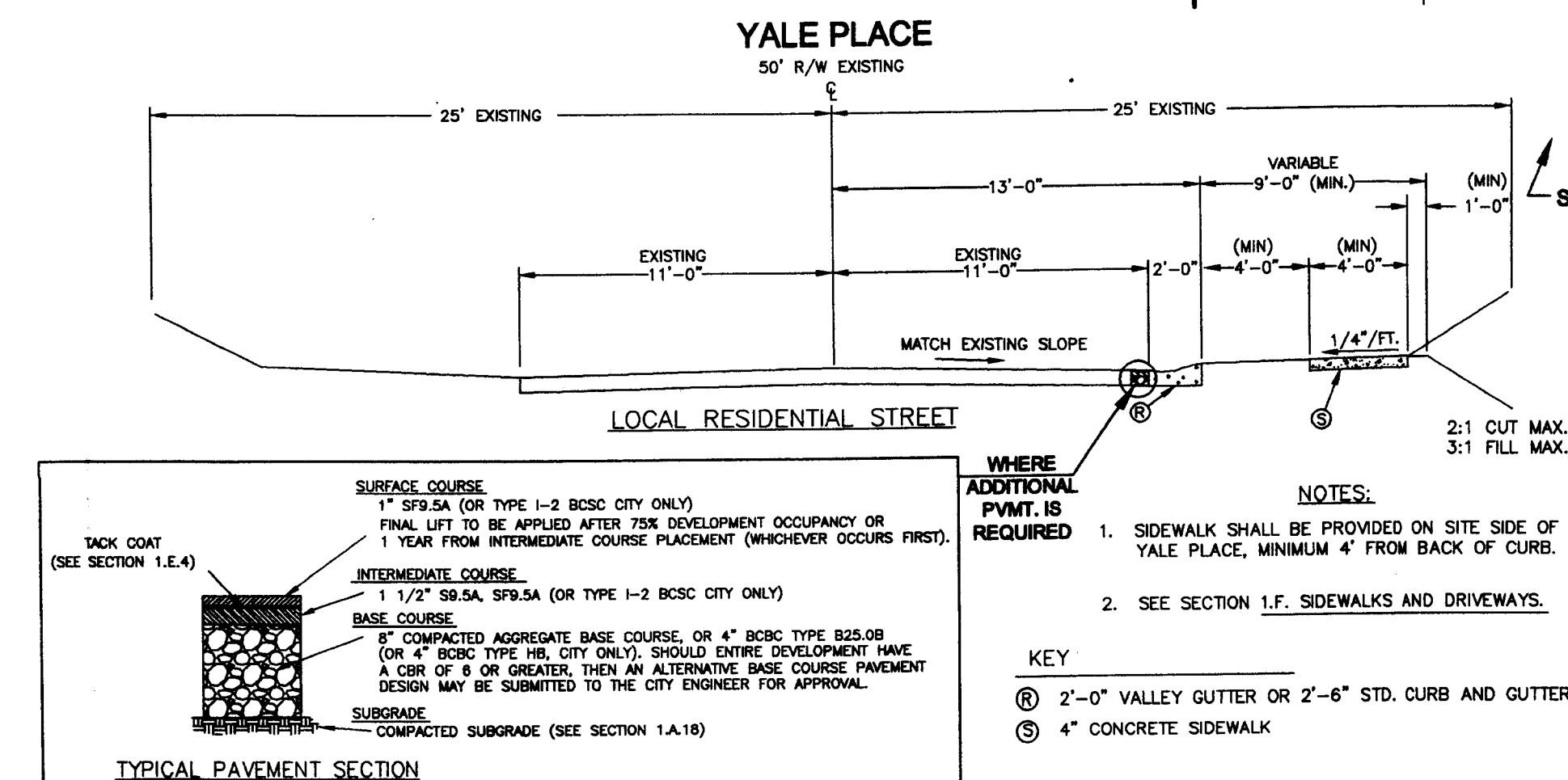
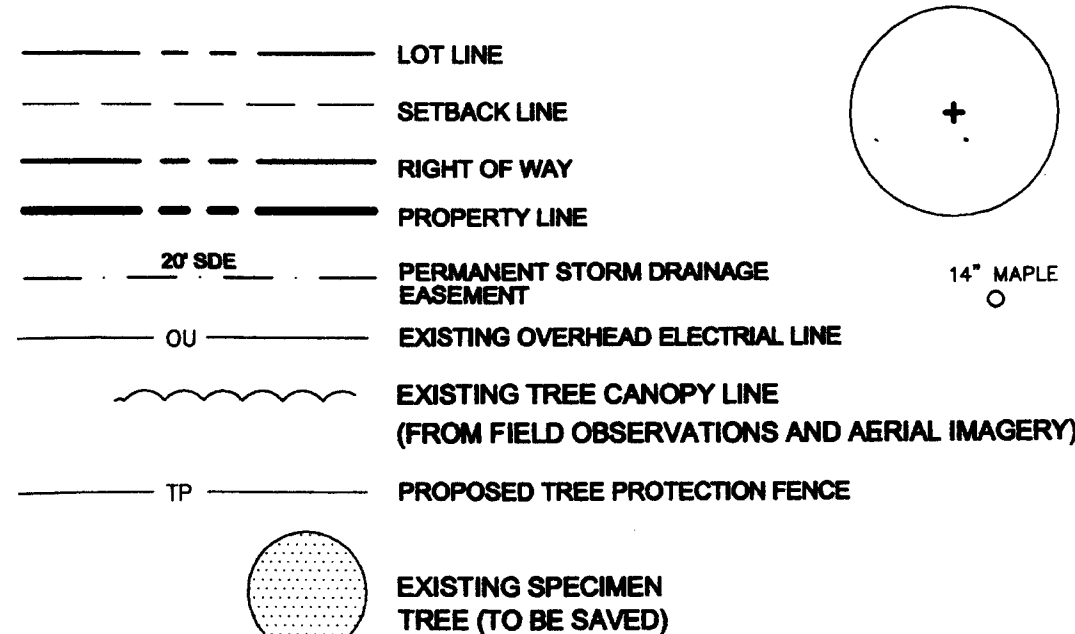
PLANT LIST

APPROVED TREES FOR TREE ORDINANCE STREET TREES
(SEE TREE LOCATION NOTE 2 ABOVE)

SYM.	QTY.	BOTANICAL NAME	COMMON NAME
QP	7	Quercus phellos	Willow Oak

- NOTES:
1. OTHER SPECIES MAY BE USED FROM THE "APPROVED SPECIES LIST" IN THE CHARLOTTE TREE ORDINANCE, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
 2. SEE SHEET L-3 FOR TYPICAL TREE PLANTING DETAIL.

LEGEND



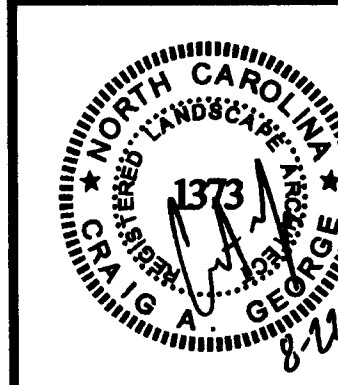
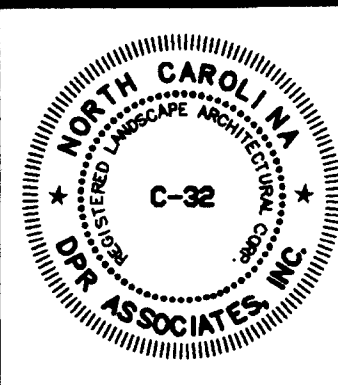
LOCAL RESIDENTIAL STREET
TYPICAL SECTION (YALE PLACE)

COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

REVISIONS:

No.	Date	By	Description
1.	7-12-07	CG	REVISED PER CITY OF CHARLOTTE COMMENTS
2.	8-22-07	CG	REVISED PER CDOT COMMENTS

Project Manager
CG
Drawn By
CG
Checked By
LM
Date
5/2/07
Project Number
06089



DPR
DESIGN-PLANNING-RESEARCH

DPR ASSOCIATES
Landscape Architects
Planners & Engineers
420 Hawthorne Lane
Charlotte, NC 28204
704/332-1204

SITE AND TREE SAVE PLAN

YALE PLACE COMMONS
CHARLOTTE, NORTH CAROLINA
NEW SOUTH HOMES OF THE CAROLINAS, LLC

Scale:
1" = 20'

Sheet Number

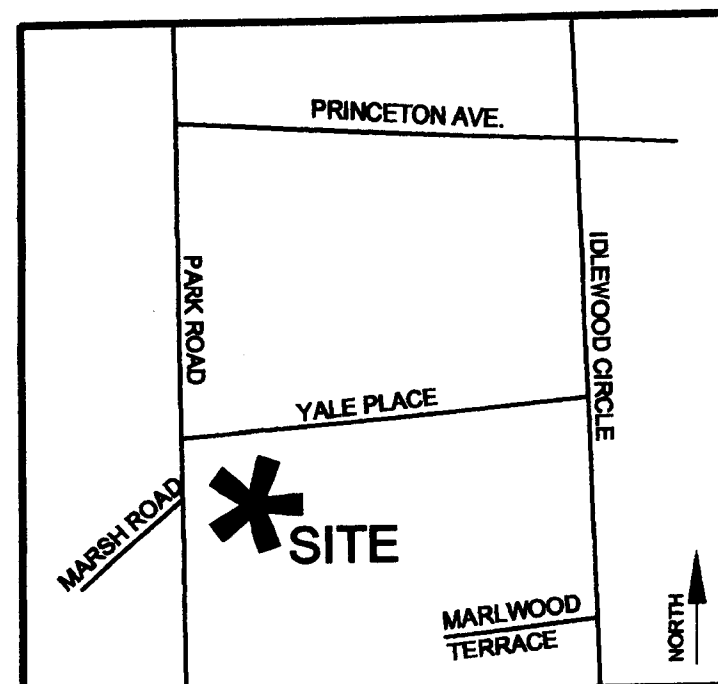
L-1

SHEET 1 OF 3 TOTAL

YALE PLACE
(50' R/W)
MAINTAINED BY THE CITY OF
CHARLOTTE

YALE PLACE RIGHT OF WAY RECORDED AT:
DEED REFERENCE: 4167-713, 4422-381
MAP REFERENCE: 3-515, 1186-215

EXISTING
RIGHT OF WAY



VICINITY MAP - NTS

SHEET SCHEDULE

- | | |
|-----|---------------------------------|
| L-1 | SITE AND TREE SAVE PLAN |
| L-2 | GRADING AND STORM DRAINAGE PLAN |
| L-3 | DETAIL AND DRAINAGE AREA SHEET |

GENERAL DATA

OWNER: NEW SOUTH HOMES OF THE CAROLINAS, LLC
ADDRESS: 1518 EAST THIRD STREET
CHARLOTTE, NC 28204
(704) 370-0303
PHONE NUMBER:
DESIGNER: DPR ASSOCIATES INC.
ADDRESS: 420 HAWTHORNE LANE
CHARLOTTE, NC 28204
(704) 332-1204
PHONE NUMBER:
CITY/COUNTY/ST: CITY OF CHARLOTTE

EXISTING SITE DATA

TAX PARCEL NO.: 151-092-28 AND 151-092-55
TOTAL SITE AREA: 1.26 AC.
EXIST. ZONING: R-4
MAXIMUM LOTS ALLOWED: 7.2 (SEE DENSITY INCENTIVE BELOW)
TOTAL LOTS PROPOSED: 6
TOTAL COMMON OPEN SPACE: +/- 0.45 AC.

TREE SAVE INCENTIVES

TREE SAVE IN COMMON OPEN SPACE: 0.52 AC. MIN. (41.27% OF TOTAL ACREAGE)
DENSITY INCENTIVE: 1.26 AC X 4 UNITS/AC = 5.04 UNITS ALLOWED
PER R-4 ZONING
5.04 UNITS X 1.43 = 7.2 UNITS ALLOWED
WITH INCENTIVE

** WITH 25% TREE SAVE AREAS IN COMMON OPEN SPACE, DEVELOPMENT WILL BE ALLOWED TO USE R-5 CLUSTER LOT STANDARDS

R-5 CLUSTER STANDARDS

MIN. LOT SIZE: 4,500 S.F.
MIN. LOT WIDTH: 40 FT.
FRONT SETBACK: 20'
SIDE YARD: 3 FT. MIN. (PER TREE SAVE INCENTIVE)
REAR YARD: 20 FT.

TREE SAVE DATA

GROSS TOTAL SITE AREA: 1.26 AC.
NET TOTAL SITE AREA: 1.22 AC. (1.26 AC. - 0.4 AC DEDICATED PARK RD. ROW)
REQUIRED MIN. TREE SAVE (IN COS): 0.305 AC (25% OF 1.22 AC.)
(W/ DENSITY INCENTIVE)
PROPOSED TREE SAVE AREA: 0.52 AC (42.62% OF NET ACREAGE)
(0.35 AC + SPECIMEN TREE BONUS)

SPECIMEN TREE #	AREA	MULTIPLIER	BONUS CREDIT
1	2,958 SF**	X 1.5	4,434 SF
2			
3			
4	1,940 SF	X 1.5	2,910 SF

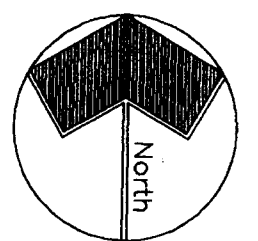
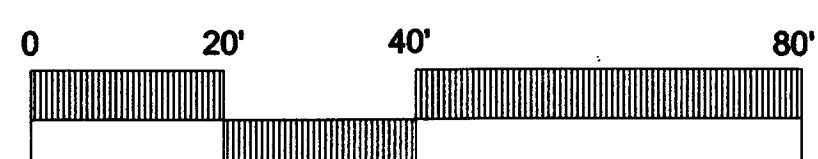
** NOTE:
AREA FOR TREES 1-3 IS WITHIN THE COMBINED CANOPY (NO OVERLAP OR OFFSITE AREA INCLUDED)

BASE INFORMATION NOTES:

BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY BY R.B. PHARR ASSOC. DATED JULY 24, 2006.



Scale:
1" = 20'



ISD NOTES:

1. IN ACCORDANCE WITH CDOT'S SIGHT DISTANCE POLICY, ADEQUATE INTERSECTION SIGHT DISTANCE (ISD) IS TO BE PROVIDED AT THE EXISTING PUBLIC STREET CONNECTION TO PARK ROAD FOR A MINIMUM OF 445 FEET IN BOTH DIRECTIONS ALONG THE ROADWAY. ISD IS MEASURED FROM A POINT 15 FEET BACK FROM THE PROJECTION OF THE PARK ROAD CURB LINE IN THE OUTBOUND LANE OF THE PROPOSED PRIVATE DRIVE TO THE CENTER OF EACH APPROACHING LANE. THE SIGHT DISTANCE IS BASED ON A DRIVER'S EYE HEIGHT OF 3.5 FEET AND AN APPROACHING VEHICLE HEIGHT OF 3.5 FEET.
2. EXISTING TREES WITHIN THE AREA OF THE ISD LINE SHALL BE LIMBED UP IN ORDER TO PROVIDE 6' OF VERTICAL CLEARANCE BETWEEN THE GROUND AND THE LOWEST LIMBS OF THE EXISTING TREES.

GENERAL NOTES:

1. SITE DEVELOPMENT IS EXPECTED TO BE COMPLETED WITHIN 18 MONTHS FROM PRELIMINARY SUBDIVISION PLAN APPROVAL.
2. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS. ALL STREETS TO BE BUILT IN CONFORMANCE WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
4. ALL PROPOSED TREES, BERMS, WALLS, FENCES, AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTION.
5. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY THE CDOT.
6. CONTRACTOR WILL PROVIDE STREET SIGNS PER CMDS 50.05 (9' SIGNS ONLY).
7. "AS BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, CARRYING 1.0 AC. OR LARGER DRAINAGE AREA, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
8. ALL DEBRIS FROM CLEARING OPERATIONS TO BE DISPOSED OF OFF SITE IN AN APPROVED DISPOSAL AREA.
9. ANY ON-SITE DEMOLITION LANDFILL REQUIRES THE ISSUANCE OF A PERMIT FROM THE MECKLENBURG HEALTH DEPARTMENT AND THE MECKLENBURG COUNTY ZONING ADMINISTRATION. NO ON-SITE DEMOLITION BURNING IS PROPOSED FOR THIS SITE.
10. ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL, AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
11. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
12. THE FOLLOWING DETAILS SHALL BE USED FROM THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDS), LATEST EDITION:
10.17A CURB & GUTTER
10.17B CURB & GUTTER
10.22 CONCRETE SIDEWALK
50.03 CONCRETE CONTROL MONUMENTS
50.06A STREET NAME SIGN
50.06 STREET NAME SIGN LOCATIONS
13. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO BEGINNING OF CONSTRUCTION.
14. IN ORDER TO ASSURE PROPER DRAINAGE, PROVIDE 0.50% MIN. GRADE ON ALL CURB & GUTTER.
15. ALL STORM DRAINAGE EASEMENTS SHOWN ON PLAN ARE PERMANENT STORM DRAINAGE EASEMENTS (SDE) TO BE MAINTAINED BY THE CITY OF CHARLOTTE.
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH CITY INSPECTOR.
17. ALL FILL PLACED ON BUILDING LOTS SHALL MEET NC STATE BUILDING CODE STANDARDS FOR 2,000 POUNDS PER SQUARE FOOT MINIMUM COMPACTION. MAXIMUM GRADED SLOPES = 2:1
18. CONCRETE MONUMENTS PER CLDS 50.03 ARE TO BE INSTALLED PER STATE AND LOCAL REQUIREMENTS.
19. IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
20. ALL ROAD IMPROVEMENTS AT YALE PLACE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
22. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
23. PRIOR TO PLAY REGRADATION, OFFSITE ROW AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE ROW ACQUISITION PROCESS". THESE NEEDED ROW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
24. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION, GUS JORDI (704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 90-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
25. NON-STANDARD ITEMS (E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
26. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
27. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION, FOR HEIGHTS 4' OR GREATER.
28. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE LAND DEVELOPMENT INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE LAND DEVELOPMENT INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT OF WAY.
29. CONTRACTOR WILL BE REQUIRED TO OBTAIN A "RIGHT OF WAY USE" PERMIT FOR ALL WORK LESS THAN 30 DAYS IN DURATION WITHIN THE PUBLIC RIGHT OF WAY. A MINIMUM OF 5 DAYS ADVANCE NOTICE FOR A LANE CLOSURE AND 10 DAYS ADVANCED NOTICE FOR A ROAD CLOSURE MUST BE TRANSMITTED TO 703-384-440 VIA FAX, ATTENTION BOB STANLEY, INDICATING DATE, TIME, DURATION DATE, TIME, DURATION DATE, AND OCCUPATION OF THE PUBLIC RIGHT OF WAY FOR A PERIOD OF TIME LONGER THAN 30 DAYS WILL REQUIRE LEASING OF THAT PORTION OF THE RIGHT OF WAY. CONTACT LINDA POSSANT AT 704-336-2562 FOR LEASING INFORMATION.
30. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE AT THE EXPENSE OF THE APPLICANT.
31. CURB AND GUTTER SHOWN ON PLAN ALONG YALE PLACE MAY BE ADJUSTED BASED ON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED ON FIELD CONDITIONS.