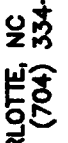


FOR REVIEW & COMMENT ONLY-NOT FOR CONSTRUCTION



816 COLONADE DRIVE

CHARLOTTE, NC 28205

(704) 334-5348

Office Locations:

North Carolina

South Carolina

Georgio

60453.00 CL


WK DICKSON

community infrastructure consultants

USNS

4/23/07

REVISED PLANS PER CITY COMMENTS

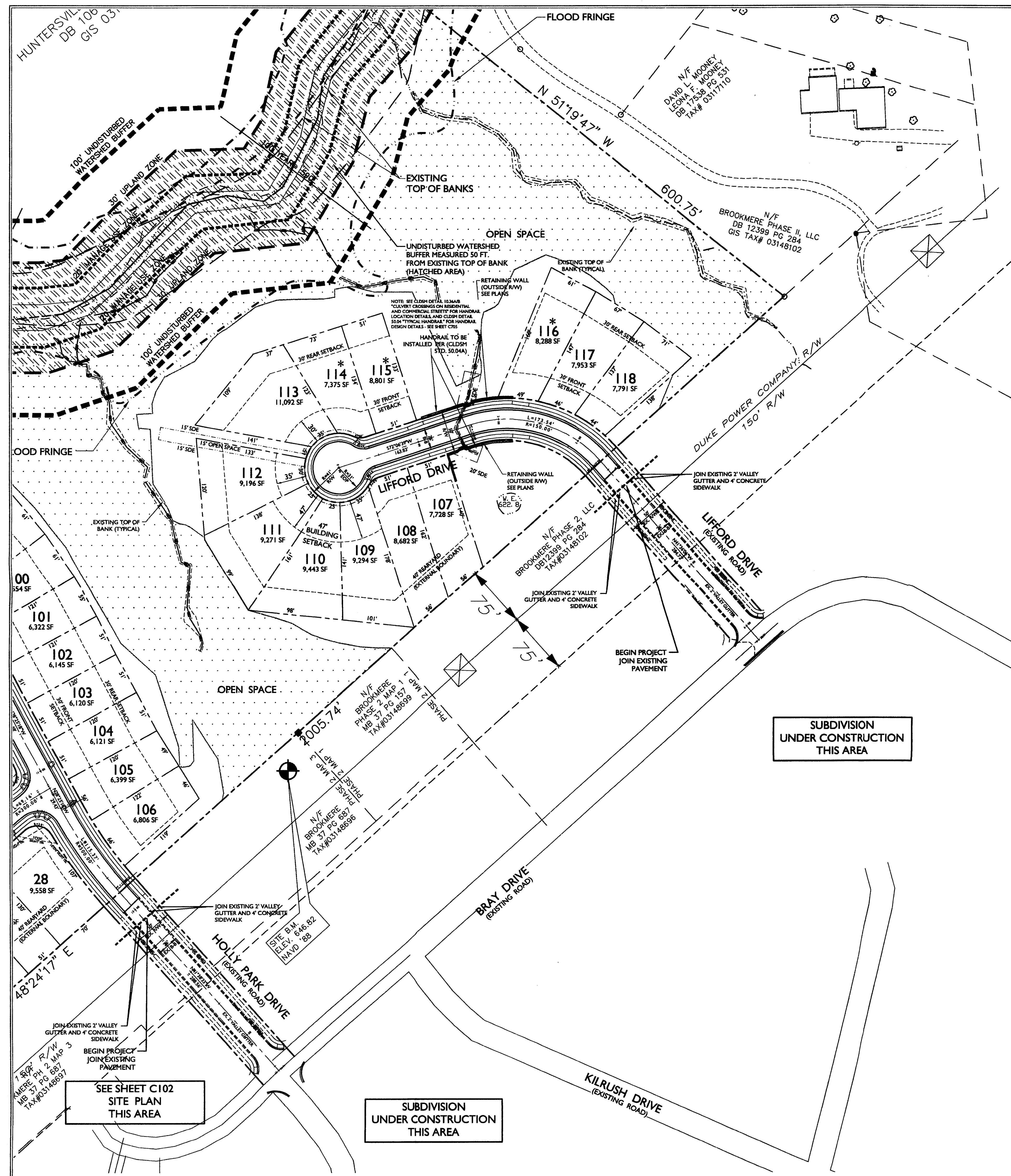
DATE: 

AMANN
Properties

UPPER RIVERPOINTE
Subdivision
Holly Park Drive, Charlotte, NC

MANN Properties
6100 Fairview Road, Suite 770 Charlotte, NC 28210 (704) 831-2494

DATE: January 2007	PROJECT NO.: 60453.00.c
DRAWN BY: BSS	CHECKED BY: RJR
SHEET TITLE: OVERALL PLAN	
SCALE: 1"=100'	
DRAWING FILES: 604530OVERALL-PLAT.dwg	
SHEET NO.: C100	



GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO CHARLOTTE-MECKLENBURG STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD INSPECT AND VERIFY ALL EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. NO SERVICES SHALL BE ABANDONED OR INTERRUPTED UNLESS CALLED FOR ON THE APPROVED CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES FOUND IN THE FIELD WITH THE APPROVED SET OF PLANS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, PREVIOUS DESIGN DOCUMENTS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
- PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES AND SHALL BE THOROUGHLY FAMILIAR WITH CONDITIONS OF SAID PERMITS AND INSPECTION REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL VERIFY THEIR SCOPE OF WORK PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC ARE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWINGS FOR ACTUAL DIMENSIONS AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH THE GEOTECHNICAL REPORT AS PROVIDED FOR THE PROJECT BY PROJECT GEOTECHNICAL ENGINEER AND ADHERE TO ALL DIRECTION AND RECOMMENDATIONS THEREIN. ANY DISCREPANCIES BETWEEN GEOTECHNICAL REPORT AND CONSTRUCTION DOCUMENTS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE PROCEEDING.
- ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT." THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH OSHA REGULATIONS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. INFORMATION PROVIDED HEREIN HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- WK DICKSON SHALL NOT BE IN CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR ACTUAL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, OR FOR THE ACTS OR OMISSIONS OF CONTRACTORS OR ANY OTHER PERSONS NOT UNDER THE EMPLOYMENT OF WK DICKSON.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH ANY OTHER WORK BEING PERFORMED BY OTHER CONTRACTOR/SUBCONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE HIS/HER ACTIVITIES ACCORDINGLY.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODOUT IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1' FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY).
- DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS # 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
- ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1' FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY).
- NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

NOTE:
CONTRACTOR SHALL ACQUIRE THE SERVICES OF A STRUCTURAL ENGINEER OR RETAINING WALL MANUFACTURER FOR DESIGN OF WALLS AND PRICE OF WALLS AS SHOWN ON PLANS.



BEFORE YOU DIG
CALL 1-800-332-4242
N.C. ONE-CALL CENTER
IT'S THE LAW!

FOR REVIEW & COMMENT ONLY-NOT FOR CONSTRUCTION

616 COLONADE DRIVE
CHARLOTTE, NC 28205
(704) 334-5348

Office Location:
North Carolina
South Carolina
Georgia
60453.00.CI

WK DICKSON
community infrastructure consultants

REVISIONS:
1. 4/23/07 REVISED PLANS PER CITY COMMENTS
2. 8/07/07 REVISED PLANS PER CITY COMMENTS

Professional Engineer
Seal 2874
Robert J. Ruff

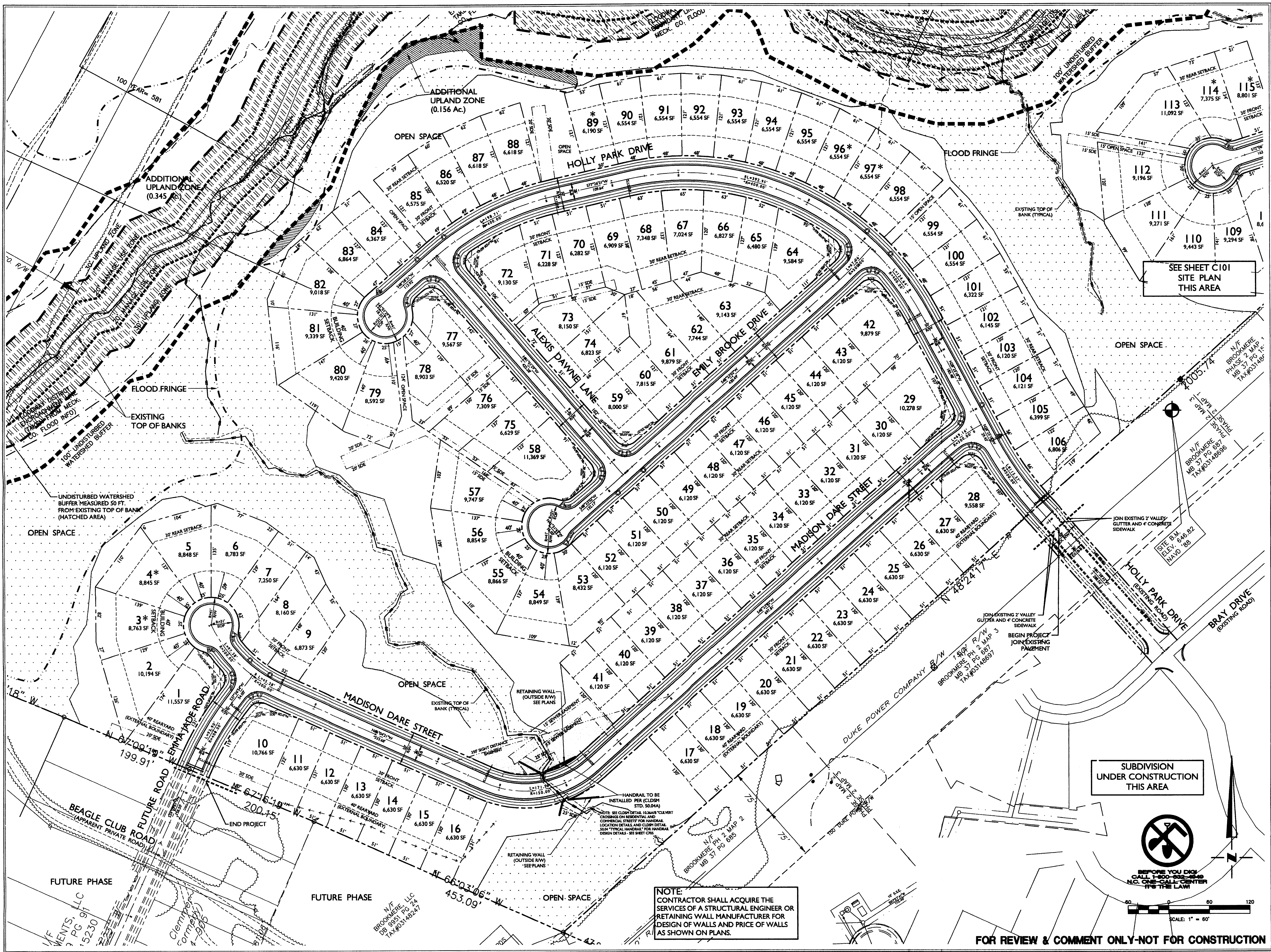
DATE: 8/7/07

AMANN
Properties

UPPER RIVERPOINTE
Subdivision
Holly Park Drive, Charlotte, NC

AMANN Properties
6100 Fairview Road, Suite 770 Charlotte, NC 28210 (704) 831-2494

DATE: January 2007 PROJECT NO.: 60453.00.ci
DRAWN BY: BSS CHECKED BY: RJR
SHEET TITLE: SITE PLAN
SCALE: 1" = 60'
DRAWING FILES: 60453OVERALL-PLAT.dwg
SHEET NO.: C101



816 COLONADE DRIVE
CHARLOTTE, NC 28205
(704) 334-5348

Office Location:
North Carolina
South Carolina

60453.00.C1

WICKSON
community infrastructure consultants

REVISIONS:
1. 4/20/07 REVISED PLANS PER CITY COMMENTS.
2. 8/10/07 REVISED PLANS PER CITY COMMENTS.

DATE: 8/7/07

MANN
Properties

UPPER RIVERPOINTE
Subdivision
Holly Park Drive, Charlotte, NC

MANN Properties
6100 Fairview Road, Suite 770 Charlotte, NC 28210 (704) 831-2494

DATE: January 2007	PROJECT NO: 60453.00.c1
DRAWN BY: BSS	CHECKED BY: RJR
SHEET TITLE: SITE PLAN	
SCALE: 1"=60'	
DRAWING FILES: 604530VERALL-PLAT.dwg	
SHEET NO: C102	