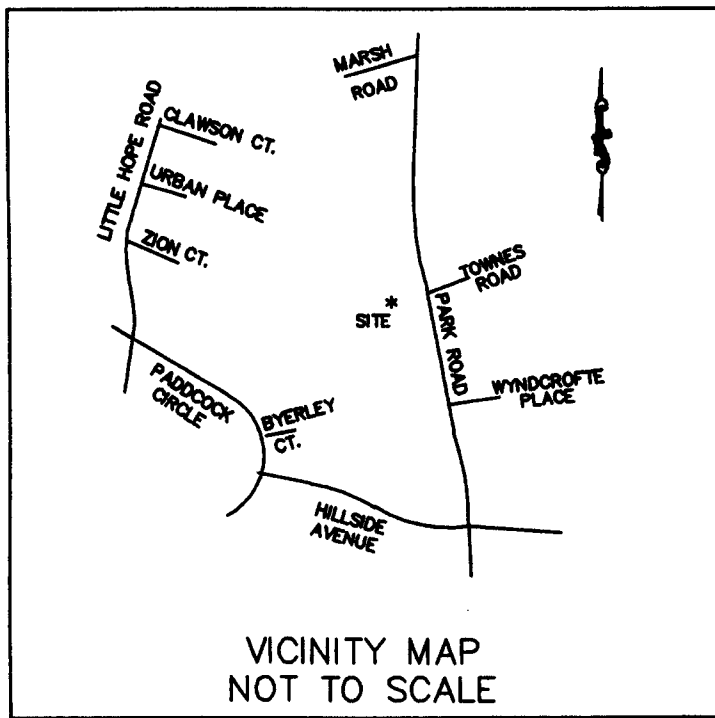


# YWCA FAMILIES TOGETHER

## CHARLOTTE, NORTH CAROLINA

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
Charlotte-Mecklenburg Planning Commission  
9/6/09



## BOULEVARD CENTRO

500 EAST BOULEVARD

CHARLOTTE, NORTH CAROLINA, 28203

PHONE: (704) 332-2942 FAX: (704) 343-9380



YWCA FAMILIES TOGETHER  
3420 PARK ROAD  
CHARLOTTE, NC 28209  
BOULEVARD CENTRO  
500 EAST BOULEVARD  
CHARLOTTE, NC 28203

DEVELOPMENT STANDARDS  
March 22, 2004  
General Provisions  
Per Rezoning Document 2004-036

These Development Standards form a part of the Site Plan associated with the Rezoning Petition filed by the Young Women's Christian Association (YWCA) to accommodate an expansion of the YWCA facility located on Park Road and which is more particularly described on the Site Plan (the Site).

Development of the Site will be governed by the Site Plan and these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the Ordinance). Unless the Site Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the institutional zoning classification shall govern all development taking place on the Site. Street and parking layouts may be modified to accommodate final building locations.

During the various phases of the redevelopment process, it is the intention of the Petitioner to retain and preserve any and all grandfathering rights under the Ordinance with respect to all structures, parking areas, site infrastructure and other improvements currently in place on the Site which are not required to be removed or renovated to accommodate the proposed expansion.

**Summary of Request**  
The Site is currently zoned R-4 with Special Use Permits. This Petition seeks the ability to expand the YWCA for the purpose of authorizing and accommodating new accessory living units for the YWCA's Families in Transition transitional housing program in the area so designated on the Site Plan. The existing YWCA facility, its accessory uses and ancillary parking and maneuvering areas may all remain on the Site.

**Permissible Development**  
Along with the existing YWCA facility, its accessory uses, parking and maneuvering areas, there may be developed on this Site 10 accessory dwelling units devoted to the transitional housing program plus one accessory dwelling unit for an overnight staff person and office use to be located in the area noted on the Site Plan. The existing building located in the front of the existing parking area may continue to be used for permissible accessory uses including a conference center for meetings, training, and/or retreats.

**Setbacks, Side Yards and Rear Yards**  
All new buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the Institutional District.

**Buildings, driveways and parking areas** may be located within the development area as designated on the Site Plan. Side and/or rear yards will not be required to be provided between the various buildings on the Site because they are a part of a unified development plan.

**Design and Performance Standards**  
New buildings constructed on the Site shall not exceed 35 feet in height and shall contain no more than two stories.  
The elevations included on Sheet 2 are examples of the architectural concept for the new buildings to be constructed on the Site and intended to portray the basic character of the front elevations of the buildings. Although it is not possible to dictate the exact design of each building, the character will be generally consistent with that shown in the elevations.  
Wall packs shall not be placed on any new buildings to be constructed on the Site and new wall packs shall not be placed on any existing buildings.  
Any newly installed decorative lighting on the Site shall be limited to no more than 20 feet in height and shall be copped.  
Pedestrian—scale lighting shall be installed along the new driveway to the proposed housing units.

**Buffer and Screening**  
The existing YWCA facility was established prior to the current Ordinance requirement for a 50 foot Class C buffer along the property lines abutting residential areas and current screening requirements. In some areas of the site, this buffer width will not be able to be established due to existing buildings, parking, driveways, loading and maneuvering areas. In those instances, the following standards shall be met in accordance with established policies of the Charlotte-Mecklenburg Building Standards Department.  
The entire 50 foot Class C buffer shall be installed in accordance with the Ordinance in those areas of the Site where the necessary width is unobstructed by existing buildings, parking, driveways and maneuvering areas. In those areas where the necessary width is not available, the width that is available will determine the number of trees and shrubs to be installed.  
When the buffer width available falls below 50 feet, a fence will be used as part of the buffer treatment. If a fence is used in accordance with the relevant fence standards, shrubs shall not be required. The minimum height of the buffer fence will be six feet.  
In the event the space available falls below five feet, only a six foot fence will be required.  
The segment of the 50 foot Class C buffer located in the southwesterly portion of the Site, as generally indicated on the Site Plan, is heavily wooded and shall not be disturbed except to the extent necessary to install a jogging track. The remainder of the 50 foot Class C buffer in the westerly portion of the Site is not heavily wooded and shall be landscaped in conformance with the standards of the Ordinance.

**Parking**  
All new off street parking and loading facilities will meet the standards established under the Ordinance.  
Parking shall be permitted along the terminus of the new driveway to the proposed housing units.  
The Petitioner shall provide bicycle racks near the existing main facility to accommodate one bicycle parking space for each 20 vehicle parking spaces provided in the main parking area in front of the existing main facility.

**Vehicular Access**  
Vehicular access to and from the Site shall be provided in the manner generally depicted on the Technical Data Sheet. The placement and configuration of these access points are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.

**Transportation and Connectivity**  
Petitioner agrees to dedicate and convey to the City of Charlotte for right-of-way purposes (by quitclaim deed and subject to a reservation for any necessary utility easements) any part of the Site required to provide a minimum of 40 feet of right-of-way from the centerline of Park Road, if such right-of-way does not exist already, prior to the issuance of any building permit for any new building on the Site.

**Storm Water Management**  
Storm water runoff will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte and the Charlotte-Mecklenburg Storm Water Design Manual. Surface level storm water detention, if required to be provided, shall not be located in the setback.  
The following agencies will be contacted prior to construction regarding wetland and water quality permits if determined to be applicable during the design development phase of the project.  
Section 401 Permit Section 404 Permit  
NCEHNR—Raleigh Office US Army Corps of Engineers

**Fire Protection**  
Adequate fire protection in the form of fire hydrants and other fire protection devices and measures as required by code will be provided to the Charlotte Fire Marshal's specifications.

**Tree Ordinance**  
The portion of the Site devoted to new construction shall conform to the City of Charlotte Tree Ordinance.

**Amendments to Rezoning Plan**  
Future amendments to the Technical Data Sheet, the Schematic Site Plan and these Development Standards may be applied for by the then Owner or Owners of the tract or tracts within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance.

**Binding Effect of the Rezoning Documents and Definitions**  
If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, no binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.  
Throughout these Development Standards, the terms, Petitioner and Owner or Owners shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

**SEEDING PREPARATION:**  
1. SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN.  
2. AREAS TO BE SEEDDED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL.  
3. TOTAL SEEDDED PREPARED DEPTH SHALL BE 4" TO 8" DEEP.  
4. LOOSE ROCKS, ROOTS AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION.  
5. IF NO SOIL TEST IS TAKEN, FERTILIZE AND LIME TO BE ACCORDING TO SEEDING SPECIFICATIONS ABOVE. IN ADDITION, PROVIDE 15 LBS./1,000 SF OF SUPERPHOSPHATE.  
6. IF SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT.  
7. LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDING PREPARATION.

**TEMPORARY SEEDING SCHEDULE**

**SLOPES OR FLATTER**

1. APPLY AGRICULTURAL LIME AT THE RATE OF 90 LBS./1,000 SF.  
2. APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS./1,000 SF.  
3. SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND APPLICATION RATES:

DATE	TYPE	PLANTING RATE
AUG. 15 - NOV. 1	TALL FESCUE	300 LB./AC. OR 7 LBS./1,000 SF.
NOV. 1 - MAR. 15	TALL FESCUE AND	300 LBS./AC. OR 7 LBS./1,000 SF.
MAR. 1 - APR. 15	TALL FESCUE	300 LBS./AC. OR 7 LBS./1,000 SF.
APR. 15 - JUL. 30	HULLED COMMON	30 LB./AC. OR 1 LB./1,000 SF.
JUL. 15 - AUG. 15	TALL FESCUE AND	300 LBS./AC. OR 7 LBS./1,000 SF.

**SLOPES GREATER THAN 3:1 TO 2:1**

DATE	TYPE	PLANTING RATE
MAR. 1 - JUNE 1	SERICEA LEPTOPHYLLA (SCARIFIED) AND	50 LBS./AC. OR 14 LBS./1,000SF
MAR. 1 - APRIL	ADD TALL FESCUE	150 LBS./AC. OR 34 LBS./1,000SF
OR	ADD WEEDING LOVEGRASS	5 LBS./AC. OR 1 LB./1,000 SF
JUNE - SEPT. 1	TALL FESCUE AND	60 LBS./AC. OR 14 LBS./1,000 SF
OR	BROWN TOP	35 LBS./AC. OR 7 LBS./1,000 SF
OR	SORGHUM-SUDAN HYBRIDS	30 LBS./AC. OR 7 LBS./1,000 SF
OR	SERICEA LEPTOPHYLLA (UNMULCHED-UNSCARIFIED)	150 LBS./AC. OR 34 LBS./1,000 SF
OR	TALL FESCUE	20 LBS./AC. OR 4 LBS./1,000 SF
OR	MULET OR SUDAN	20 LBS./AC. OR 4 LBS./1,000 SF

**TEMPORARY - RESEED SEPTEMBER 1 AT RECOMMENDED RATES**

4. MULCH WITH 3" STRAW APPLIED AT THE RATE OF 50 - 90 LBS./1,000 SF AND ANCHOR WITH ASPHALT EMULSION TACK COAT APPLIED AT THE RATE OF 14 - 20 GAL./1,000 SF OR 800 - 1,200 GAL./AC.

**CONSTRUCTION SEQUENCE:**

- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
- SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINE.
- INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U. S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.

**EROSION CONTROL NOTES:**

- ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- ANY GRADING BEYOND THE DENOVED LINES SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- ALL SLOPES MUST BE SEEDDED AND MULCHED WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL OTHER AREAS, 15 WORKING DAYS OR 30 CALENDAR DAYS WHICHEVER IS SHORTER. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING [CMLDIS #0016].
- A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
- TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCSDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

**GENERAL NOTES**

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. DEPARTMENT PRIOR TO CONSTRUCTION.
- ALL ROAD IMPROVEMENTS AT PARK ROAD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CMLD STD. 50.05 (9" SIGNS ONLY). SHIRT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE. ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50 PERCENT SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEER. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CITY'S INSPECTORS PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- IF ANY PORTION OF THE STREET RIGHT OF WAY IS USED OR BLOCKED OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS, THEN A RIGHT OF WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT OF WAY IS USED OR BLOCKED OFF. PLEASE CONTACT LINDA POSSANT, 704-338-2862 FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT OF WAY IS USED OR BLOCKED OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS, THEN A RIGHT OF WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT OF WAY IS USED OR BLOCKED OFF. PLEASE CONTACT BOB STALEY, 704-432-1562 FOR FURTHER INFORMATION.

**SITE DATA**  
TAX MAP NO:  
ZONING:  
SITE AREA

**EXISTING UNITS:**  
**PROPOSED UNITS:**

**NEW RESIDENTIAL:**

**EXISTING BUILDING**  
**SQUARE FOOTAGE:**  
F.A.R. (0.50 MAX.)

**EXISTING PARKING:**

**PARKING REQUIRED:**

**LOADING SPACES REQUIRED:**

**PARKING PROVIDED:**

**IMPERVIOUS AREA:**  
**PRE 1978 IMPERVIOUS AREA:**

**MIN. SETBACK:**  
**MIN. SIDE & REAR YARD:**  
**MAX. BUILDING HEIGHT:**

**TRASH PICK UP PROVIDED:**  
**RECYCLE PICK UP PROVIDED:**

### SCHEDULE OF DRAWINGS:

L-1 COVER SHEET  
L-2 EXISTING CONDITIONS  
L-3 SITE PLAN  
L-4 GRADING PLAN  
L-5 REQUIRED PLANTING PLAN  
L-6 SITE DETAILS  
L-7 SITE DETAILS

C-1 PHASE I EROSION CONTROL PLAN  
C-2 EROSION CONTROL DETAILS  
C-3 STORM DRAINAGE PLAN  
C-4 STORM DRAINAGE DETAILS  
C-5 DRAINAGE AREAS PLAN  
C-6 WATER AND SANITARY SEWER PLAN  
C-7 UTILITY DETAILS

### CONSULTANTS:

**DEVELOPER:**

BOULEVARD CENTRO  
500 EAST BOULEVARD  
CHARLOTTE, NC 28203  
704.332.2942

**ARCHITECT:**

DAVID FURMAN ARCHITECTURE  
500 EAST BOULEVARD  
CHARLOTTE, NC 28203  
704.332.2942

**LANDSCAPE ARCH.:**

DESIGN RESOURCE GROUP, PA  
1230 WEST MOREHEAD STREET  
SUITE 214  
CHARLOTTE, NC 28208  
704.343.0608

**CIVIL ENGINEER:**

DESIGN RESOURCE GROUP, PA  
1230 WEST MOREHEAD STREET  
SUITE 214  
CHARLOTTE, NC 28208  
704.343.0608

**SURVEYOR:**

R.B. PHARR & ASSOCIATES, P.A.  
420 HAWTHORNE LANE  
CHARLOTTE, NC 28204  
704.376.2186

149-133-65  
INST(OD) PETITION# 2004-036  
423,131.69 SF (9.714 ACRES)

66 DORMITORY UNITS  
11 (10 DWELLING UNITS & 1 OVERNIGHT STAFF PERSON UNIT) APARTMENTS

BLDG 1: 5,538 SF  
BLDG 2: 9,166 SF  
TOTAL: 14,704 SF

67,326 SF  
82,030 / 423,131.69 = 0.19 F.A.R.

NO ADJUSTMENTS TO EXISTING PARKING LOT OR EXISTING BUILDING.

PARKING PROVIDED ONLY FOR NEW UNITS  
11 LOW INCOME UNITS (1 SPACE/UNIT) PER AGREEMENT WITH PLANNING.

177,361 SF (4.07 ACRES)  
161,462 SF (3.71 ACRES)

40'  
20'  
35' (2 STORIES MAX.)

(1) 8 CY DUMPSTER PROVIDED  
NOT REQUIRED

Design Resource Group

2230 West Morehead Street, Suite 214  
Charlotte, NC 28208  
704.343.0608 fax 704.358.3093  
www.drgp.com

• Landscape Architecture

• Urban Design

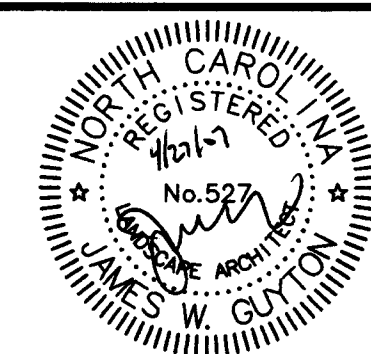
• Civil Engineering

• Land Planning

DRG

COVER  
SHEET

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Scale: NOT TO SCALE

Date: 24 OCT 2006

Project No.: 004-026

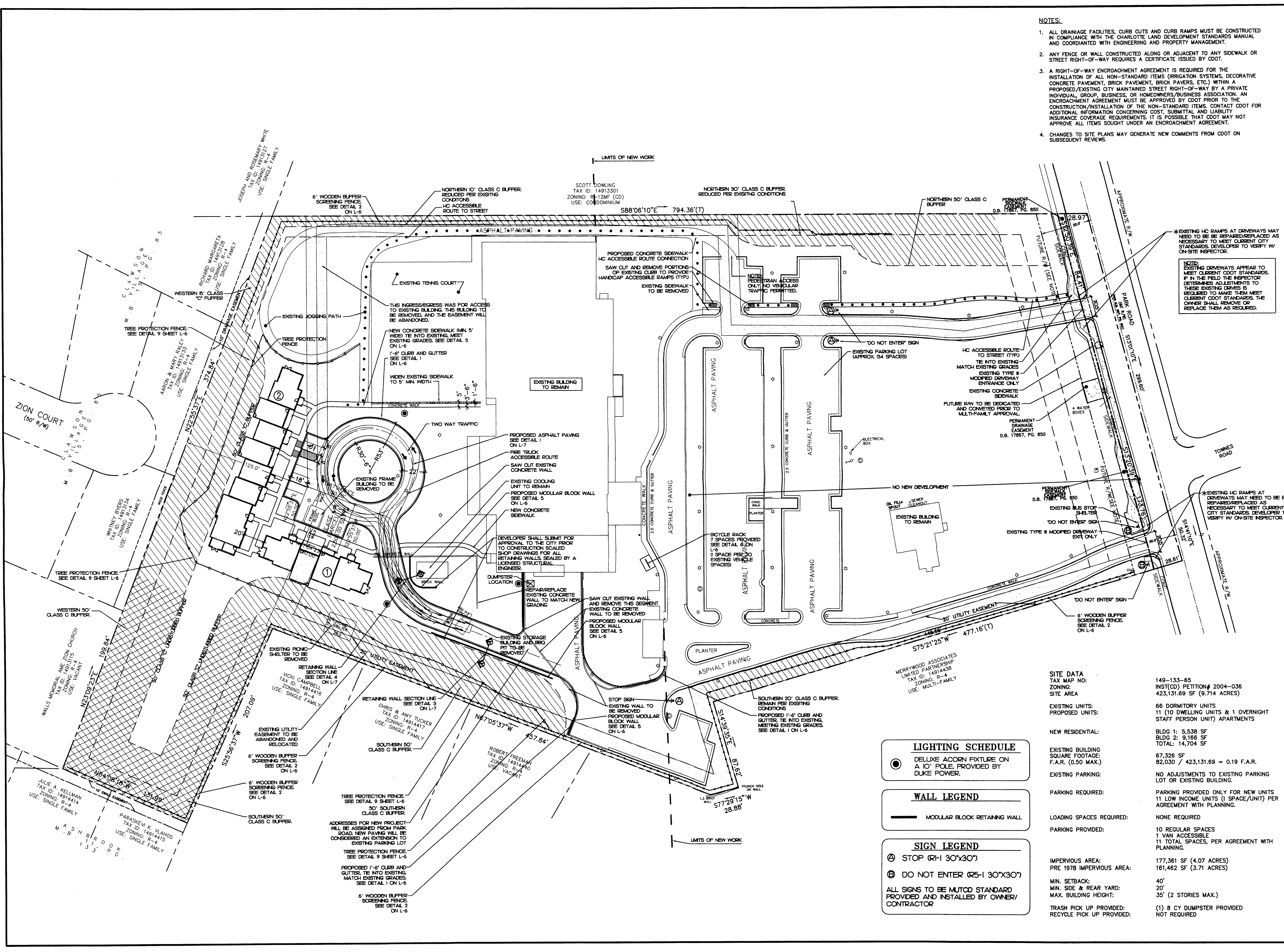
Revisions:

1. 14 FEB 07 PER CITY REVIEW

2. 27 APR 07 PER CITY REVIEW

Sheet L-1





- NOTES:
1. ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
  2. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
  3. A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. IT IS POSSIBLE THAT CDOT MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENCROACHMENT AGREEMENT.
  4. CHANGES TO SITE PLANS MAY GENERATE NEW COMMENTS FROM CDOT ON SUBSEQUENT REVIEWS.

NOTE:  
EXISTING DRIVEWAYS APPEAR TO MEET CURRENT CDOT STANDARDS. IF IN THE FIELD THE INSPECTOR DETERMINES ADJUSTMENTS TO THESE EXISTING DRIVEWAYS ARE REQUIRED TO MAKE THEM MEET CURRENT CDOT STANDARDS, THE OWNER SHALL REMOVE OR REPLACE THEM AS REQUIRED.

SITE DATA	
TAX MAP NO:	149-133-65
ZONING:	INST(CD) PETITION# 2004-036
SITE AREA:	423,131.69 SF (9.714 ACRES)
EXISTING UNITS:	66 DORMITORY UNITS
PROPOSED UNITS:	11 (10 DWELLING UNITS & 1 OVERNIGHT STAFF PERSON UNIT) APARTMENTS
NEW RESIDENTIAL:	BLDG 1: 5,538 SF
	BLDG 2: 9,166 SF
	TOTAL: 14,704 SF
EXISTING BUILDING SQUARE FOOTAGE:	67,326 SF
F.A.R. (0.50 MAX.):	82,030 / 423,131.69 = 0.19 F.A.R.
EXISTING PARKING:	NO ADJUSTMENTS TO EXISTING PARKING LOT OR EXISTING BUILDING.
PARKING REQUIRED:	PARKING PROVIDED ONLY FOR NEW UNITS
LOADING SPACES REQUIRED:	11 LOW INCOME UNITS (1 SPACE/UNIT) PER AGREEMENT WITH PLANNING.
PARKING PROVIDED:	NONE REQUIRED
IMPERVIOUS AREA:	10 REGULAR SPACES
PRE 1978 IMPERVIOUS AREA:	11 VEH. ACCESSIBLE SPACES, PER AGREEMENT WITH PLANNING.
MIN. SETBACK:	177,361 SF (4.07 ACRES)
MIN. SIDE & REAR YARD:	161,462 SF (3.71 ACRES)
MAX. BUILDING HEIGHT:	40'
	20'
	35' (2 STORIES MAX.)
TRASH PICK UP PROVIDED:	(1) 8 CY DUMPSTER PROVIDED
RECYCLE PICK UP PROVIDED:	NOT REQUIRED

**LIGHTING SCHEDULE**

DELUXE ACORN FIXTURE ON A 10' POLE, PROVIDED BY DUKE POWER.

**WALL LEGEND**

MODULAR BLOCK RETAINING WALL

**SIGN LEGEND**

Ⓐ STOP (R-1 30"x30")

Ⓑ DO NOT ENTER (R-5 30"x30")

ALL SIGNS TO BE MUTCO STANDARD PROVIDED AND INSTALLED BY OWNER/CONTRACTOR

**YWCA FAMILIES TOGETHER**

3420 PARK ROAD  
CHARLOTTE, NC 28209

**BOULEVARD CENTRO**

500 EAST BOULEVARD  
CHARLOTTE, NC 28203

**Design Resource Group**

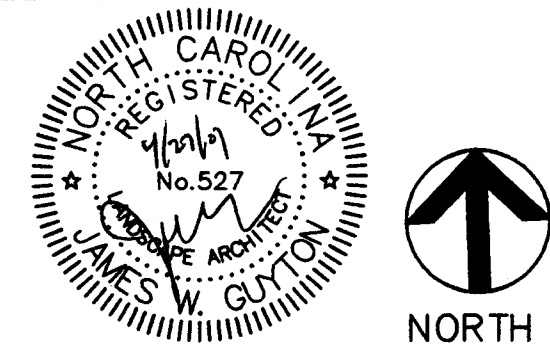
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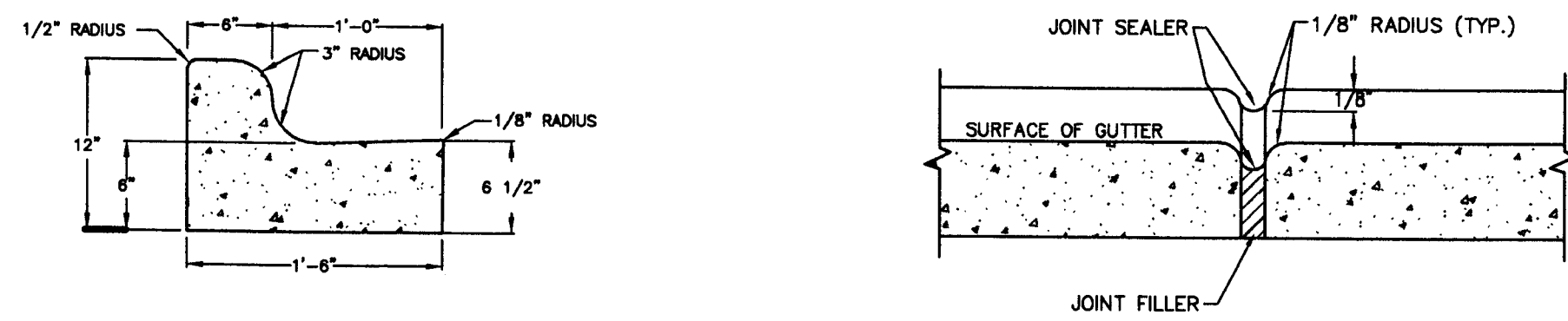
**SITE PLAN**

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Scale:	1"=40'
Date:	24 OCT 2006
Project No.:	004-026
Revisions:	
1.	14 FEB 07 PER CITY REVIEW
2.	27 APR 07 PER CITY REVIEW
Sheet	L-3





1'-6" STANDARD CURB AND GUTTER

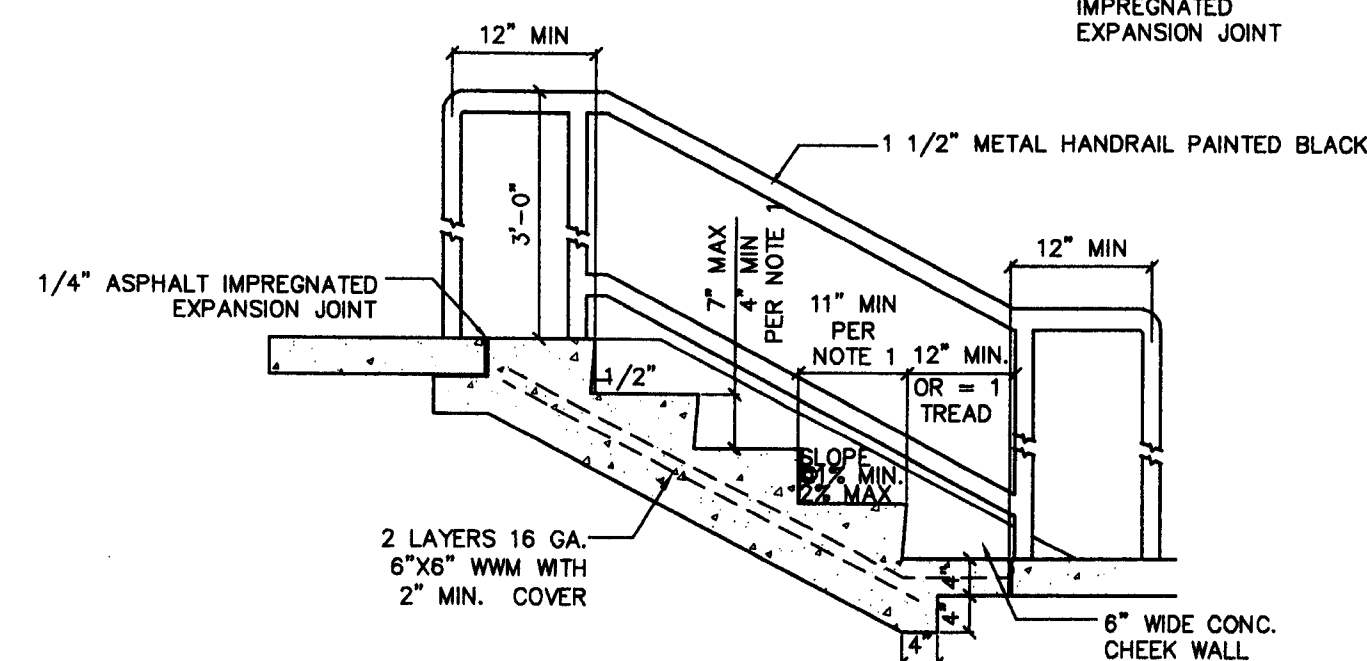
NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. FOR VALLEY GUTTER, A 10-FOOT SPACING MAY BE USED WHEN A MACHINE IS USED. JOINT SPACING MAY BE ALTERED BY THE CITY ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
- ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 P.S.I. IN 28 DAYS.
- CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
- TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

TRANSVERSE EXPANSION JOINT

NOT TO SCALE

- NOTES:
- 2 RISERS + 1 TREAD MUST = 24"-25"
  - ALL STEPS WITH 2 OR MORE RISERS REQUIRE HANDRAIL ON BOTH SIDES.
  - ALL STEPS WIDER THAN 60" REQUIRE INTERMEDIATE RAIL.
  - ALL LANDINGS TO BE AS LONG AS STAIRS ARE WIDE MINIMUM. 2% MAX. SLOPES ON LANDINGS. LANDINGS TO BE PROVIDED @ TOP AND BOTTOM OF ALL STAIRS.
  - ALL STAIRS AND HANDRAILS TO COMPLY WITH SEC. 1009 OF THE MOST CURRENT INTERNATIONAL BUILDING CODE.

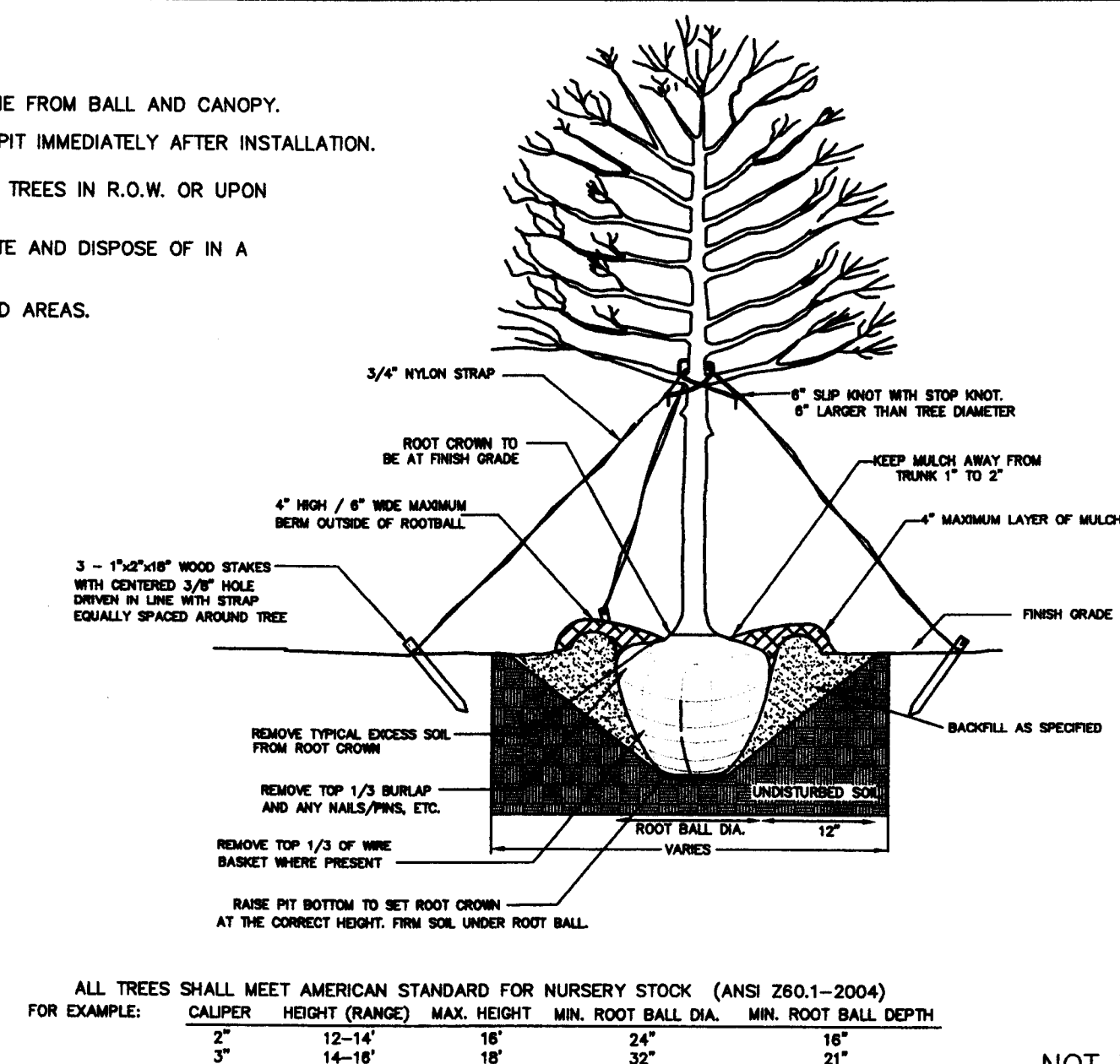


CONCRETE STAIRS

NOT TO SCALE

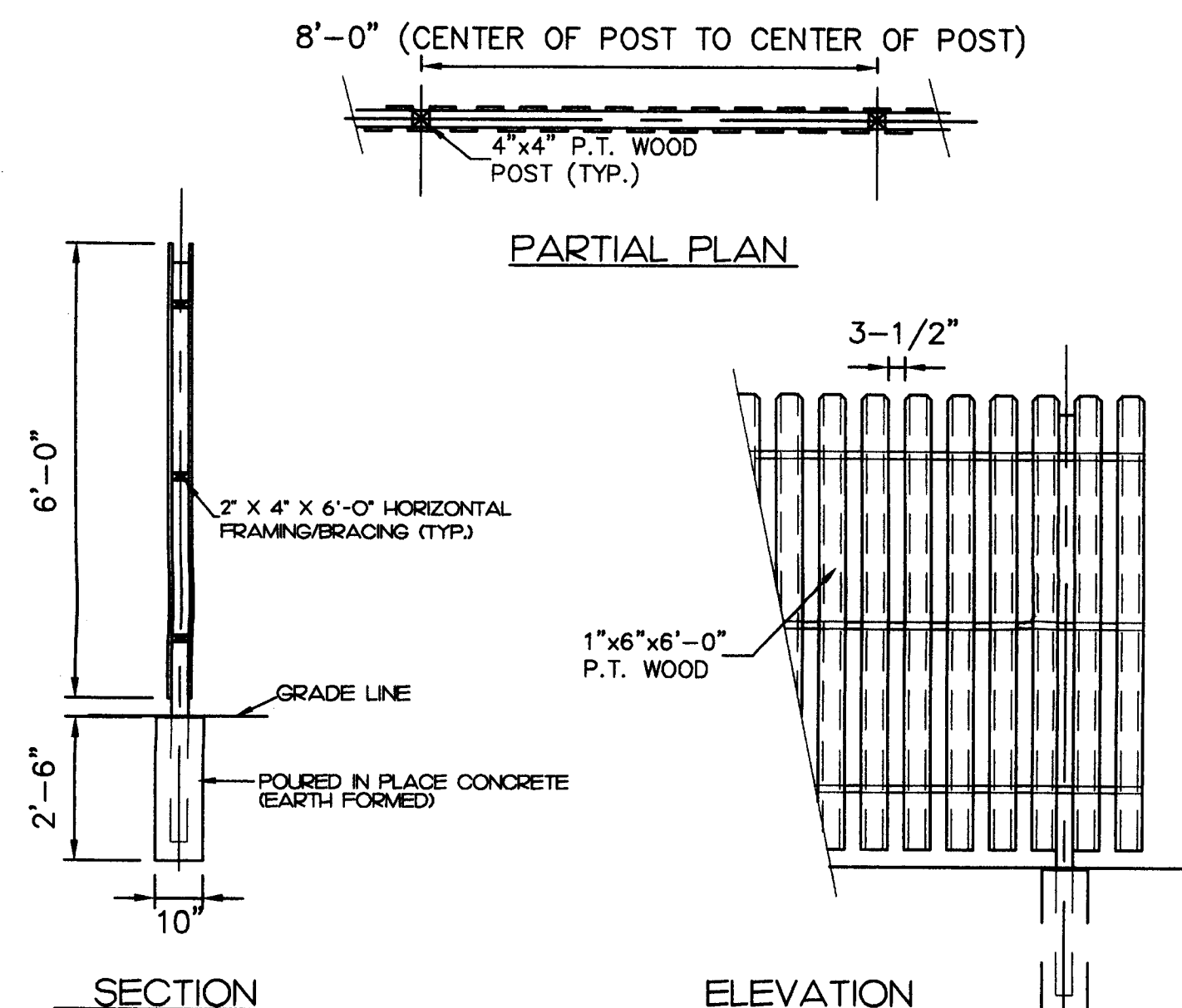
NOTES:

- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
- STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
- RESEED UNMULCHED, DISTURBED AREAS.

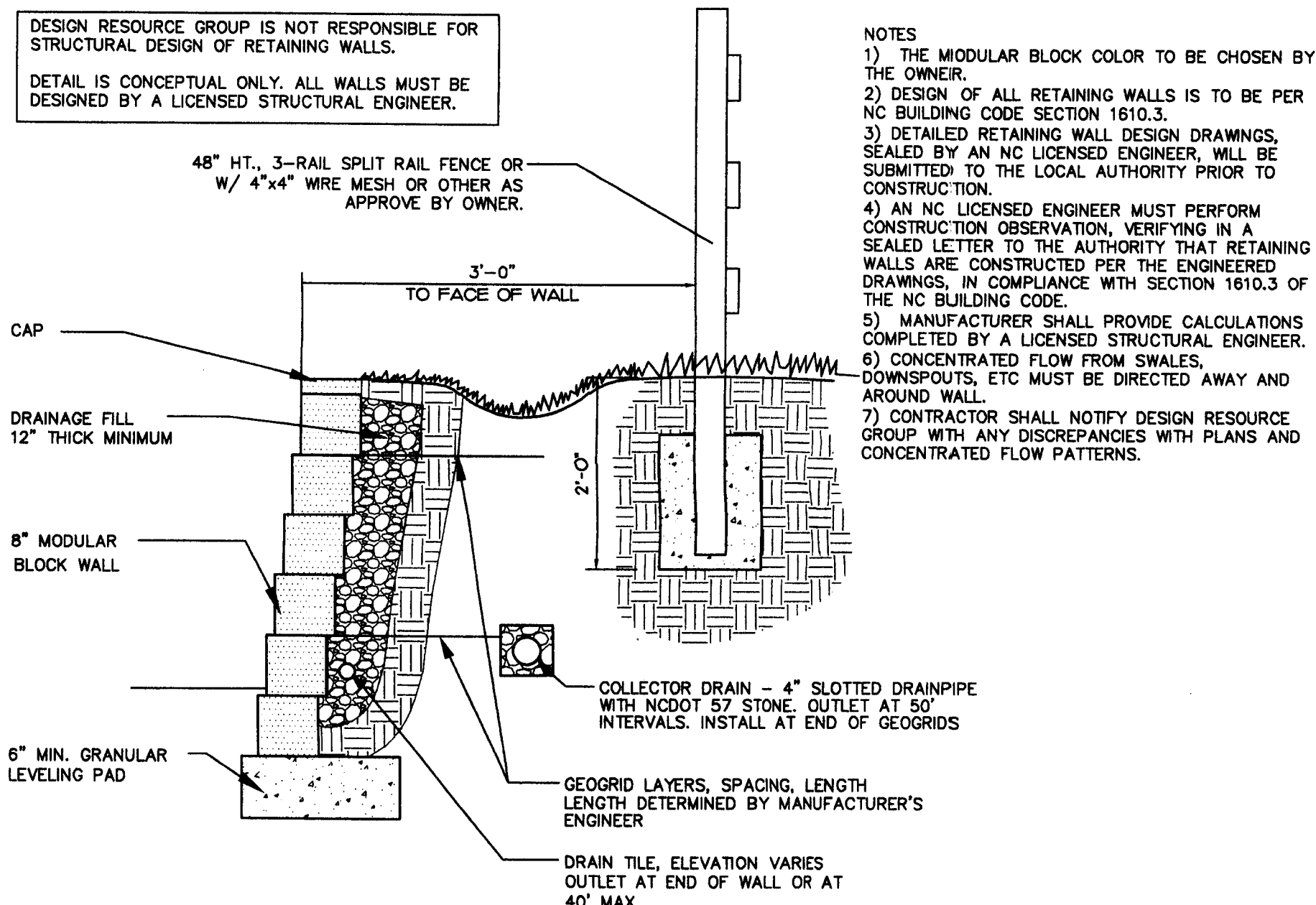


TREE PLANTING  
(FOR SINGLE AND MULTI-STEM TREES)

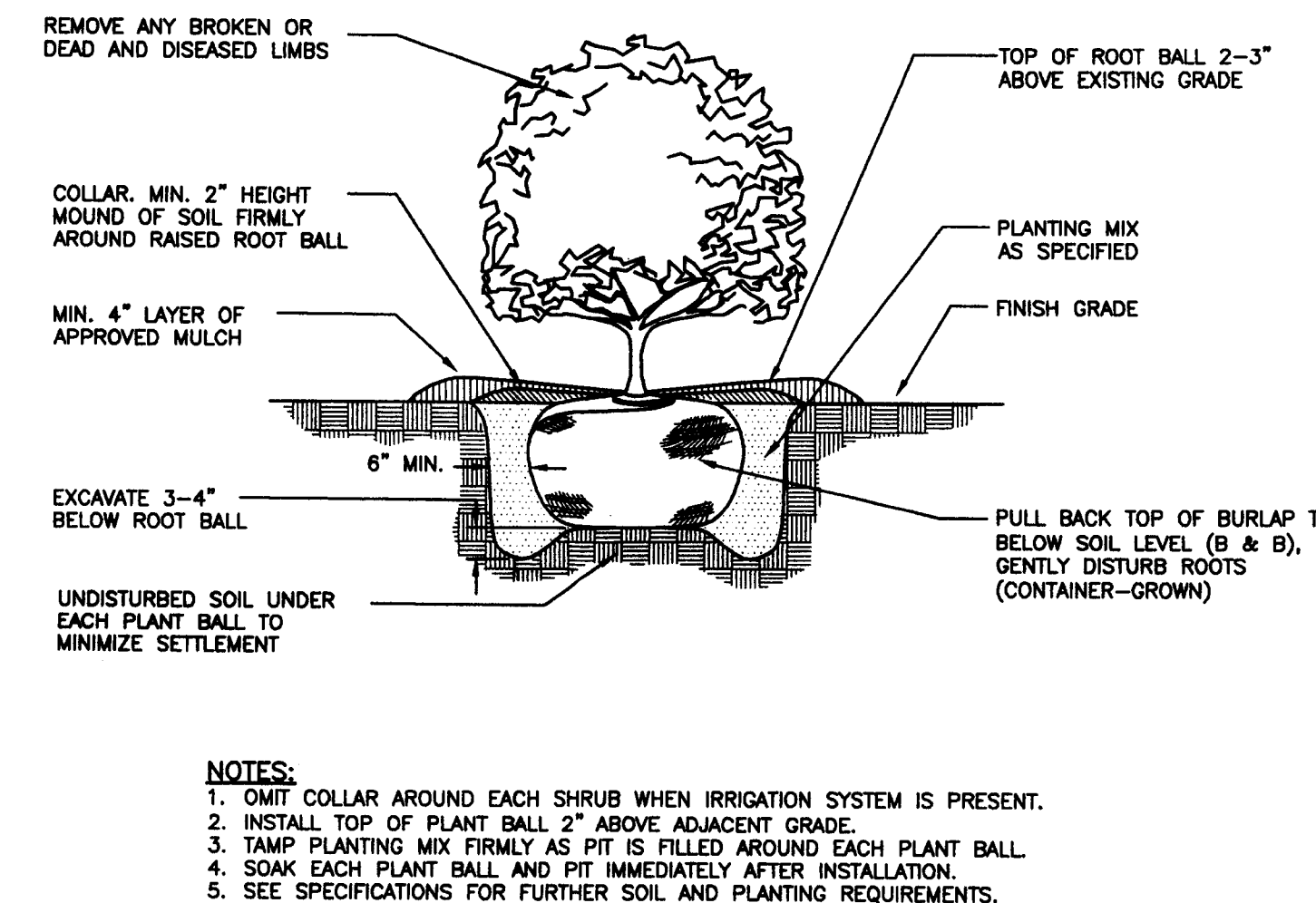
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6' WOODEN BUFFER SCREENING FENCE

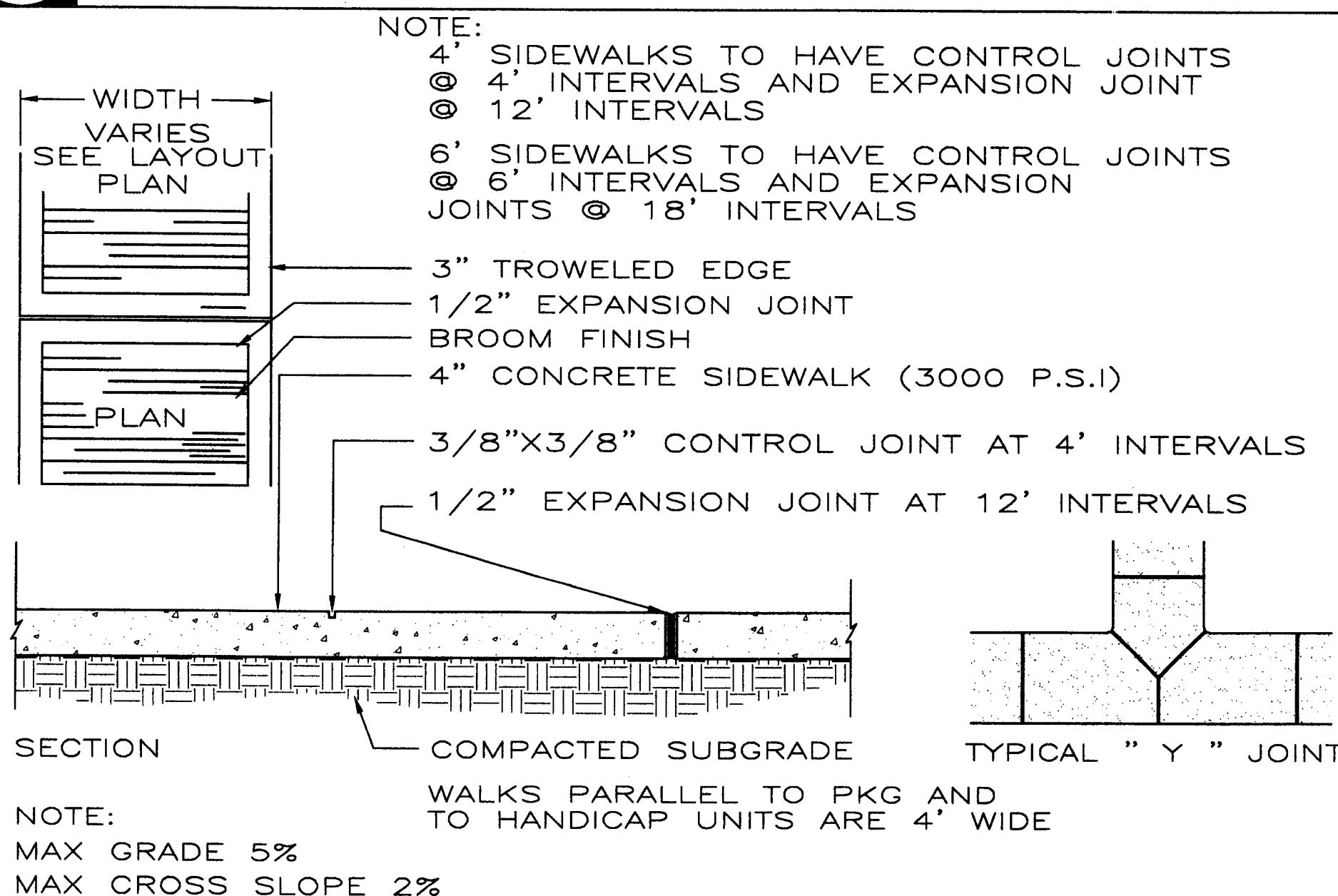


MODULAR BLOCK RETAINING WALL

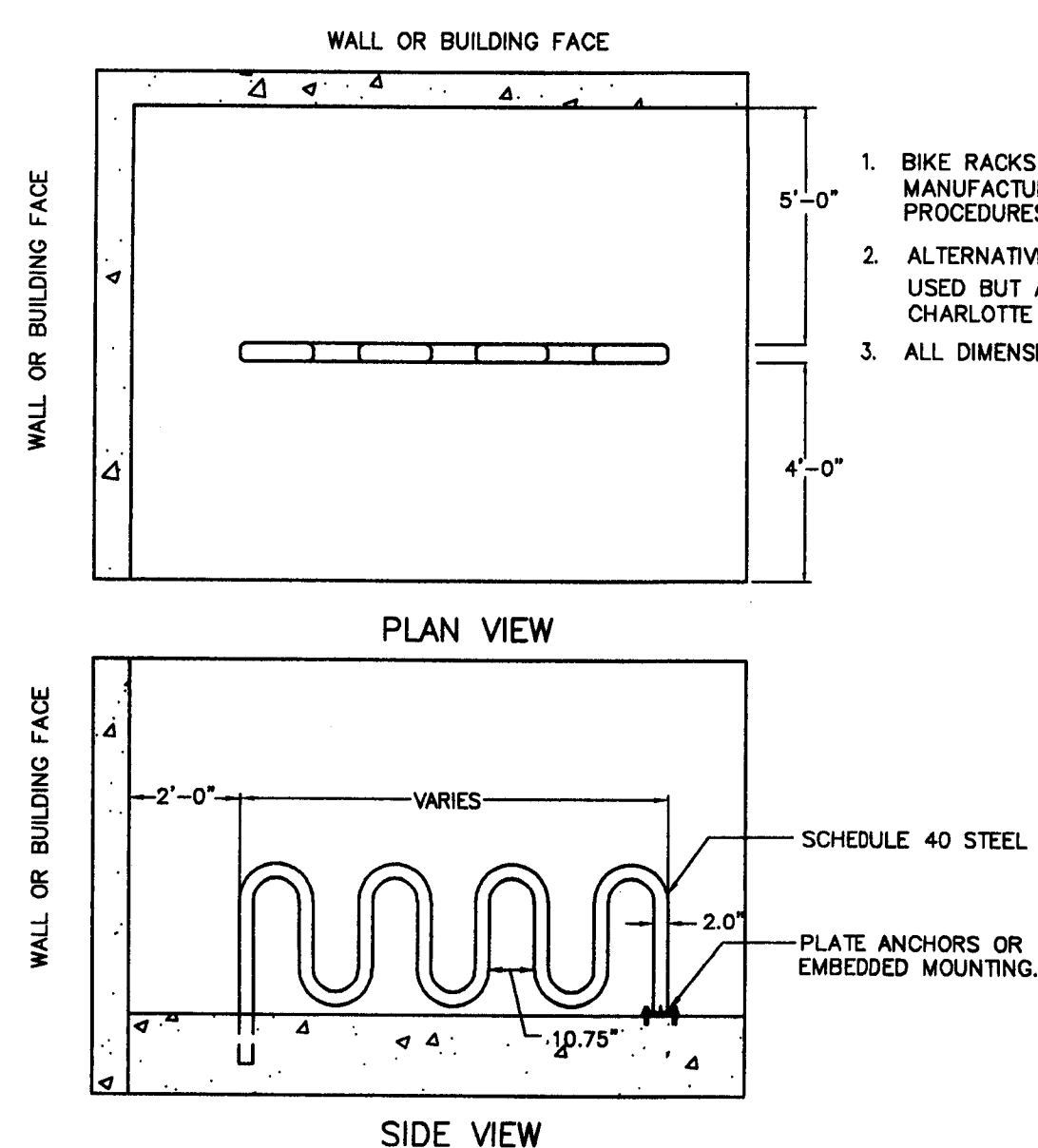


SHRUB PLANTING DETAIL

40.05A

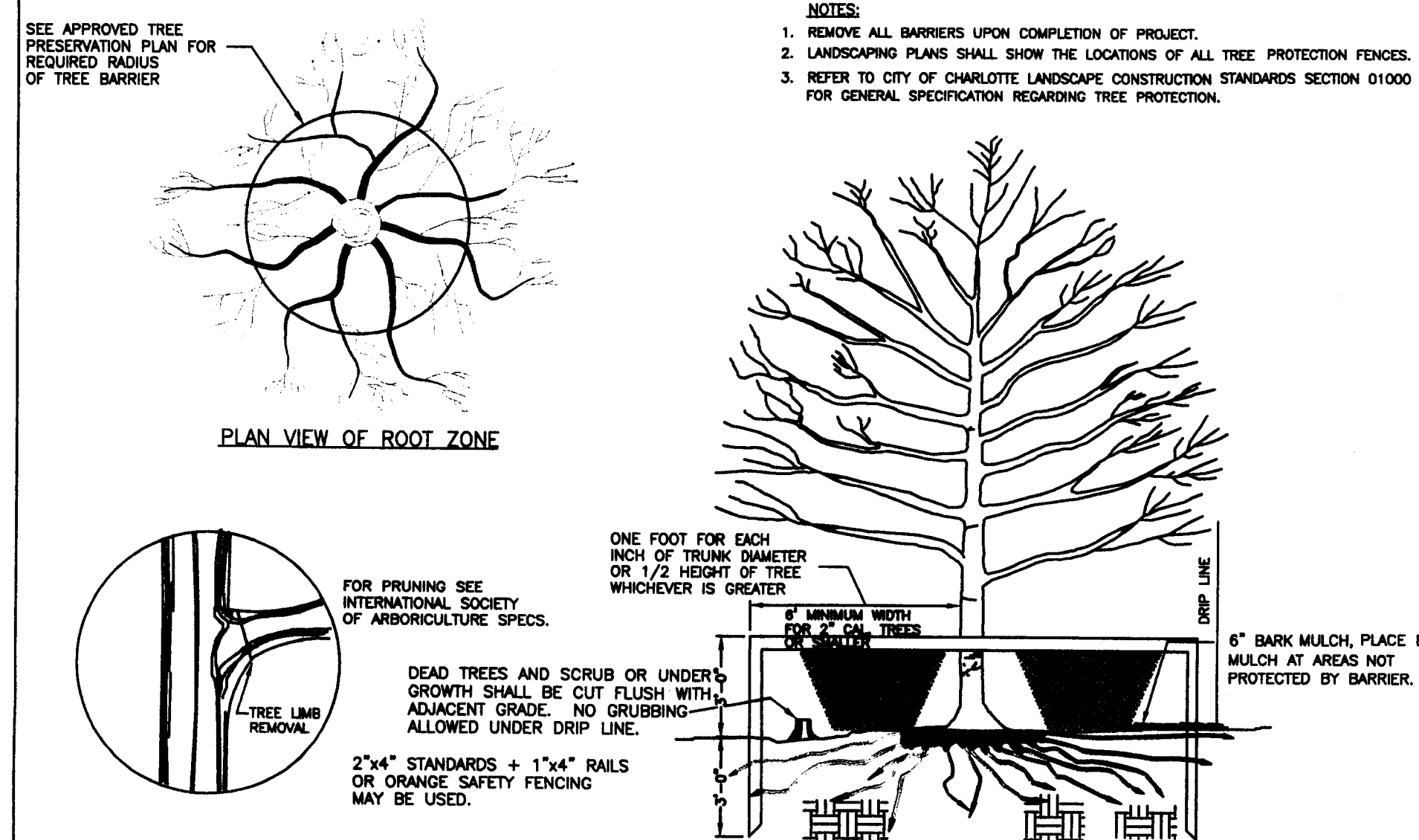


CONCRETE SIDEWALK



WAVE RACK FOR  
BICYCLE PARKING

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TREE PROTECTION DETAIL

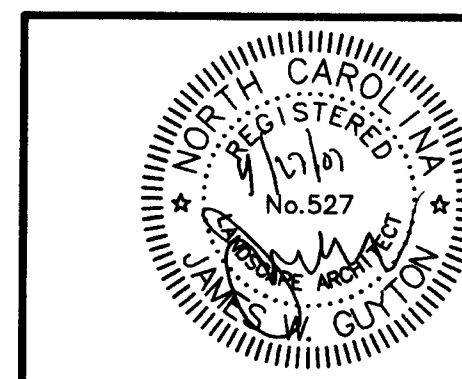
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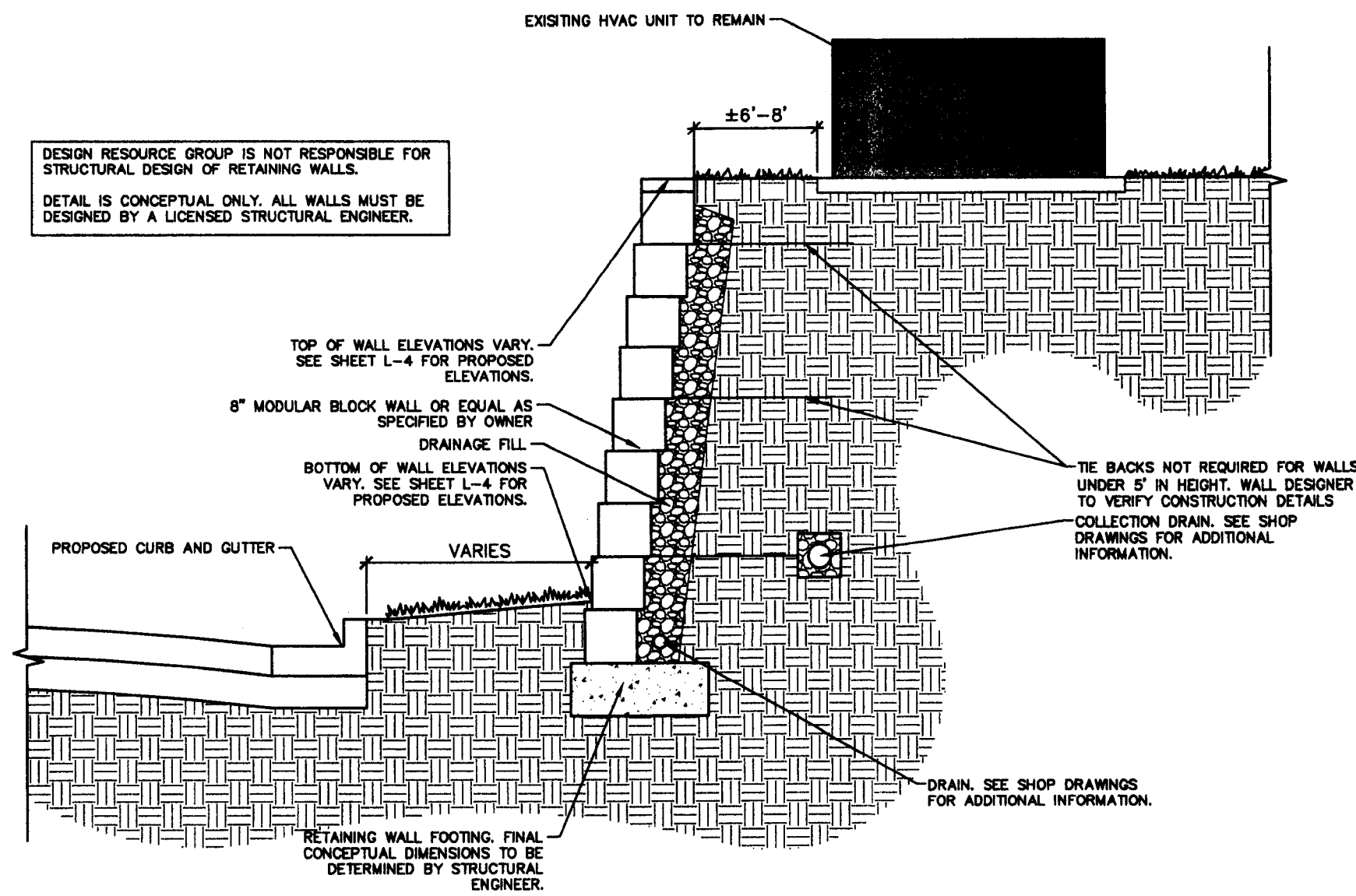
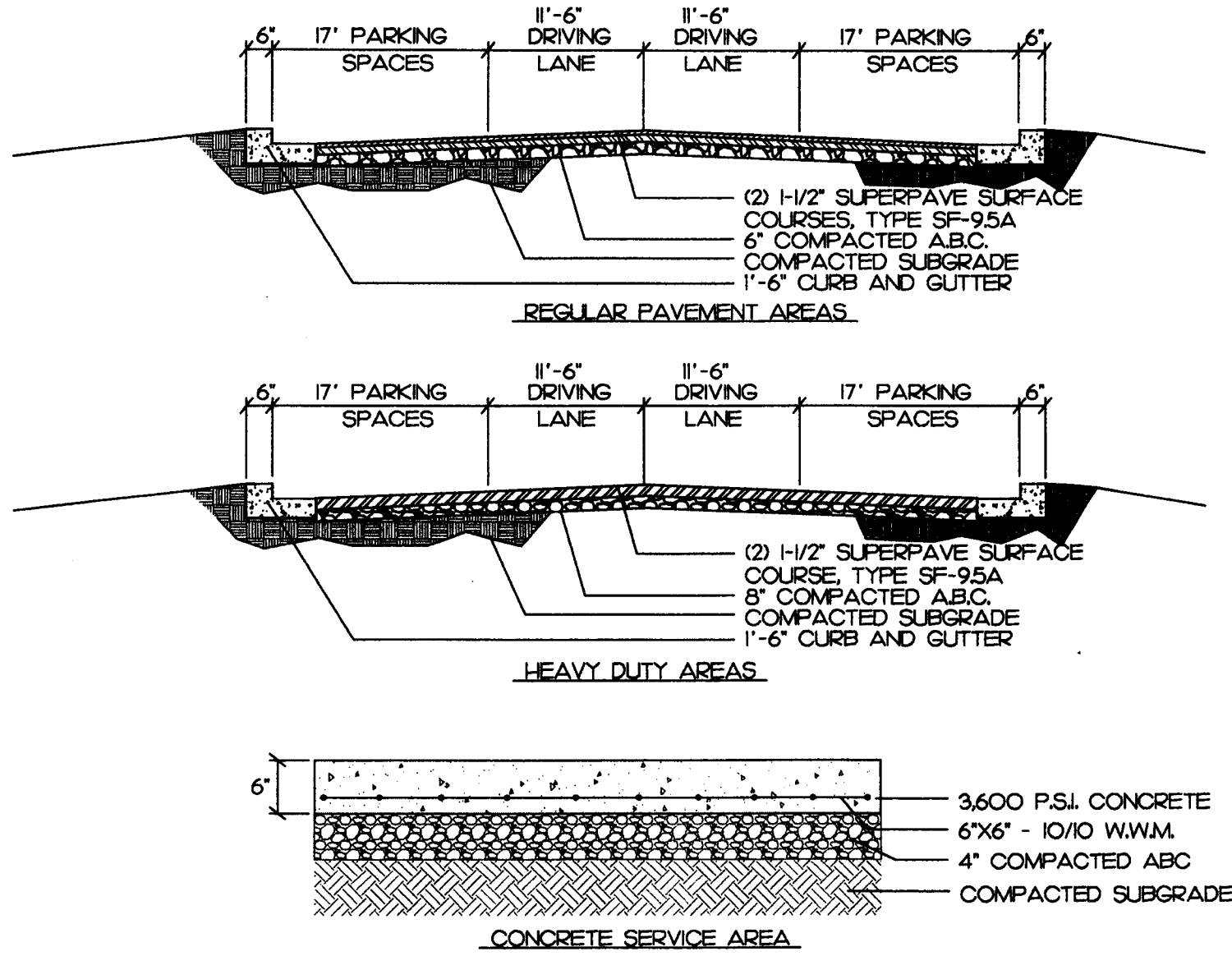
SITE  
DETAILS

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Date: 24 OCT. 2006  
Project No.: 004-026  
Revisions:

Sheet L-6



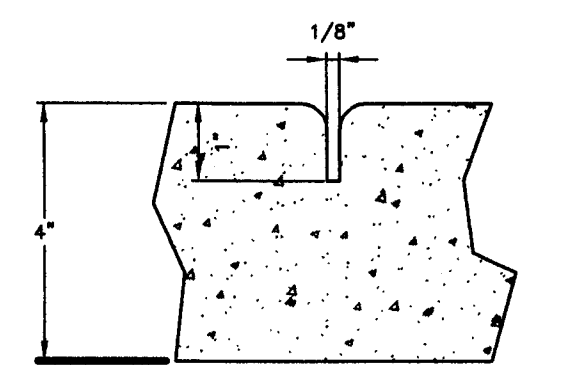
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L-7

ASPHALT PAVEMENT

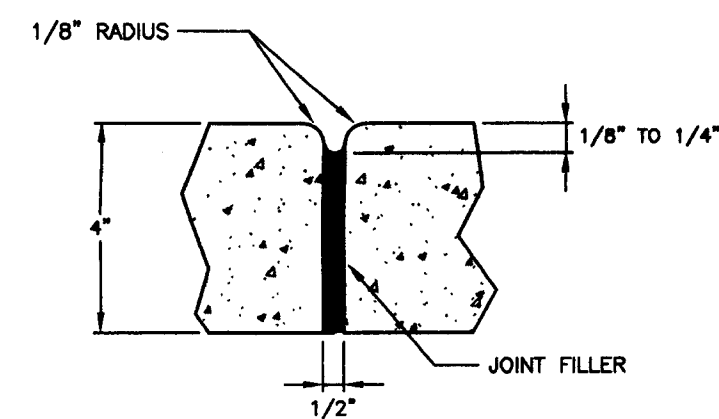
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TYPICAL RETAINING WALL SECTION B

7  
L-7



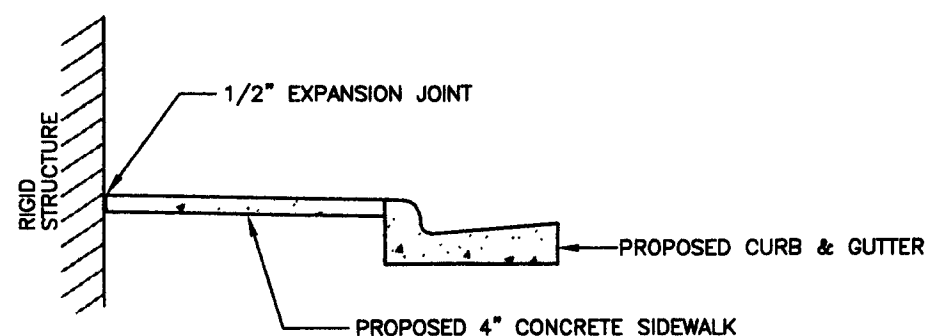
GROOVE JOINT IN SIDEWALK



TRANSVERSE EXPANSION JOINT IN SIDEWALK

**GENERAL NOTES:**

1. A GROOVE JOINT, 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 4'.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
7. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.



DETAILS SHOWING EXPANSION JOINTS IN CONCRETE SIDEWALK

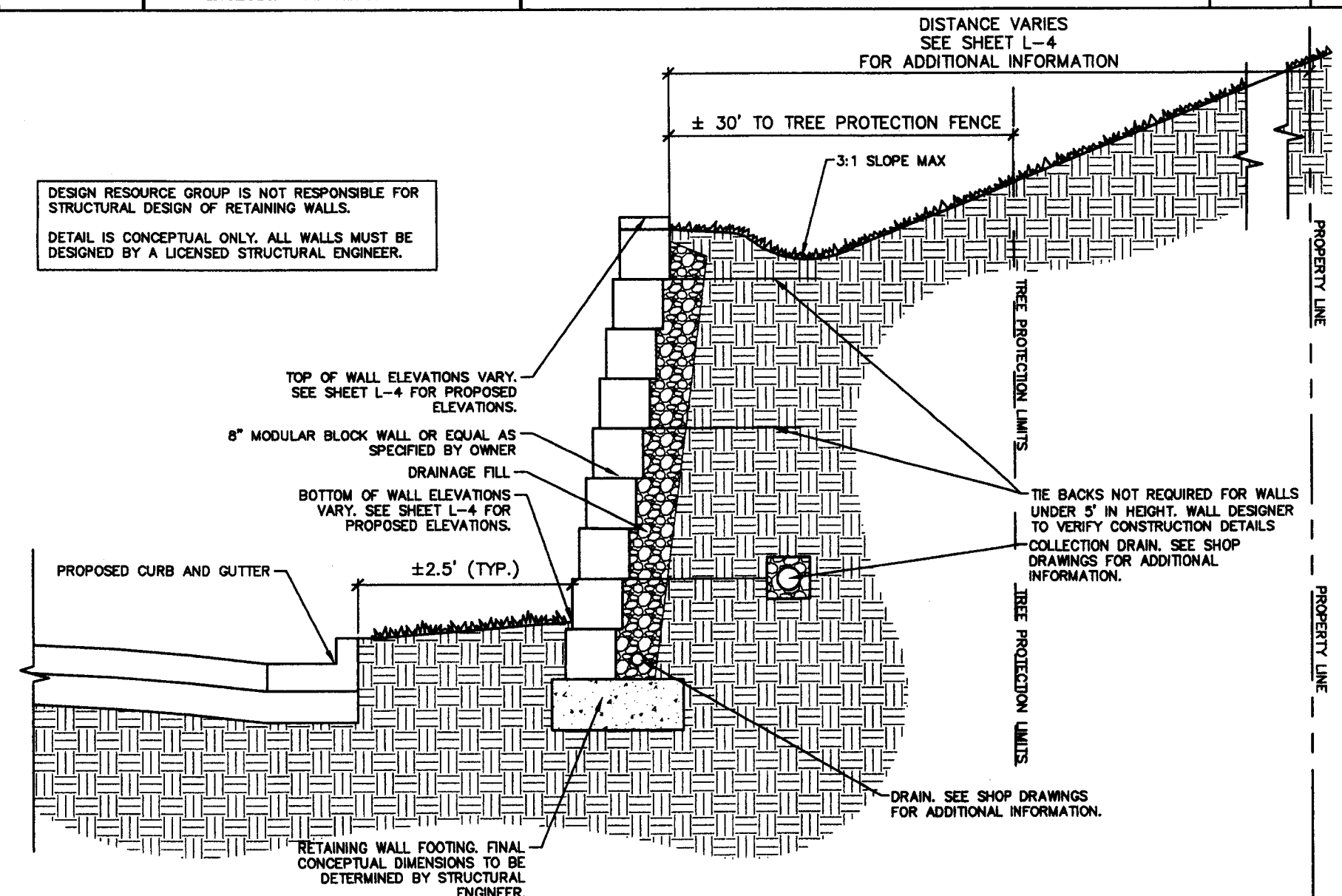
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2  
L-7

**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

CONCRETE SIDEWALKS

5  
L-7



3  
L-7

TYPICAL RETAINING WALL SECTION A

6  
L-7

9  
L-7

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**SITE DETAILS**

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Date: 24 OCT. 2006  
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Revisions:  
1. 27 APR 07 PER CITY REVIEW

Sheet **L-7**