

SITE DATA

EXISTING ZONING: R-3
MAX. NO. OF LOTS ALLOWED: 3 x 316 = 948 LOTS
TOTAL NO. OF PROPOSED LOTS: 676 LOTS

ACREAGE IN LOTS (INCL. 4.5 AC. AMENITY AREA): 140.44 AC.
ACREAGE IN R/W: 39.65 AC.
ACREAGE IN OPEN SPACE: 135.98 ACRES
LINEAR FEET OF STREETS: 32,625 LF ±

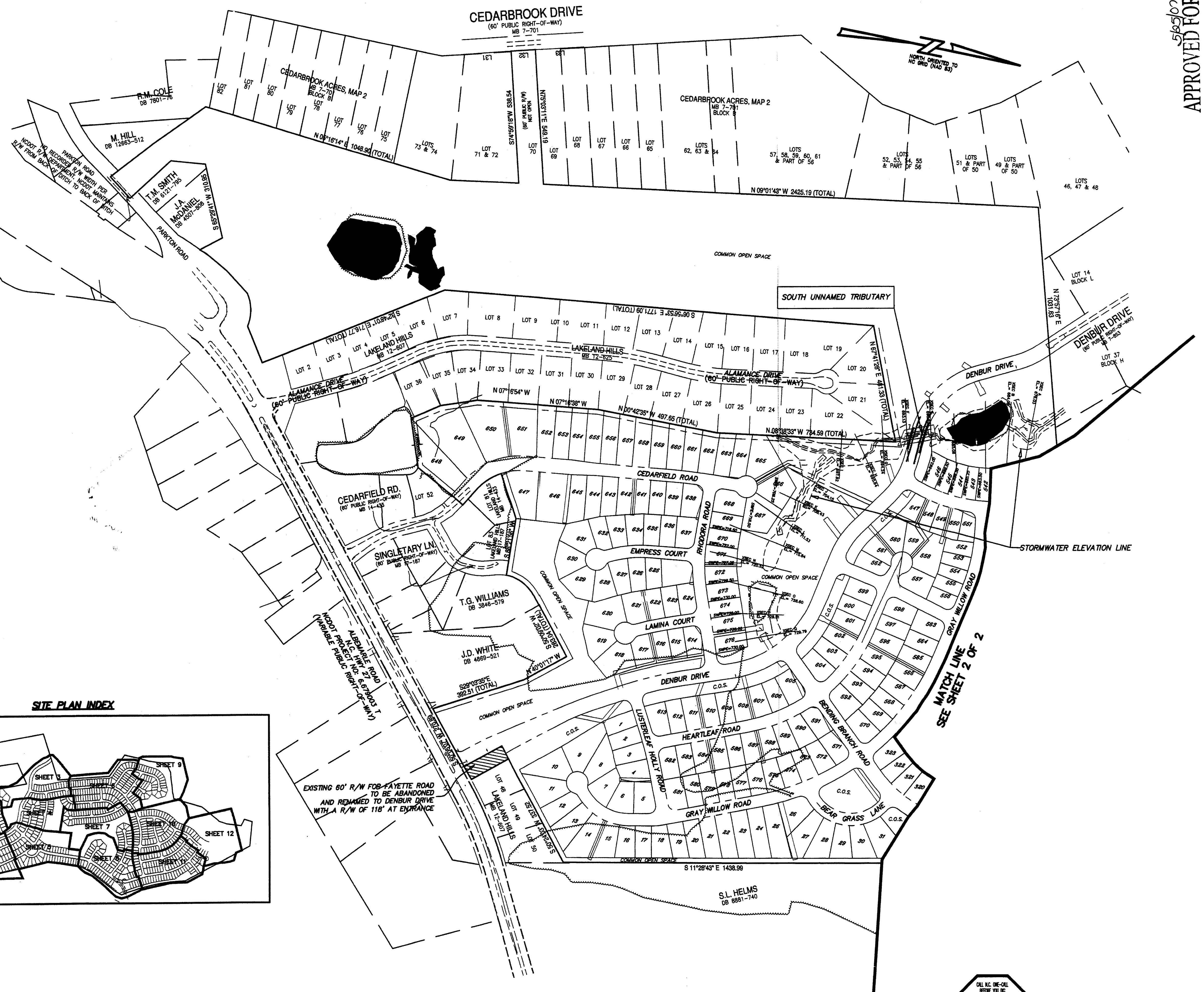
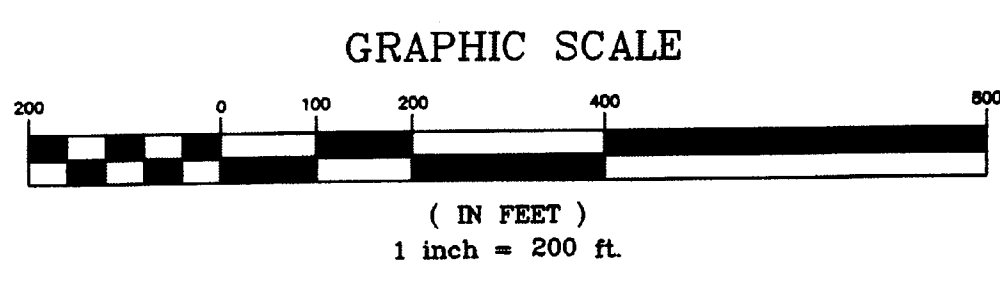
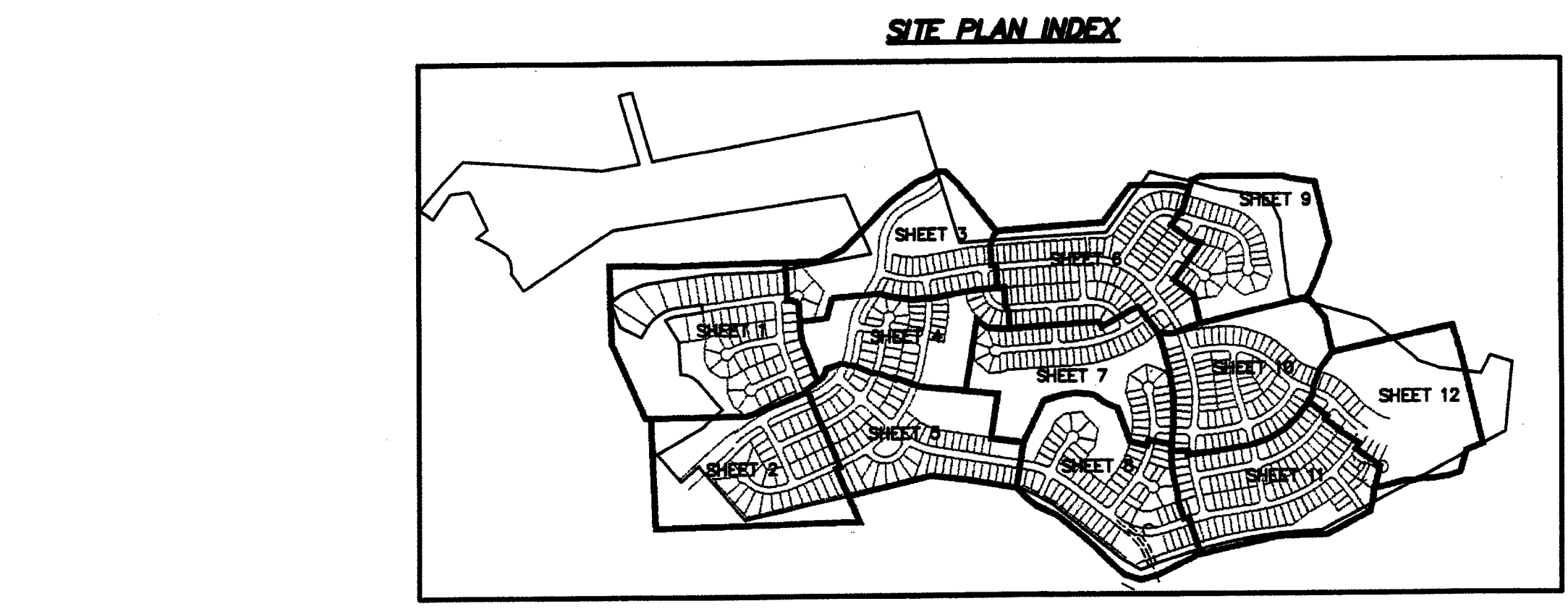
SETBACKS

MIN. FRONT: 20'
MIN. SIDE: 5'
MIN. REAR: 30'
SIDE AT CORNER: 10'
MIN. LOT AREA: 6,000 S.F.
MIN. LOT WIDTH: 50'

LEGEND

EXISTING WETLANDS: [Solid black area]

EXISTING TREE LINE: [Wavy line]



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**CENTEX HOMES,
A NEVADA GENERAL PARTNERSHIP**
4235 SOUTHSTREAM ROAD
SUITE 400
CHARLOTTE, NC 28217
(704) 523-8111

**OVERALL SITE PLAN
SHEET 1 of 2**

WOODBURY SUBDIVISION

CITY OF CHARLOTTE, E.T.J.

MECKLENBURG CO., NC

STOP
CALL NC ONE-CALL
BEFORE YOU DIG
800-632-4949
NO DUTY DANCE

NO.	DATE	REVISION	BY
1	4/28/06	REVISED PER CLIENT & CITY COMMENTS	FAC
2	6/23/06	REVISED PER CLIENT & CITY COMMENTS	CSM
3	2/17/08	REVISED PER CLIENT & CITY COMMENTS	CSM
4			OK

PROJECT NO. SK03.400
SCALE: 1"=200'
DRAWN BY: JCH
CHECKED BY: [Signature]
SHEET NO. 4

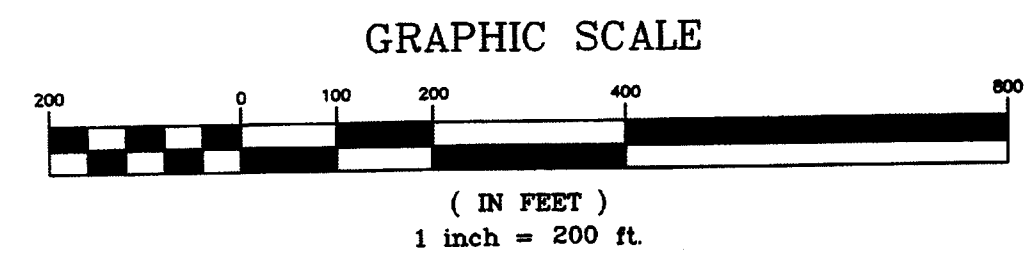
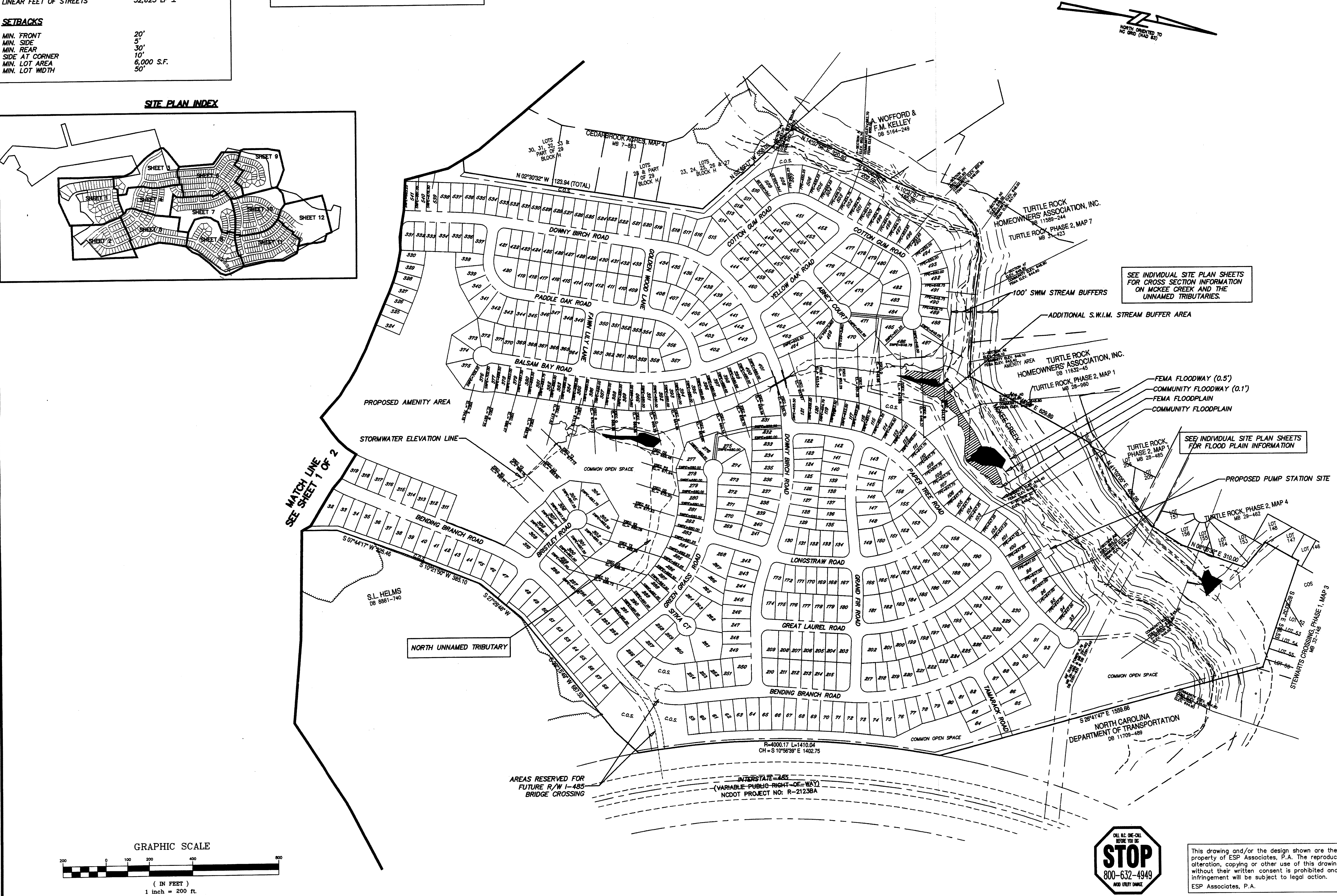
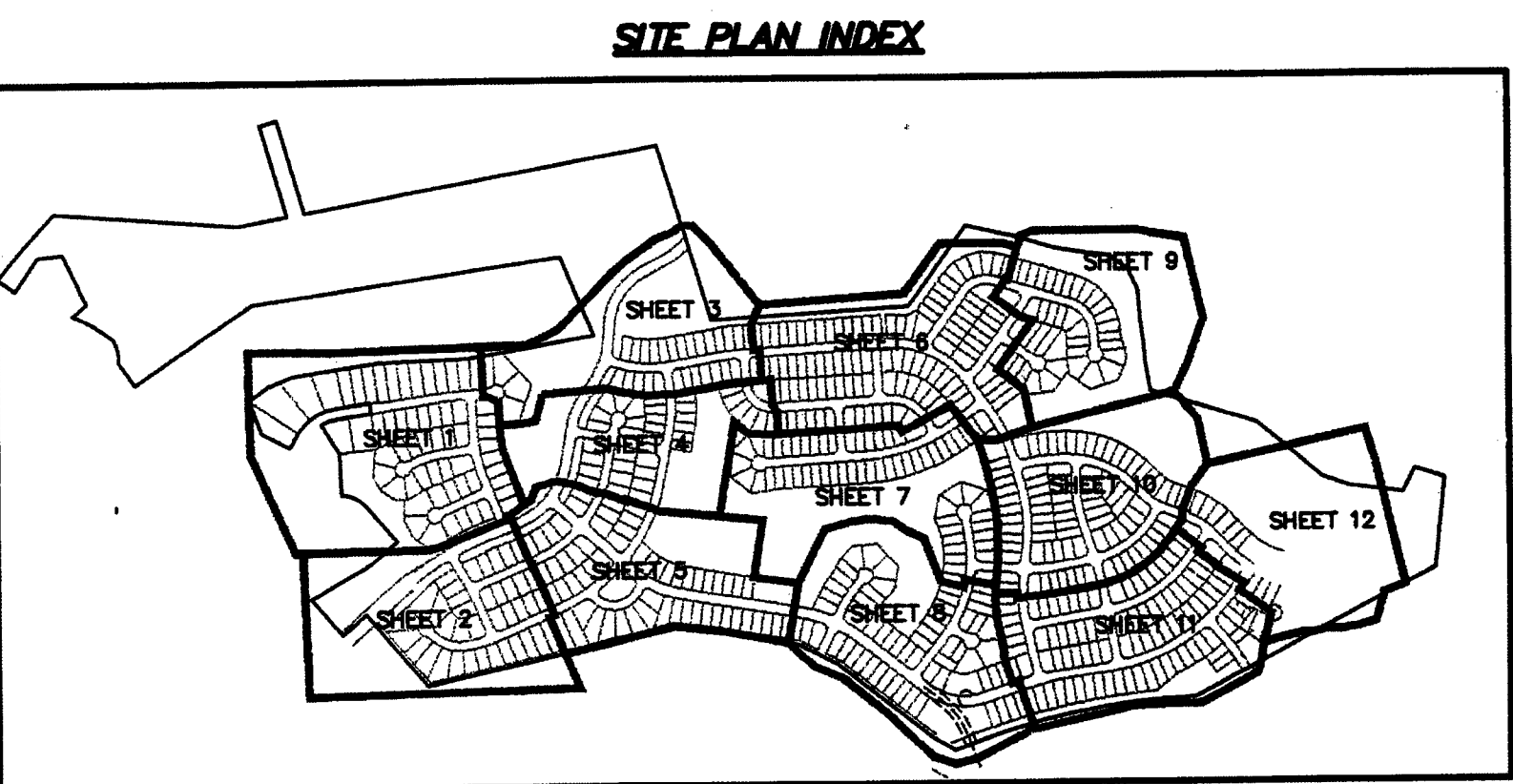
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(INCL. 4.5 AC. AMENITY AREA)
ACREAGE IN R/W 39.65 AC.
ACREAGE IN OPEN SPACE 135.98 ACRES
LINEAR FEET OF STREETS 32,825 LF ±

SETBACKS
MIN. FRONT 20'
MIN. SIDE 5'
MIN. REAR 30'
SIDE AT CORNER 10'
MIN. LOT AREA 6,000 S.F.
MIN. LOT WIDTH 50'

LEGEND

EXISTING WETLANDS 

EXISTING TREE LINE 



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**OVERALL SITE PLAN
SHEET 2 of 2**

WOODBURY SUBDIVISION

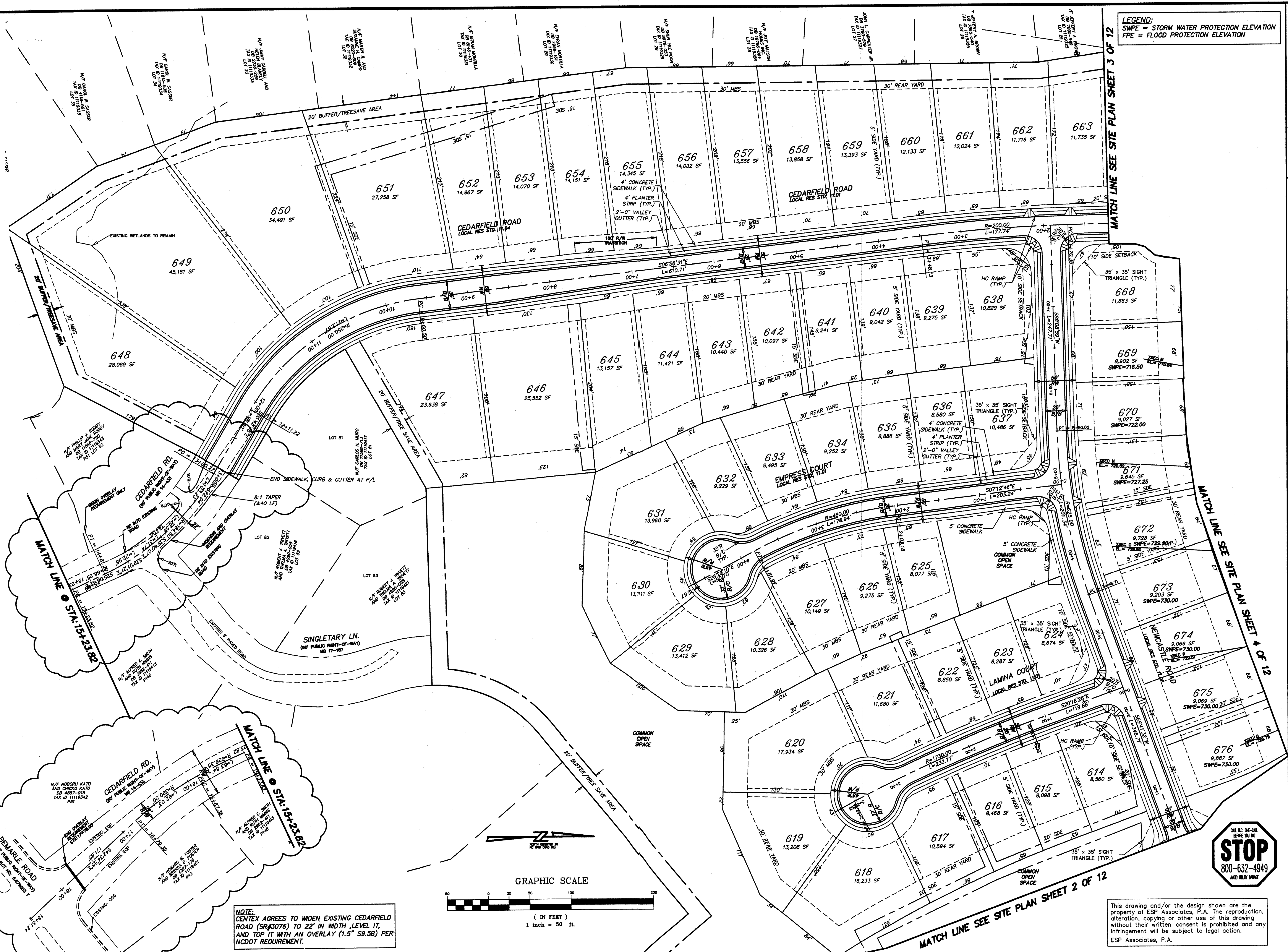
CITY OF CHARLOTTE, N.C.
MECKLENBURG CO., N.C.

REVISION

NO.	DATE	REVISION	BY
1	4/28/06	REVISED PER CLIENT & CITY COMMENTS	FAC
2	6/23/06	REVISED PER CLIENT & CITY COMMENTS	CSM

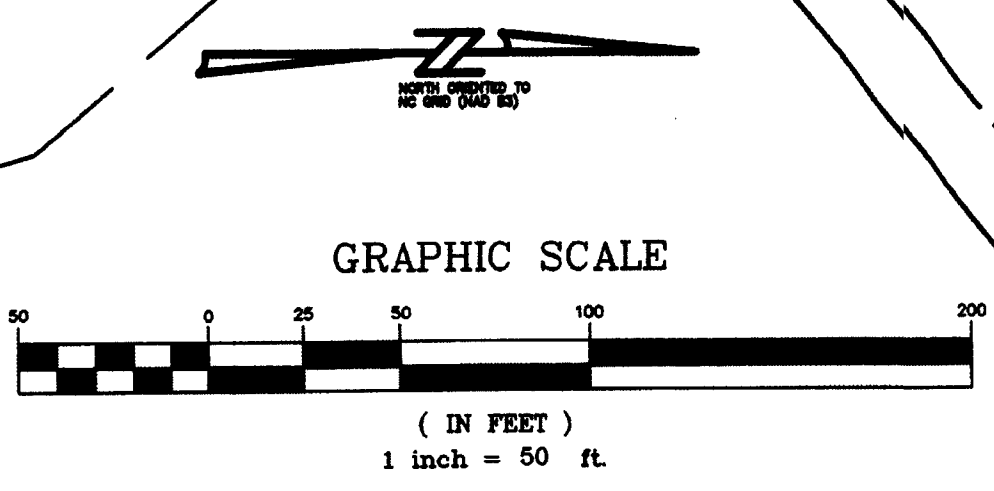
DATE
2/17/06
DRAWN BY
JSH
CHECKED BY
OK

SHEET NO.
5



LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION

NOTE:
CENTEX AGREES TO WIDEN EXISTING CEDARFIELD ROAD (SR#3076) TO 22' IN WIDTH, LEVEL IT, AND TOP IT WITH AN OVERLAY (1.5" S9.58) PER NCDOT REQUIREMENT.



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803.902.2440 (SC)
www.espassoc.com

CENTEX HOMES
A NEVADA GENERAL PARTNERSHIP
4235 SOUTHSTREAM BOULEVARD
SUITE 400
CHARLOTTE, NC 28217
(704) 523-8111

PROJECT
WOODBURY SUBDIVISION
CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY, NC

SHEET TITLE
SITE PLAN
SHEET 1 OF 12

DATE
1/28/06

REVISION
REVISED PER CLIENT & CITY COMMENTS

DATE
6/23/06

REVISION
REVISED PER CLIENT & CITY COMMENTS

DATE
2/17/06

REVISION
REVISED PER CLIENT & CITY COMMENTS

DATE
03/07/07

REVISION
REVISED PER CLIENT & CITY COMMENTS

NO.
1

DATE
1/28/06

BY
FAC

NO.
2

DATE
6/23/06

BY
ZEH

NO.
3

DATE
2/17/06

BY
GSM

NO.
4

DATE
03/07/07

BY
DWM

NO.
5

DATE
03/07/07

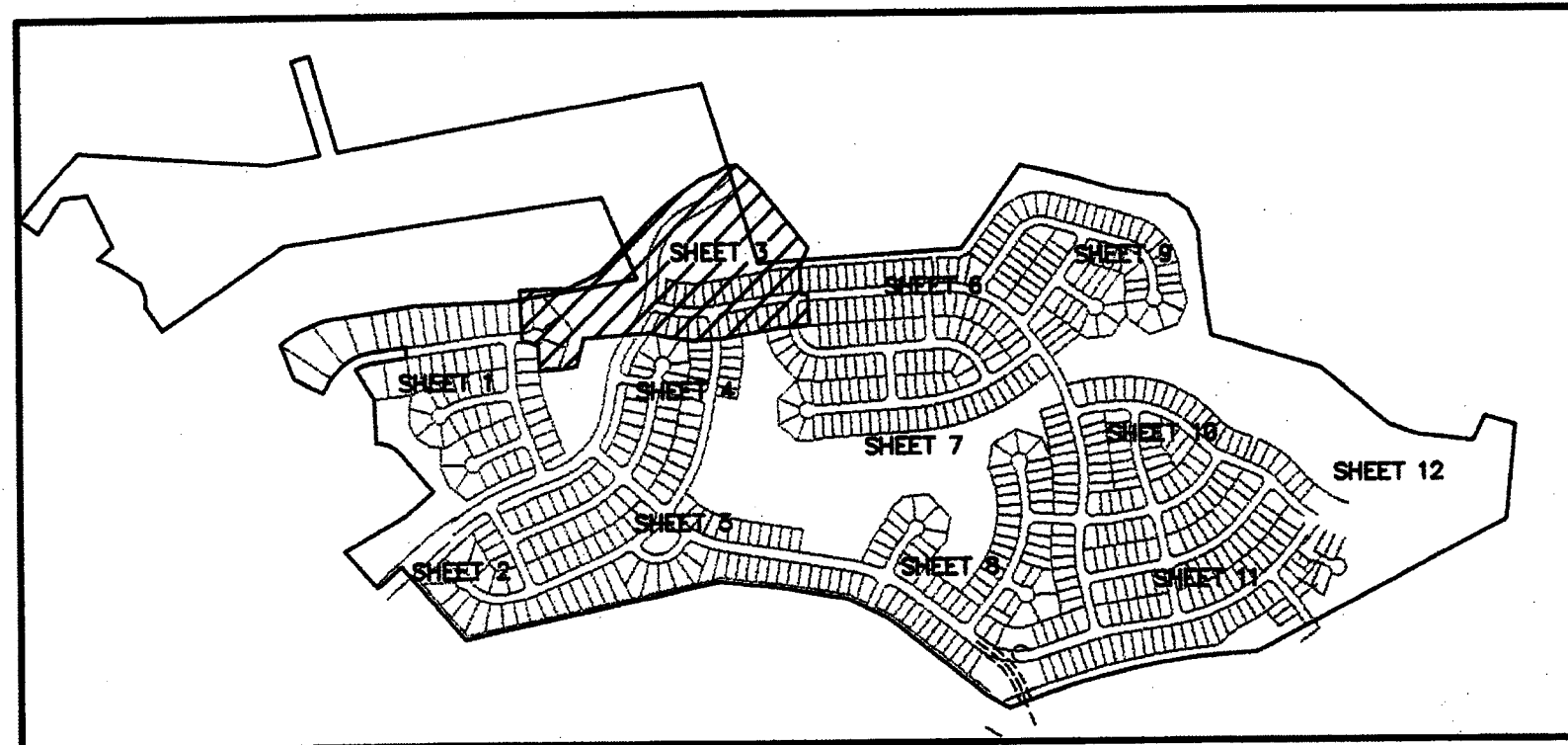
BY
DWM

NO.
6

DATE
03/07/07

BY
DWM

SITE PLAN INDEX



PAVEMENT MARKING SCHEDULE (NCDOT STANDARD SECTIONS 9812)

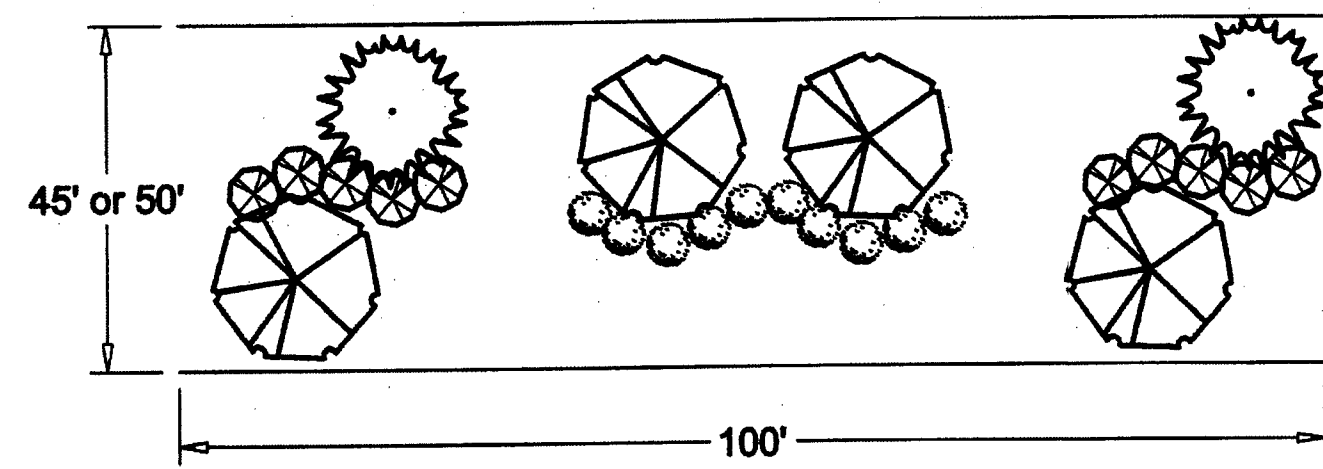
- (A) 4" WHITE EDGE LINE
NCDOT STD DETAIL 920.01
- (B) 4" DOUBLE YELLOW CENTERLINE
NCDOT STD DETAIL 920.01
- (D) 4" WHITE LANE LINE
NCDOT STD DETAIL 920.01
- (E) ARROW SYMBOLS
NCDOT STD DETAIL 1205.08
- (F) 8" YELLOW DIAGONAL LINES
NCDOT STD DETAIL 1205.09
- (G) 2' MIN-SKIP LINES
NCDOT STD DETAIL 1205.01
(10' GAP PER CDOT)
- (H) 10' SKIP LINES
NCDOT STD DETAIL 1205.01

CONTRACTOR TO INSTALL MARKINGS PER NCDOT AND CDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.

NOTE:
CENTEX AGREES TO MAINTAIN THE PORTION OF DENBUR DRIVE FROM THE INTERSECTION OF DOWNY BIRCH ROAD AND DENBUR DRIVE TO THE NORTHERN PROPERTY LINE INCLUDING CENTEX'S REPAIR AND REPLACEMENT OBLIGATIONS WITH RESPECT TO THE BOTTOMLESS CULVERT UNTIL SUCH TIME AS THE ROAD IS ACCEPTED FOR MAINTENANCE BY THE CITY OF CHARLOTTE.

CENTEX DOES NOT INTEND TO CONNECT THE PROPOSED DENBUR DRIVE TO THE EXISTING DENBUR DRIVE. GIVEN THIS, CENTEX UNDERSTANDS THAT PREVIOUSLY DISCUSSED OVERLAY ON THE EXISTING DENBUR DRIVE WILL NOT BE REQUIRED OF CENTEX. IF CENTEX IS MADE TO CONNECT THE PROPOSED DENBUR DRIVE TO THE EXISTING DENBUR DRIVE BY THE CITY OF CHARLOTTE, THEN CENTEX WILL PURSUE POSTING A BOND WITH NCDOT COVERING THE MAINTENANCE OF EXISTING DENBUR DRIVE UNTIL THE COMPLETION OF THE PROJECT.

Typical planting buffer for double frontage lots along Denbur Drive per Class C requirements



Minimum Planting Requirements
20 Shrubs and 6 trees (25% Evergreen) per 100 LF.
Acceptable varieties may be changed from approved list of plants.

LEGEND

- Spring Bouquet Viburnum
- Redoiser Dogwood
- Japanese Cryptomeria
- Red Maple

LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION

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www.espaceassociates.com



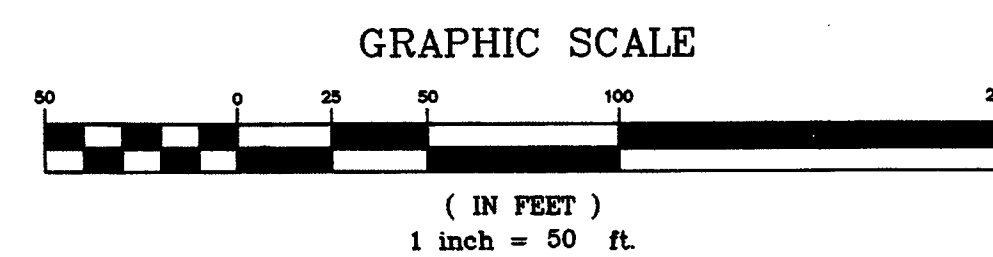
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4235 SOUTHSTREAM BOULEVARD
SUITE 400
CHARLOTTE, NC 28217
(704) 523-8111

WOODBURY SUBDIVISION
CITY OF CHARLOTTE, NC
NECKLEBURG COUNTY, NC



NO.	DATE	REVISION
1	4/29/06	REVISED PER CLIENT & CITY COMMENTS
2	6/23/06	REVISED PER CLIENT & CITY COMMENTS
3	11/17/06	REVISED PER NCDOT & CLIENT COMMENTS
4	03/07/07	REVISED PER NCDOT COMMENTS
5	04/30/07	NCDOT COMMENTS FOR APPROVAL

PROJECT NO. 000-100
SCALE 1"=50'
DATE 2/17/08
DRAWN BY JES
CHECKED BY DWM
8



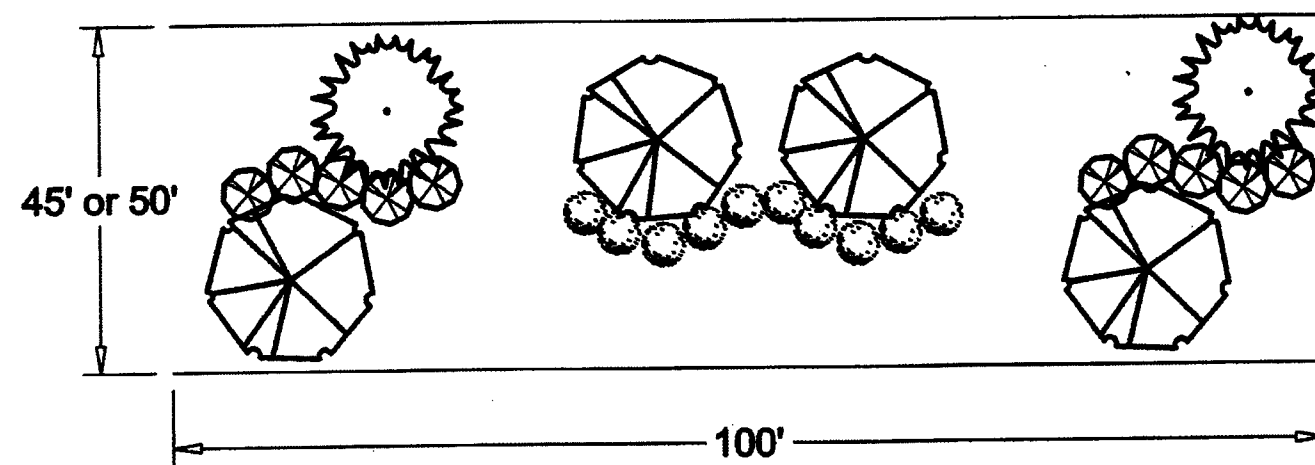
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MATCH LINE SEE SITE PLAN SHEET 1 OF 12

MATCH LINE SEE SITE PLAN SHEET 6 OF 12

MATCH LINE SEE SITE PLAN SHEET 4 OF 12

Typical planting buffer for double frontage lots along Denbur Drive per Class C requirements

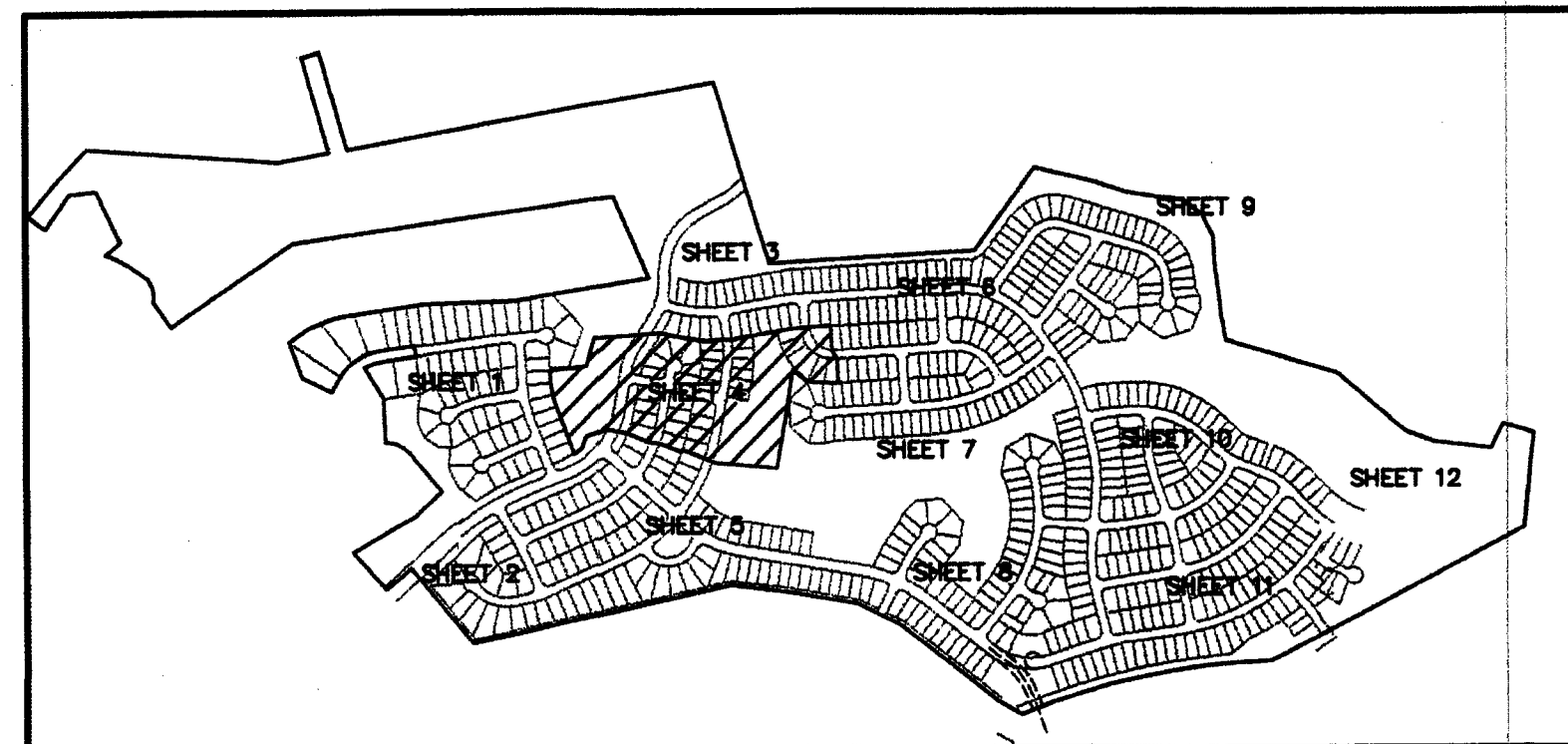


Minimum Planting Requirements
20 Shrubs and 6 trees (25% Evergreen) per 100 LF.
Acceptable varieties maybe changed from approved list of plants.

LEGEND

- Spring Bouquet Viburnum
- Redoliser Dogwood
- Japanese Cryptomeria
- Red Maple

SITE PLAN INDEX



PAVEMENT MARKING SCHEDULE (NCDOT STANDARD SECTIONS 9&12)

- A 4" WHITE EDGE LINE
NCDOT STD DETAIL 920.01
- B 4" DOUBLE YELLOW CENTERLINE
NCDOT STD DETAIL 920.01
- C 4" WHITE LANE LINE
NCDOT STD DETAIL 920.01
- D ARROW SYMBOLS
NCDOT STD DETAIL 1205.08
- E 8" YELLOW DIAGONAL LINES
NCDOT STD DETAIL 1205.09
- F 2" MINI-SKIP LINES
NCDOT STD DETAIL 1205.01
(10' GAP PER CDOT)
- G 10' SKIP LINES
NCDOT STD DETAIL 1205.01

CONTRACTOR TO INSTALL MARKINGS PER NCDOT AND CDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.

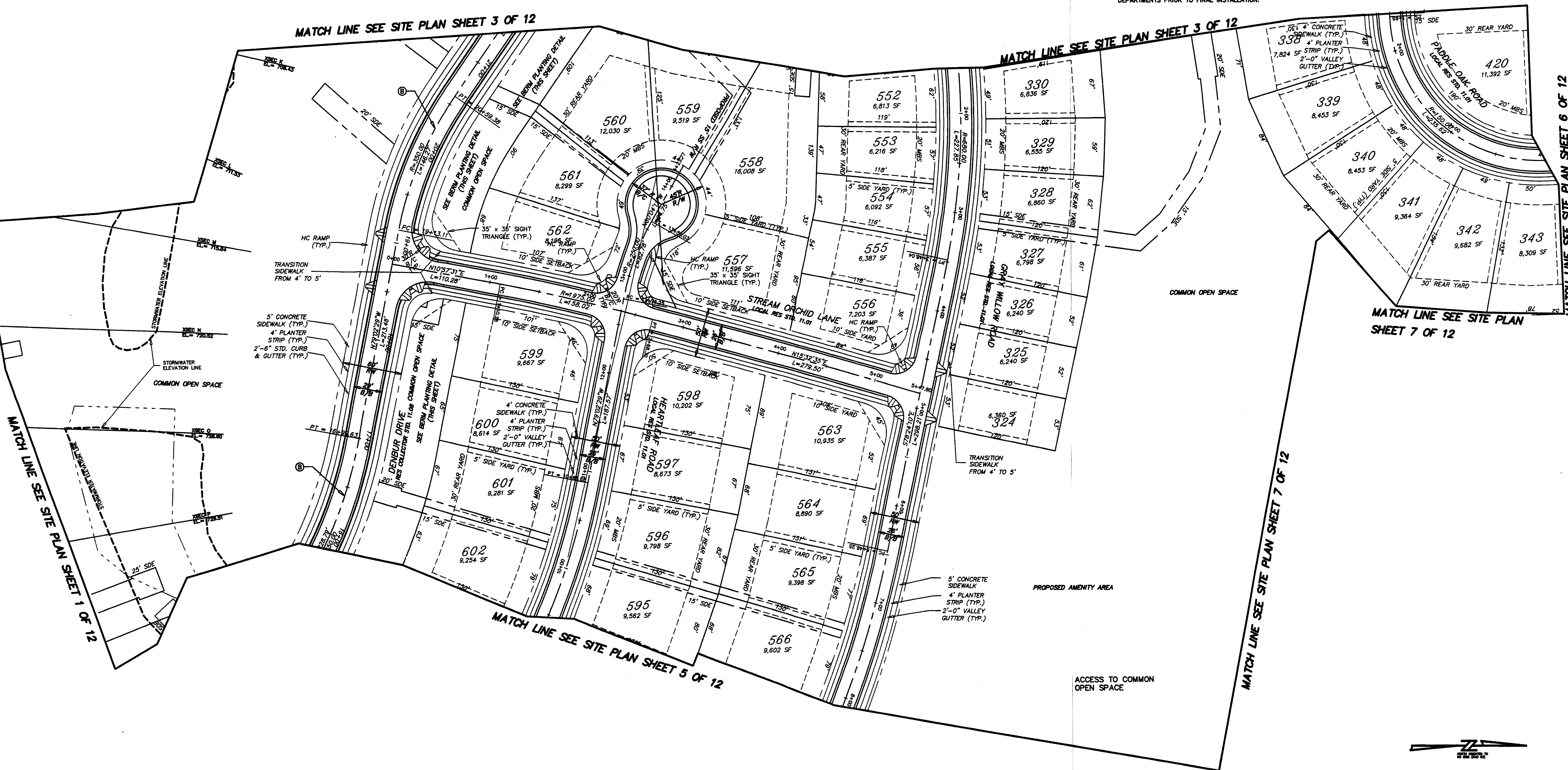
LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION

MATCH LINE SEE SITE PLAN SHEET 3 OF 12

MATCH LINE SEE SITE PLAN SHEET 3 OF 12

MATCH LINE SEE SITE PLAN SHEET 7 OF 12

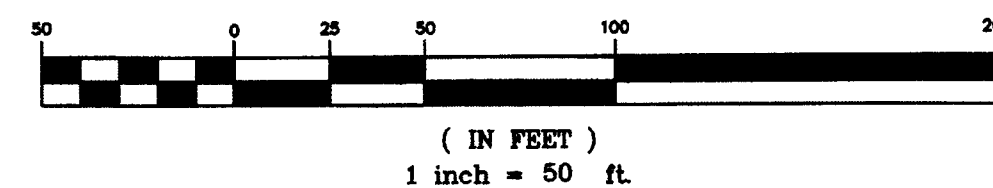
MATCH LINE SEE SITE PLAN SHEET 6 OF 12



PROPOSED AMENITY AREA

ACCESS TO COMMON OPEN SPACE

GRAPHIC SCALE



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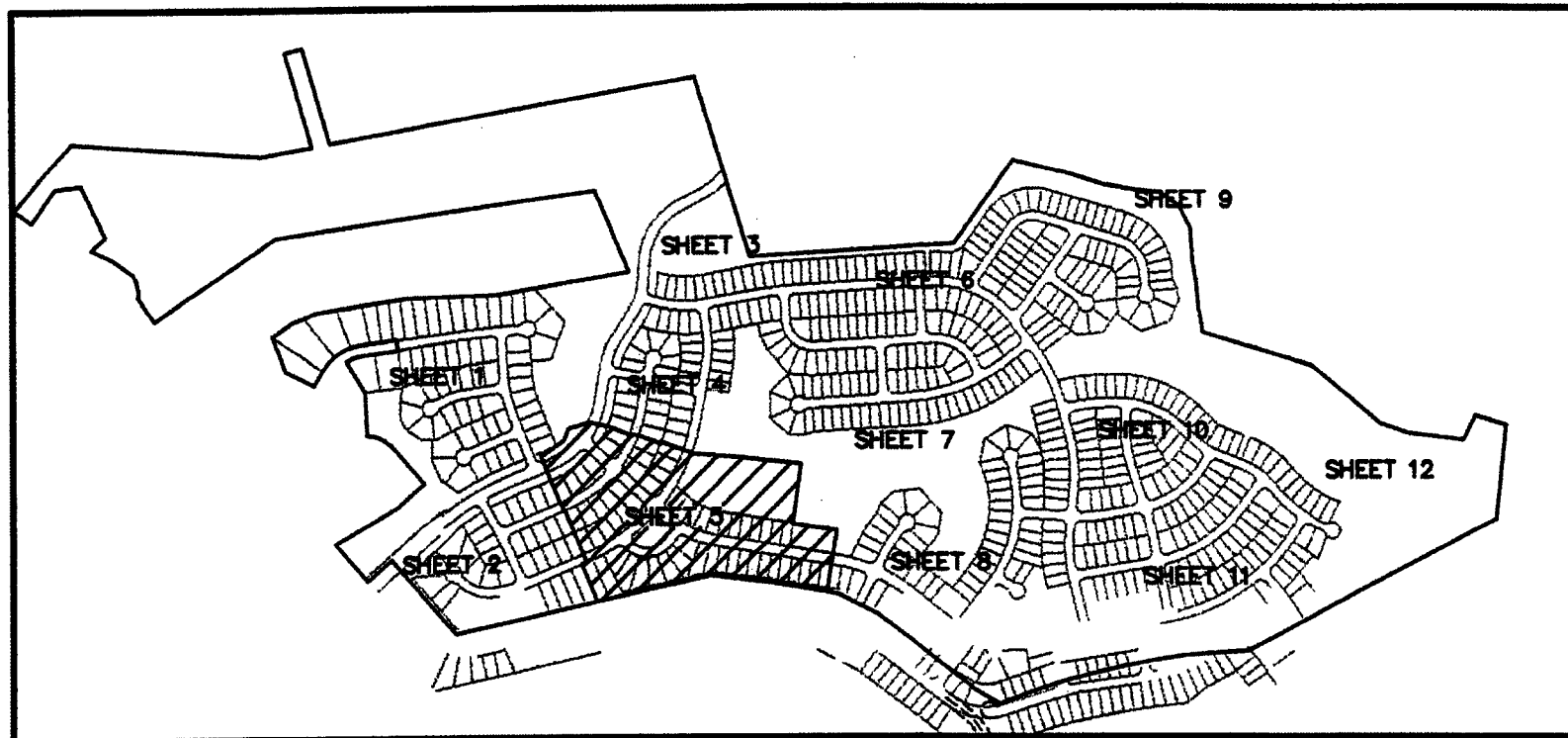
WOODBURY SUBDIVISION
CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY, NC

SITE PLAN
SHEET 4 OF 12

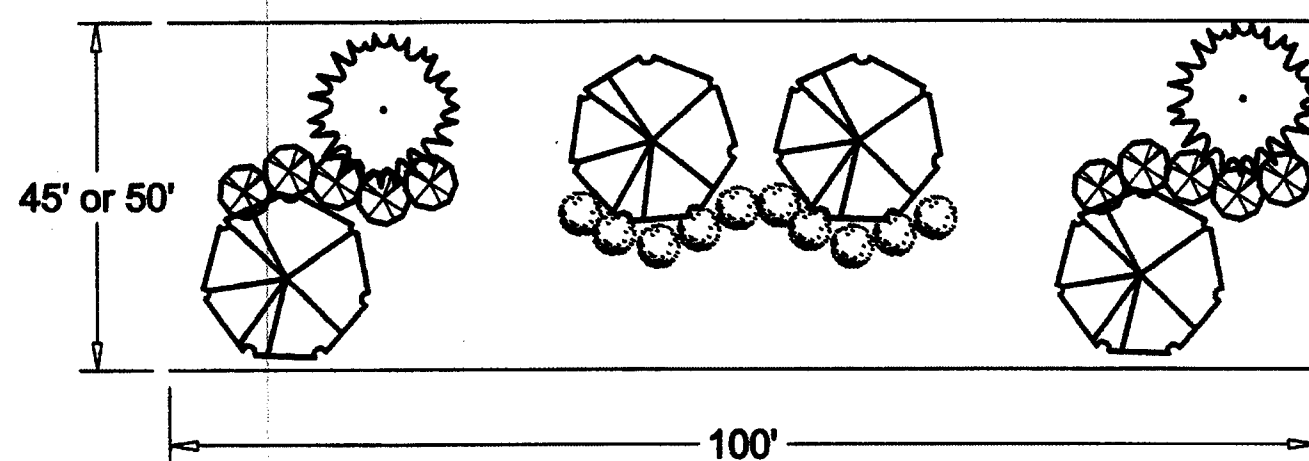
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DATE 4/29/06
BY PAC
REVISION PER CITY & CLIENT COMMENTS
DATE 6/23/06
BY ZEH
REVISION PER CLIENT & CITY COMMENTS
DATE 2/17/08
BY JFS
DRAWN BY JFS
CHECKED BY DMW
SHEET NO. 05

NORTH CAROLINA
PROFESSIONAL
ENGINEER
DAVID W. WAGNER
2007

SITE PLAN INDEX

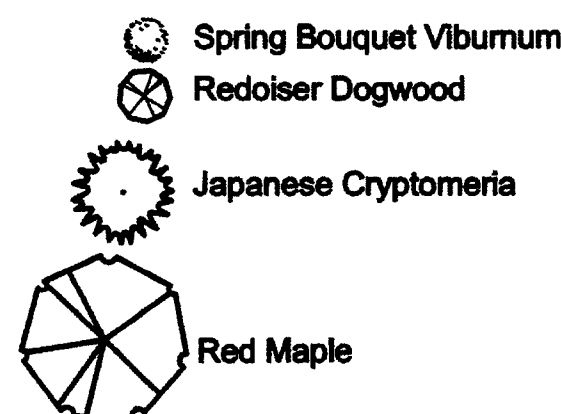


Typical planting buffer for double frontage lots along Denbur Drive per Class C requirements



Minimum Planting Requirements
20 Shrubs and 6 trees (25% Evergreen) per 100 LF.
Acceptable varieties may be changed from approved list of plants.

LEGEND



PAVEMENT MARKING SCHEDULE (NCDOT STANDARD SECTIONS 9&12)

A	4" WHITE EDGE LINE NCDOT STD DETAIL 920.01	
B	4" DOUBLE YELLOW CENTERLINE NCDOT STD DETAIL 920.01	
D	4" WHITE LANE LINE NCDOT STD DETAIL 920.01	
E	ARROW SYMBOLS NCDOT STD DETAIL 1205.08	
F	8" YELLOW DIAGONAL LINES NCDOT STD DETAIL 1205.09	
G	2" MINI-SKIP LINES NCDOT STD DETAIL 1205.01 (10' GAP PER CDOT)	
H	10' SKIP LINES NCDOT STD DETAIL 1205.01	

CONTRACTOR TO INSTALL MARKINGS PER NCDOT AND CDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.



MATCH LINE SEE SITE PLAN SHEET 1 OF 12

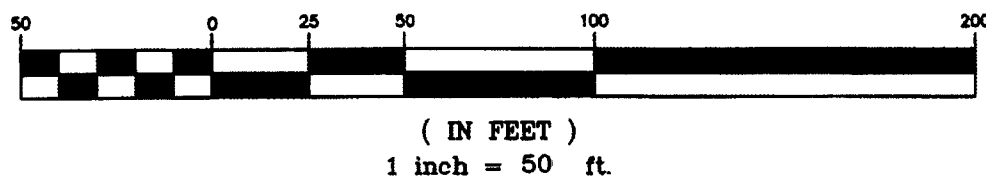
MATCH LINE SEE SITE PLAN SHEET 4 OF 12

MATCH LINE SEE SITE PLAN SHEET 7 OF 12

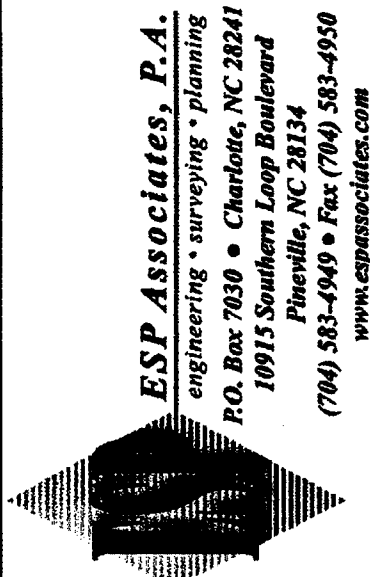
MATCH LINE SEE SITE PLAN SHEET 7 OF 12

MATCH LINE SEE SITE PLAN SHEET 8 OF 12

GRAPHIC SCALE



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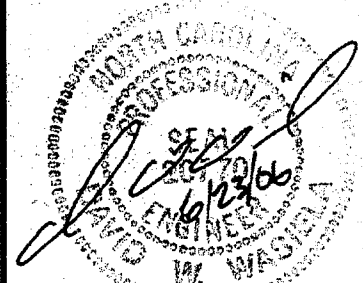
4235 SOUTHSTREAM BOULEVARD
SUITE 400
CHARLOTTE, NC 28217
(704) 523-8111

CLIENT

SITE PLAN SHEET 5 OF 12

WOODBURY SUBDIVISION

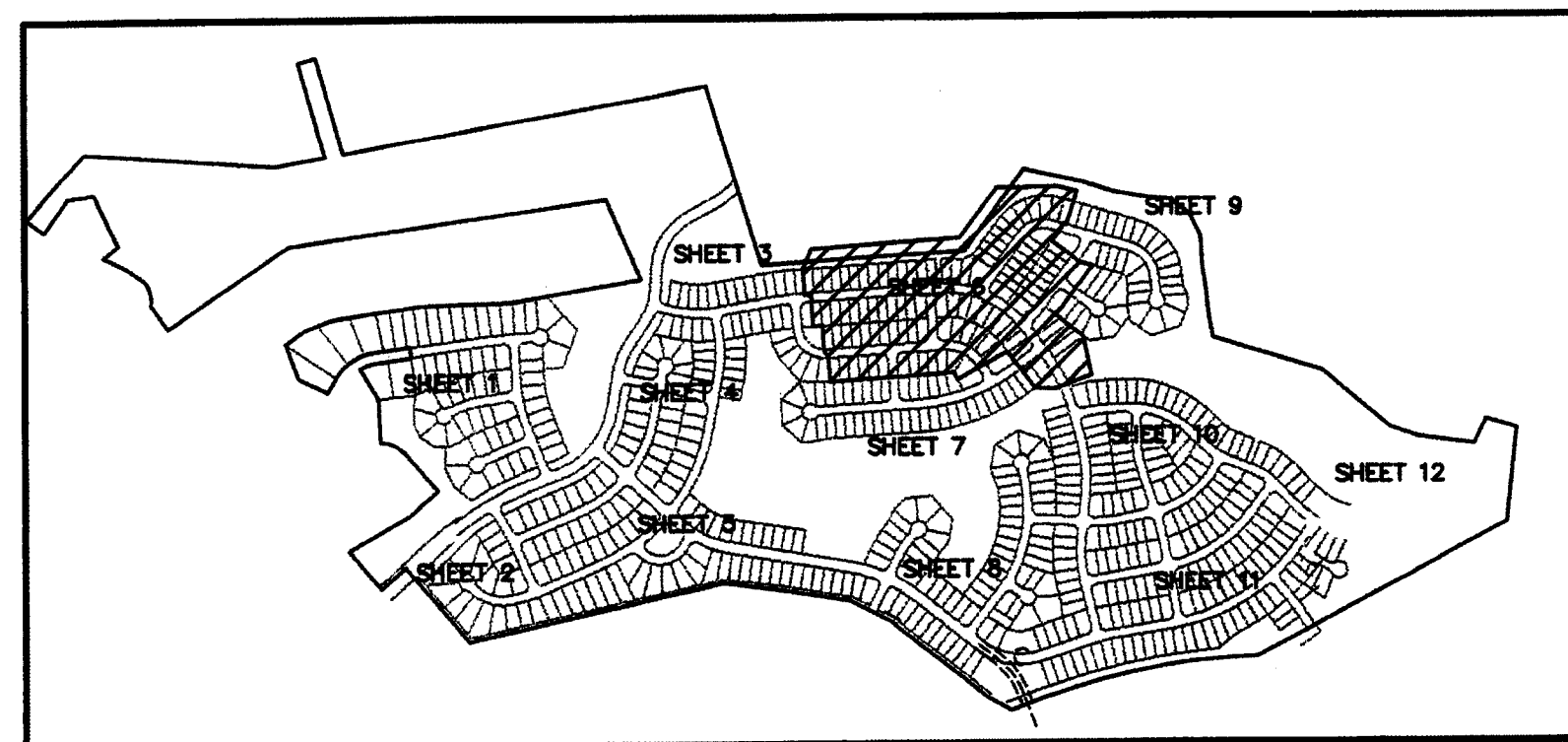
SHEET TITLE



NO.	DATE	REVISION	BY
1	4/29/06	REVISION PER CLIENT & CITY COMMENTS	PAC
2	6/23/06	REVISION PER CLIENT & CITY COMMENTS	ZEH
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT NO. 0601000
SCALE 1" = 50'
DATE 9/17/06
DRAWN BY JES
CHECKED BY DMW
SHEET NO. 10

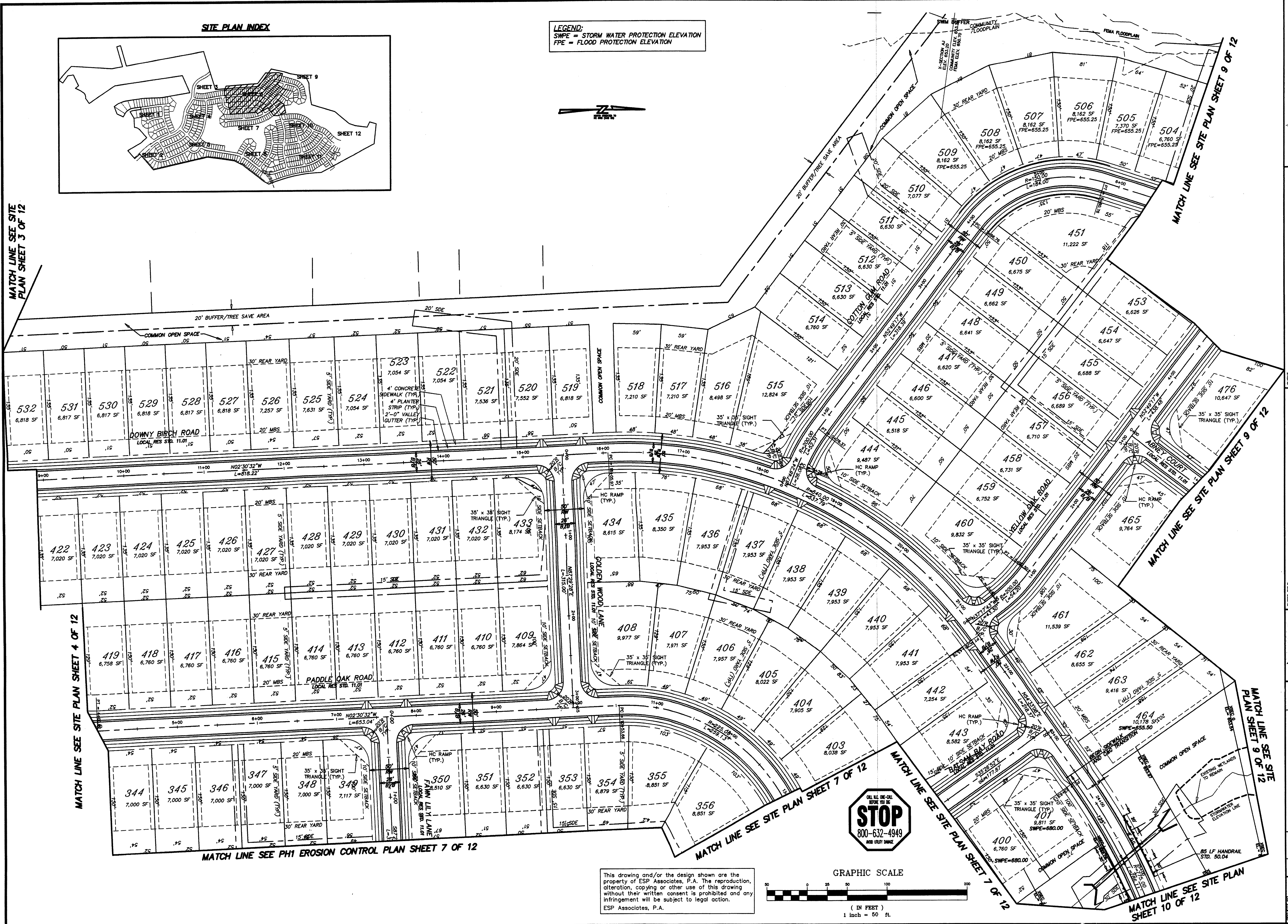
SITE PLAN INDEX



LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION



MATCH LINE SEE SITE PLAN SHEET 3 OF 12



MATCH LINE SEE SITE PLAN SHEET 4 OF 12

MATCH LINE SEE PH1 EROSION CONTROL PLAN SHEET 7 OF 12

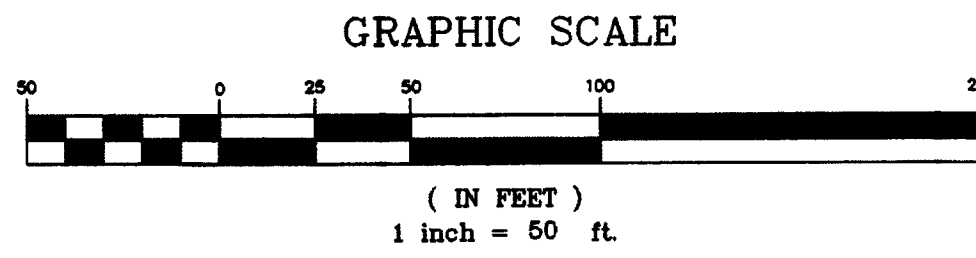
MATCH LINE SEE SITE PLAN SHEET 7 OF 12

MATCH LINE SEE SITE PLAN SHEET 7 OF 12

MATCH LINE SEE SITE PLAN SHEET 9 OF 12

MATCH LINE SEE SITE PLAN SHEET 10 OF 12

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CHARLOTTE, NC
(704) 523-8111

WOODBURY SUBDIVISION
MECKLENBURG COUNTY, NC
CITY OF CHARLOTTE, NC

PROJECT NO.	NO.	DATE	BY	REVISION
3403-400	1	4/29/06	FAC	REVISED PER CLIENT & CITY COMMENTS
	2	6/23/06	ZEH	REVISED PER CLIENT & CITY COMMENTS
	3	2/17/08	ZEH	REVISED PER CLIENT & CITY COMMENTS
	4	2/17/08	ZEH	REVISED PER CLIENT & CITY COMMENTS

SCALE 1"=50'

DATE 2/17/08

DRAWN BY JFS

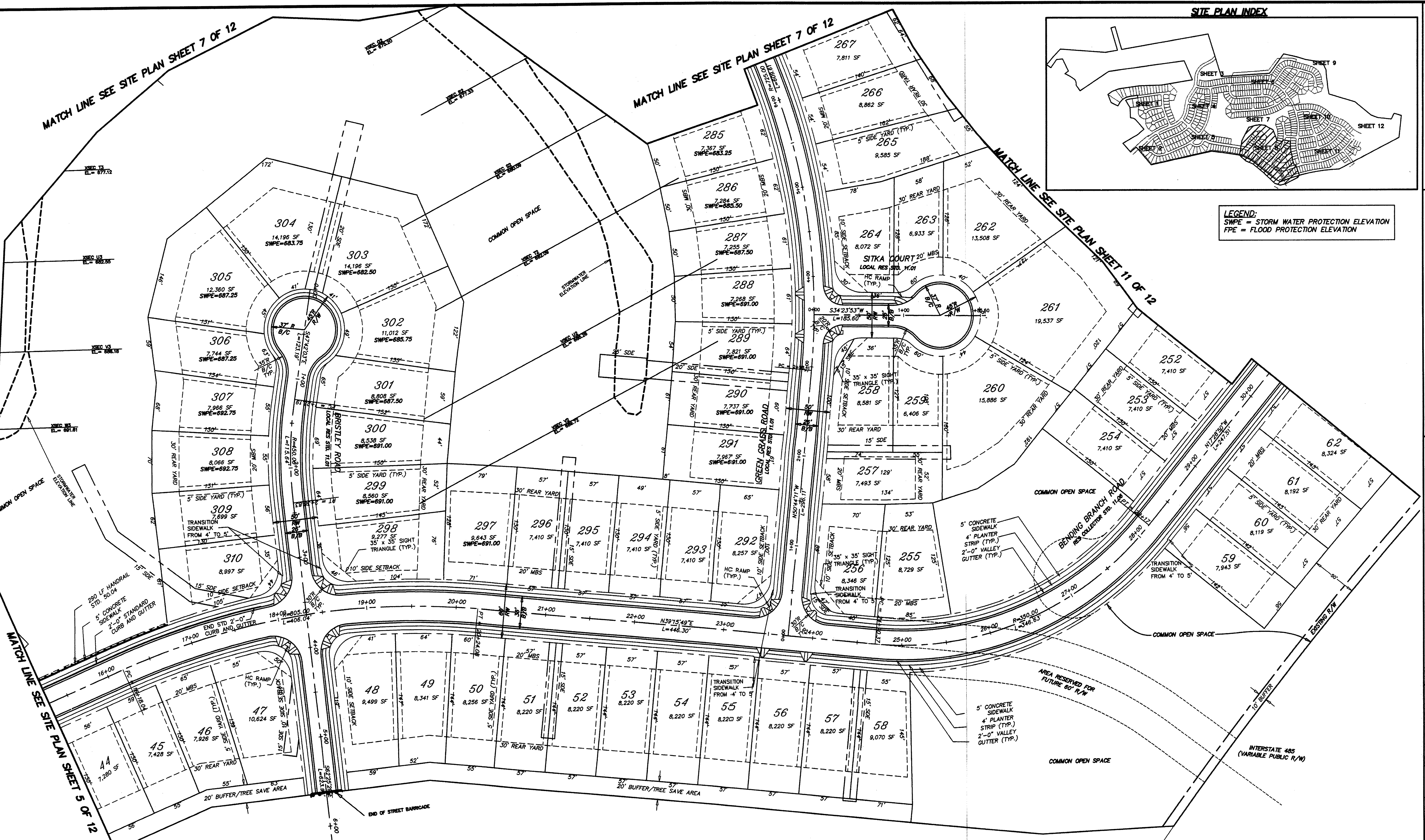
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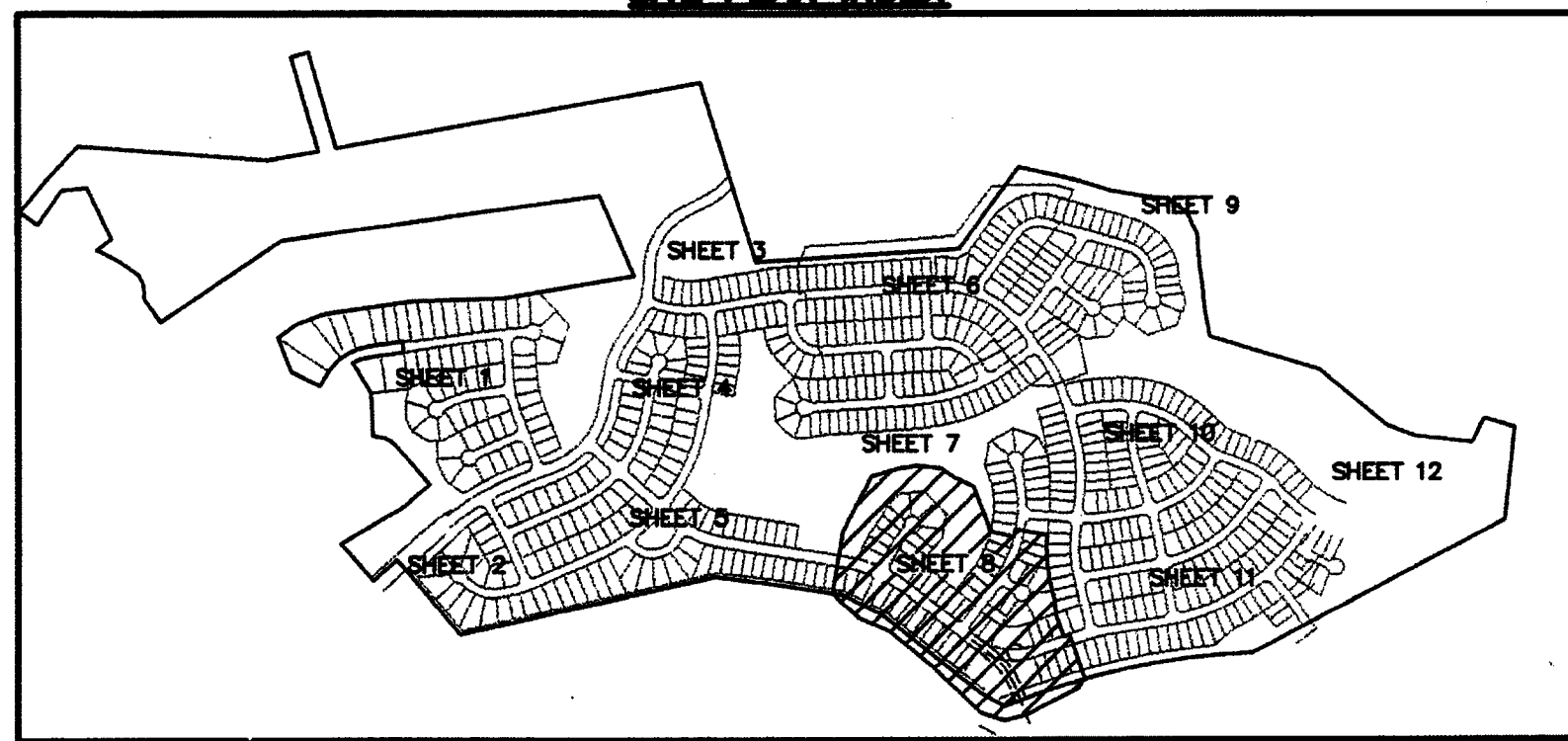
MATCH LINE SEE SITE PLAN SHEET 7 OF 12

MATCH LINE SEE SITE PLAN SHEET 7 OF 12

MATCH LINE SEE SITE PLAN SHEET 11 OF 12

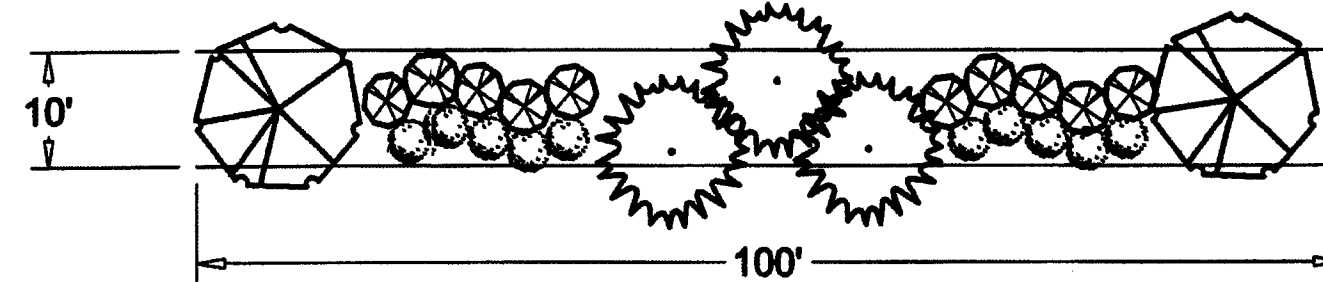


SITE PLAN INDEX



LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION

Typical 10' Class C Buffer along I-485 right-of-way

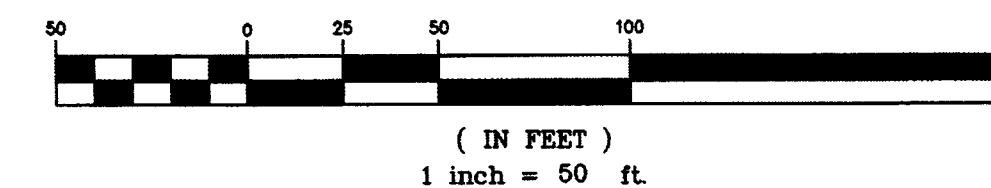


Minimum Planting Requirements
20 Shrubs and 5 trees per 100 LF.
Acceptable varieties may be changed from approved list of plants.
Existing trees and vegetation may be used to meet this requirement
if they are considered sufficient by the city of Charlotte.

LEGEND

- Spring Bouquet Viburnum
- Redoiser Dogwood
- Japanese Cryptomeria
- Red Maple

GRAPHIC SCALE



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CHARLOTTE, NC 28217
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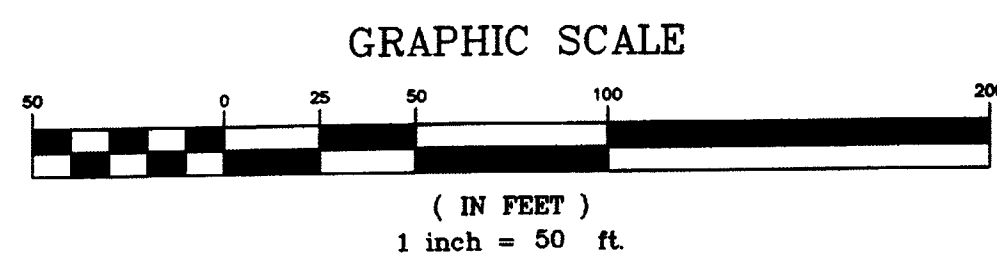
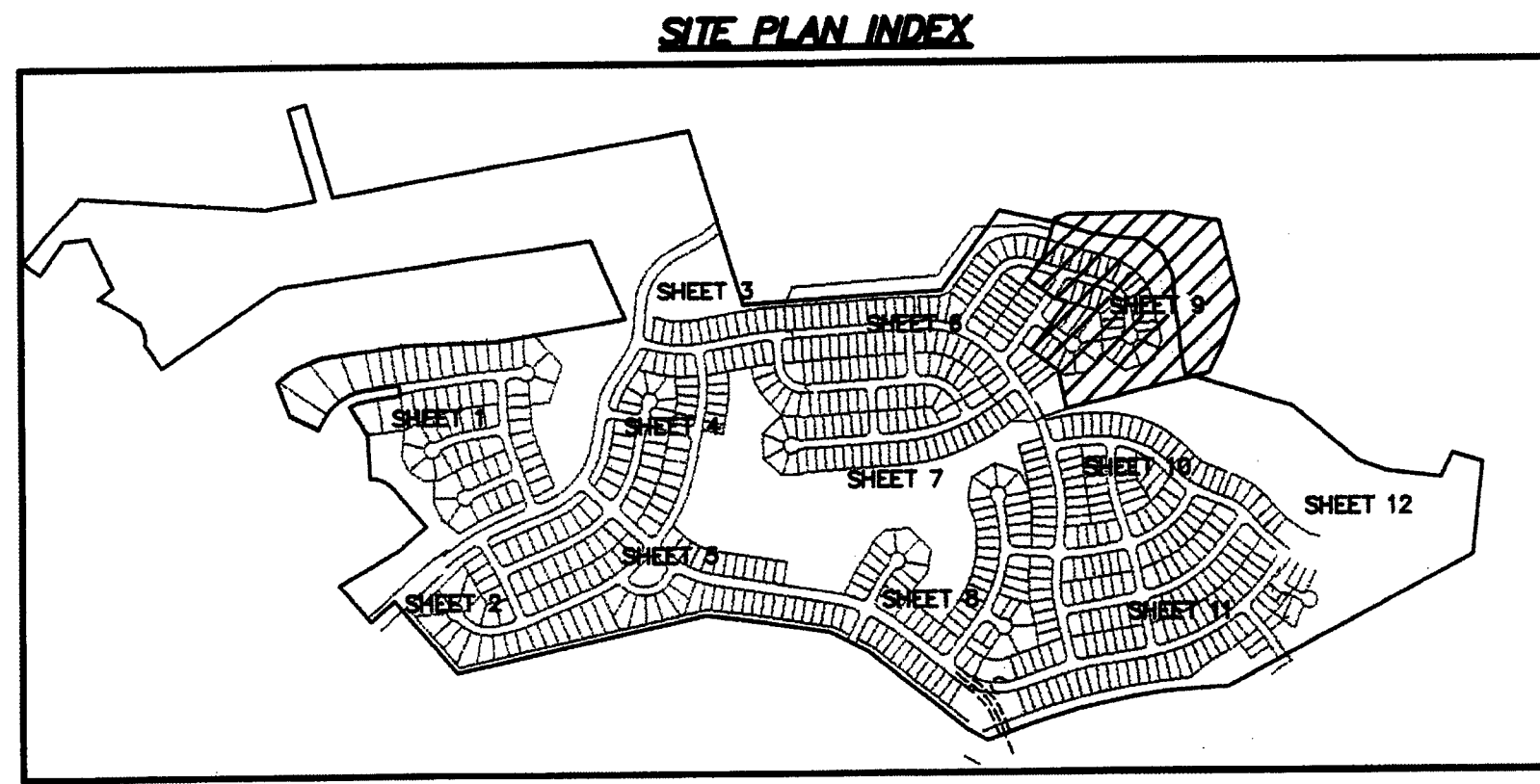
SITE PLAN
SHEET 8 OF 12

WOODBURY SUBDIVISION
CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY, NC

PROJECT
SHEET NO. 13

NO.	DATE	REVISION	BY
1	4/28/06	REVISED PER CLIENT & CITY COMMENTS	PAC
2	6/23/06	REVISED PER CLIENT & CITY COMMENTS	ZEH

PROJECT NO. 060100
SCALE 1" = 50'
DATE 2/17/08
DRAWN BY JFS
CHECKED BY DMW
SHEET NO. 13

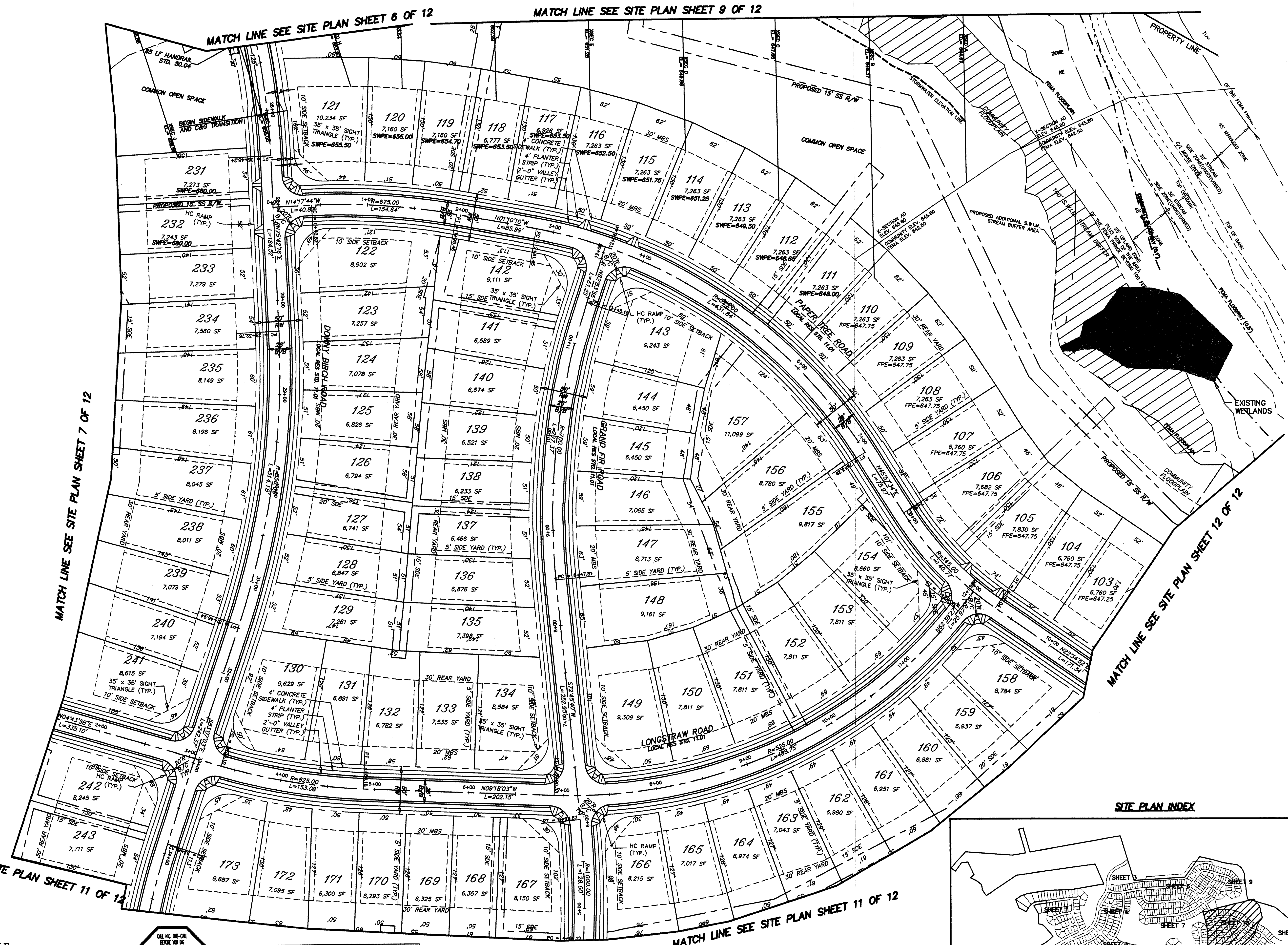


LEGEND:
SWPE = STORM WATER PROTECTION ELEVATION
FPE = FLOOD PROTECTION ELEVATION

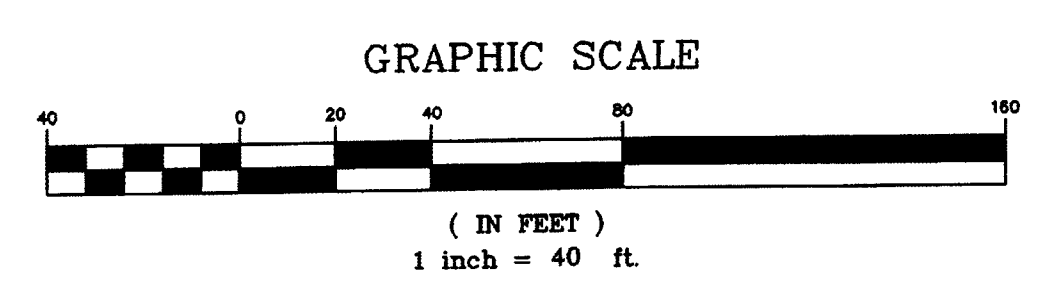
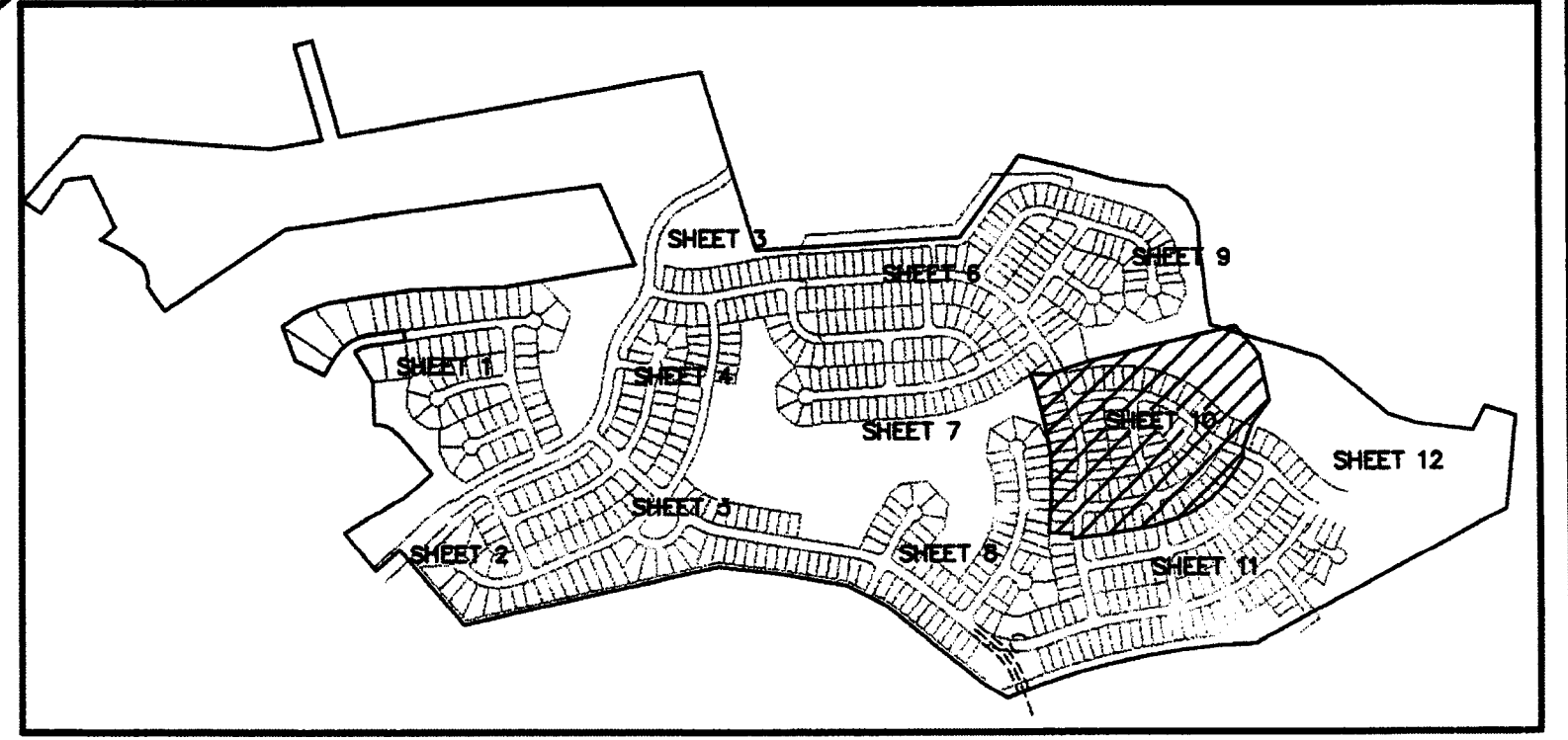
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CENTEX HOMES A NEVADA GENERAL PARTNERSHIP 4235 SOUTHSTREAM ROAD SUITE 400 CHARLOTTE, NC 28217 (704) 523-8111		
SITE PLAN SHEET 9 OF 12		
WOODBURY SUBDIVISION		
CITY OF CHARLOTTE, NC MECKLENBURG COUNTY, NC		
PROJECT	8003-SP-006	
NO.	BY	REVISION
1	FAC	REVISED PER CLIENT & CITY COMMENTS
2	ZEH	REVISED PER CLIENT & CITY COMMENTS
DATE	2/17/06	
DRAWN BY	JFS	
CHECKED BY	DWH	
14		



SITE PLAN INDEX



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CHARLOTTE, NC 28241
(704) 523-8111

SITE PLAN
SHEET 10 OF 12
WOODBURY SUBDIVISION

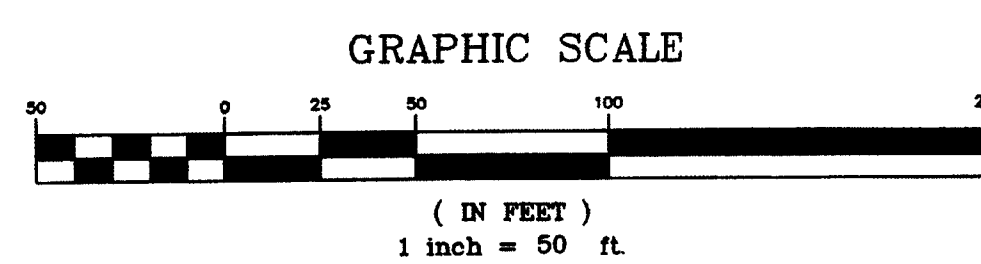
CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY, NC

NO.	DATE	REVISION	BY	FOR
1	4/28/06	REVISED PER CLIENT & CITY COMMENTS	PAC	ZEH
2	6/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
3	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
4	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
5	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
6	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
7	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
8	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
9	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
10	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
11	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	
12	8/21/06	REVISED PER CLIENT & CITY COMMENTS	ZEH	

PROJECT NO. 03-001-000
SHEET NO. 10 OF 12
DATE 8/21/06
DRAWN BY JFS
CHECKED BY DWW
SCALE 1"=50'

 Spring Bouquet Viburnum
 Redoliser Dogwood
 Japanese Cryptomeria
 Red Maple

MATCH LINE SEE SITE PLAN SHEET 10 OF 12



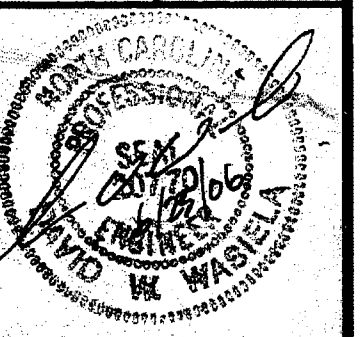
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PROJECT: WOODBURY SUBDIVISION
SHEET 11 OF 12
SHEET-NO. 11010
CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY, NC



NO.	DATE	REVISION	REVISION PER CLIENT & CITY COMMENTS	REVISION PER CLIENT & CITY COMMENTS	26H
1	4/28/08				
2	6/23/08				

