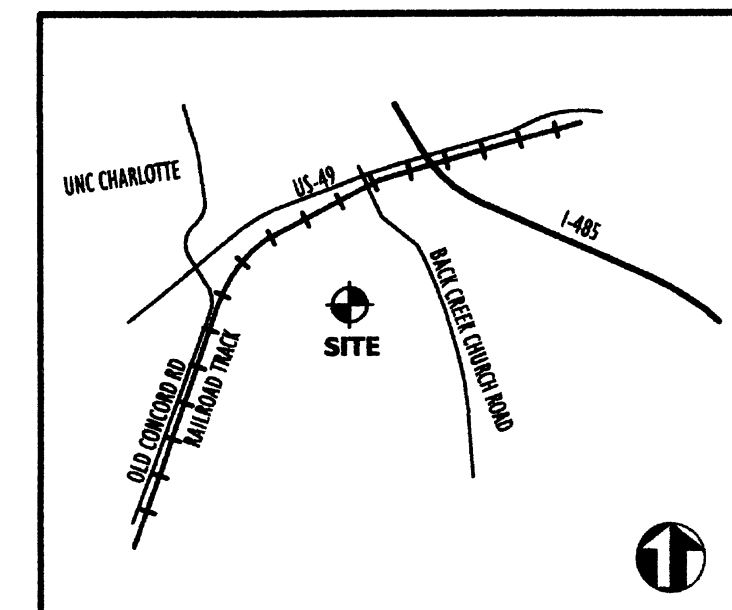


# The Villages of Back Creek - Phase Two

## Portrait Homes

### Charlotte, North Carolina



Vicinity Map - NTS PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL  
Charlotte-Mecklenburg Planning Commission

**Owner**  
Portrait Homes  
9111 Monroe Road, Suite 100  
Charlotte, NC 28270-1490  
(704) 849-2221

#### Designer

**SITE SOLUTIONS**  
2 3 2 0  
W. Morehead Street  
Charlotte, NC 28208  
Landscape Architecture  
Site Planning  
Civil Engineering  
www.sitesolutionspa.com  
Telephone: 704-521-9880  
Facsimile: 704-521-8955  
CADD# 22898

Contact: Phillip Hobbs, ASLA

#### Sheet Schedule

Sheet Title	Sheet No.	Original Date	Latest Revision Date	Latest Revision Number	Revision Index
Cover Sheet	-	8.29.06	1.9.07	3	Addendum 1
Rezoning Plan	1 of 3	3.17.03			
Rezoning Plan	2 of 3	3.17.03			
Rezoning Plan	3 of 3	3.17.03			
Site Survey		3.3.06			
Master Phasing Plan	L-1.0	8.29.06	1.9.07	3	Addendum 1
Clearing/Demolition Plan	L-1.1	8.29.06			
Site Plan	L-2.1	8.29.06	1.9.07	3	Addendum 1
Site Plan	L-2.2	8.29.06	1.9.07	3	Addendum 1
Initial Erosion Control Plan	L-3.1	8.29.06	11.27.06	2	Per City Comments
Final Erosion Control Plan	L-3.2	8.29.06	1.9.07	3	Addendum 1
Grading/Storm Drainage Plan	L-3.3	8.29.06	1.9.07	3	Addendum 1
Grading/Storm Drainage Plan	L-3.4	8.29.06	1.9.07	3	Addendum 1
Component Drainage Area Plan	L-3.5	8.29.06	10.19.06	1	Per City Comments
SCS Drainage Area Plan	L-3.6	8.29.06	11.27.06	2	Per City Comments
Off-Site Drainage Area Plan	L-3.7	11.27.06			
Utility Plan	L-4.1	8.29.06	1.9.07	3	Addendum 1
Utility Plan	L-4.2	8.29.06	1.9.07	3	Addendum 1
Sanitary Sewer Profiles	L-4.3	8.29.06			
Sanitary Sewer Profiles	L-4.4	8.29.06			
Road Plan and Profile Private Streets	L-5.1	8.29.06			
Road Plan and Profile Private Streets	L-5.2	8.29.06			
Road Plan and Profile Private Streets	L-5.3	8.29.06			
Road Plan and Profile Private Streets	L-5.4	8.29.06			
Storm Sewer Profiles	L-6.1	8.29.06	11.27.06	2	Per City Comments
Storm Sewer Profiles	L-6.2	8.29.06	11.27.06	2	Per City Comments
Retaining Wall Elevations	L-6.3	8.29.06	11.27.06	2	Per City Comments
Site Construction Details	L-7.1	8.29.06			
Site Construction Details	L-7.2	8.29.06			
Site Construction Details	L-7.3	8.29.06			
Site Construction Details	L-7.4	8.29.06	11.27.06	2	Per City Comments
Site Construction Details	L-7.5	8.29.06	10.19.06	1	Per City Comments
Basin 1 Stormwater Wetland Details	L-7.6	8.29.06	11.27.06	2	Per City Comments
Basin 2 Stormwater Wetland Details	L-7.7	8.29.06	10.19.06	1	Per City Comments
Landscape Plan	L-8.1	8.29.06	1.9.07	3	Addendum 1
Landscape Plan	L-8.2	8.29.06	1.9.07	3	Addendum 1
Open Space Plan	L-9.1	8.29.06	1.9.07	3	Addendum 1

#### Site Development Data

JURISDICTION: CITY OF CHARLOTTE  
EXISTING ZONING: MK-2  
REZONING PETITION NO.: 2002-112  
TAX PARCEL NUMBER: 051-122-25  
DEED BOOK NUMBER: 15018 PAGE 25  
PROPOSED USE: TOWNHOMES FOR SALE

SITE AREA:  
TOTAL GROSS AREA: 30.70 ACRES  
DEDICATED R/W: 8.15 ACRES (20.0% OF PHASE 2 AREA)  
TOTAL NET AREA: 24.55 ACRES (60.0% OF PHASE 2 AREA)  
EASEMENTS, BUFFERS, SETBACKS: 4.22 ACRES (13.7% OF PHASE 2 AREA)  
TOTAL DEVELOPABLE AREA: 20.33 ACRES (66.2% OF PHASE 2 AREA)  
(LESS R/W, SETBACKS, BUFFER)

MAXIMUM ALLOWABLE UNITS: 196 SINGLE FAMILY ATTACHED (TRACT E)  
PROPOSED UNITS (SHOWN): 197 SINGLE FAMILY ATTACHED  
(11 UNITS OF TRACT "F" IN PHASE 2)  
(10 UNITS OF TRACT "E" IN PHASE 1)

SINGLE FAMILY ATTACHED-TOWNHOMES FOR SALE  
SETBACK: 10' FROM R/W OR BACK OF CURB  
20' FROM BACK OF CURB OR SIDEWALK TO FACE OF GARAGE.

REAR YARD:  
INTERNAL: 10'  
EXTERNAL: 40'

BUILDING SEPARATION: 18'

REQUIRED PARKING (1.5/TOWNHOUSE UNIT): 296 SPACES  
TOTAL REQUIRED PARKING: 296 SPACES

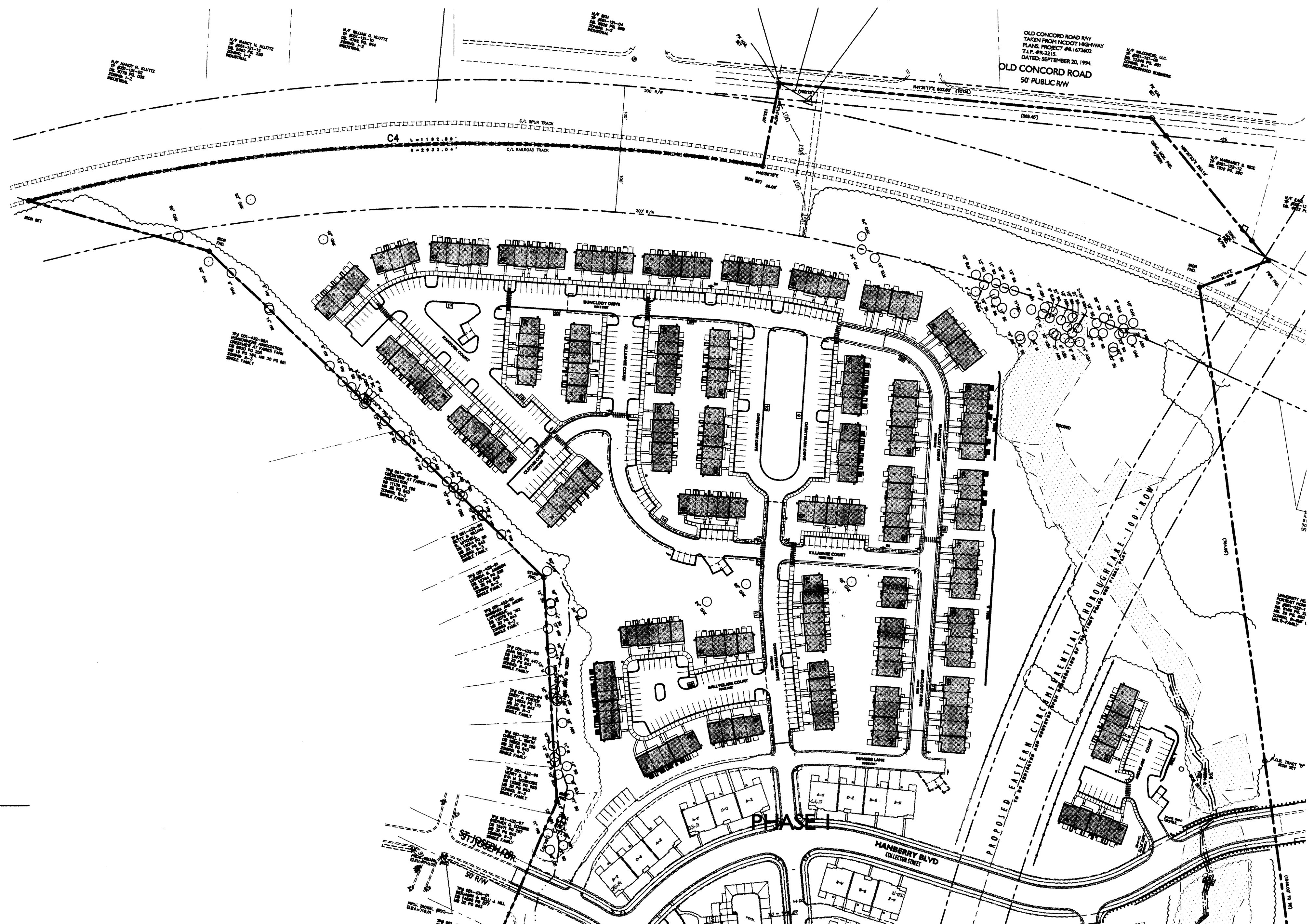
PROVIDED PARKING SPACES: 405 SPACES  
PROPOSED GROSS DENSITY: 6.22 UNITS/AC  
NET DENSITY: 7.70 UNITS/AC  
PROPOSED DEVELOPABLE DENSITY: 9.39 UNITS/AC

PRIVATE OPEN SPACE: 191 TOWNHOME UNITS (400 SF/UNIT) = 76,400 SF  
EACH TOWNHOME UNIT WILL HAVE MIN. OF 400 S.F. SUBLOT

COMMON OPEN SPACE:  
REQUIRED FOR TOTAL PROPERTY: 40.5 AC (28.15%)  
REQUIRED FOR PHASE 2: 6.03 AC (28.15%)  
PROPOSED (REZONING): ±10.65 AC  
PROVIDED: ±11.02 AC (20.97%)

MAXIMUM HEIGHT: 40' (3 STORIES MAX.)  
BUILDING COVERAGE: 167,125 SF (3.04 AC) ±, 15.6% OF NET AREA  
STREETS, DRIVES, PARKING COVERAGE = 165,536 SF (3.75 AC), 15.3% OF NET AREA  
SIDEWALK COVERAGE: 37,000 SF (0.85 AC), 3.5% OF NET AREA  
TOTAL NATURAL AREA: 13.86 AC, 56.5% OF NET AREA

SOLID WASTE/ RECYCLING CONTAINER REQUIREMENTS  
- ONE EIGHT (8) CU.YD. COMPACTOR DUMPSTER IS REQUIRED PER 80 UNITS  
3 PROVIDED  
- ONE (1) 144 S.F. RECYCLING STATION REQUIRED FOR 30 - 80 UNITS  
3 PROVIDED



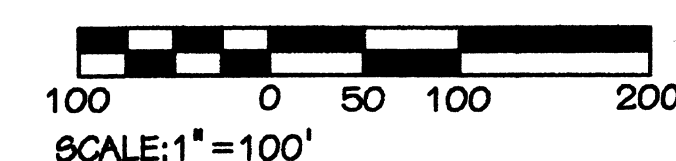
PARKSIDE	TYPE	COUNT	% OF TOTAL
NO. OF 2 UNIT BLDGS.	1 ( 0.33% OF TOTAL)		
NO. OF 4 UNIT BLDGS.	7 ( 50.3% OF TOTAL)		
NO. OF 5 UNIT BLDGS.	4 ( 33.3% OF TOTAL)		
TOTAL PARKSIDE BLDGS	12		

WINDBOR	TYPE	COUNT	% OF TOTAL
NO. OF 3 UNIT BLDGS.	1 ( 3.3% OF TOTAL)		
NO. OF 4 UNIT BLDGS.	9 (30.0% OF TOTAL)		
NO. OF 5 UNIT BLDGS.	13 (43.3% OF TOTAL)		
NO. OF 6 UNIT BLDGS.	6 (20.0% OF TOTAL)		
NO. OF 7 UNIT BLDGS.	1 ( 3.3% OF TOTAL)		
TOTAL WINDBOR BLDGS	30		

PARKSIDE	TYPE	COUNT	% OF TOTAL
L UNITS	11	22.0%	
M UNITS	22	44.0%	
N UNITS	12	24.0%	
O UNITS	5	10.0%	
TOTAL	50	100.0%	

WINDBOR	TYPE	COUNT	% OF TOTAL
F-1 UNITS	20	19.7%	
F-2 UNITS	27	10.4%	
G UNITS	19	12.9%	
H UNITS	8	8.1%	
I UNITS	20	15.6%	
J UNITS	33	22.4%	
N UNITS	10	6.6%	
TOTAL	147	100.0%	

#### Site Plan



PROJECT SHALL COMPLY WITH PHASING REQUIREMENTS OF PHASE ONE UNDER SECTION "C" OF THE CONDITIONAL REZONING











#### LEGEND

- PROPOSED STREET SIGN
- PROPOSED STOP SIGN
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER
- EXISTING FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED CURB AND GUTTER
- PROPERTY LINE
- BUILDING NUMBER
- OPEN SPACE

Set No. \_\_\_\_\_





- |   |                            |
|---|----------------------------|
|  | PUBLIC STREET              |
|  | COLLECTOR (60' R.O.W.)     |
|  | PRIVATE STREET             |
|  | ALLEY                      |
|  | COMMON OPEN SPACE          |
|  | FUTURE GREENWAY            |
|  | ACCESS POINT               |
|  | LANDSCAPE SCREEN/BUFFER    |
|  | GREENWAY TRAIL, 6' GRAVEL  |
|  | 6' DECORATIVE SCREEN FENCE |

## DEVELOPMENT DATA

- | DEVELOPMENT DATA |                            |              |
|------------------|----------------------------|--------------|
| ▲                | SITE AREA                  | 156 AC.      |
|                  | EXISTING ZONING            | R-3, B-1     |
|                  | PROPOSED ZONING            | MX-2         |
| ▲                | MAXIMUM # DWELLING UNITS   | 748 D.U.     |
| ▲                | MAXIMUM DENSITY            | 4.79 D.U./AC |
|                  | MIN. BUILDING SEPARATION   | 16'          |
|                  | MAX. BUILDING HEIGHT       | 40'          |
| ▲                | COMMON OPEN SPACE [C.O.S.] | ±40.8 AC.    |

### ▲ SITE TABULATION

TRACT	USE	AC.	# D.U.	C.O.S.
TRACT "A"	SINGLE FAMILY DETACHED	29.5	88	7.75 ac.
Δ TRACT "B"	SINGLE FAMILY DETACHED	44.0	147	9.0 ac.
TRACT "C"	SINGLE FAMILY ATTACHED	8.3	38	1.5 ac.
Δ TRACT "D"	MULTI-FAMILY OR SINGLE FAMILY ATTACHED	14.1 (14.1)	132 (112)	7.5 ac.
TRACT "E"	SINGLE FAMILY ATTACHED	30.7	196	10.65 ac.
TRACT "F"	SINGLE FAMILY ATTACHED	21.5	147	4.4 ac.
THOROUGHFARE R.O.W		7.9		
<b>TOTAL</b>		<b>156 AC.</b>	<b>748</b>	<b>40.8 ac.</b>

## INNOVATIVE DEVELOPMENT STANDARDS

Pursuant to Section 11.208 of the Ordinance, the Petitioner seeks to obtain the approval of its use of the following Innovative Development Standards in connection with the development of the Site concurrently with the approval

## SINGLE FAMILY DETACHED HOMES

- |                                   |                      |
|-----------------------------------|----------------------|
| ▲ PUBLIC STREET R.O.W.            | 45'                  |
| MINIMUM LOT SIZE                  | 3,000 SF             |
| (EXCEPT TRACT "B", 4000 SF MIN.)  |                      |
| ▲ MIN. FRONT SETBACK              | 20'                  |
| (EXCEPT TRACT "B", 30' SETBACK)   |                      |
| MIN. SIDE YARD                    | 3'                   |
| MIN. REAR YARD (INTERMUM)         | 10'                  |
| (EXCEPT TRACT "B", 30' REAR YARD) |                      |
| MIN. REAR YARD (EXTERNUM)         | 45'                  |
| MIN. LOT WIDTH                    | 30'                  |
| (EXCEPT TRACT "B", 60' WIDTH)     |                      |
| MAX. BLDG. HEIGHT                 | 40' (MAX. 3 STORIES) |
| INTERNAL BUFFER                   | 0'                   |
| HT. OF FENCE IN SETBACK           | 6'                   |
| SWIM CLUB PARKING                 | 1 SPACE/200 SF       |

## MULTI FAMILY AND TOWNHOMES

- | PROPERTY OF OWNER/RENTAL CONTRACTOR/PROPERTY |   |
|--|---|
| MIN. FRONT SETBACK                           | 10' (FROM R/W OR BACK OF CURB)                    |
| MIN. REAR YARD                               | 10' (INTERNAL)<br>40' (EXTERNAL)                  |
| MAX. BLDG. HEIGHT                            | 40' (MAX. 3 STORIES)                              |
| INTERNAL BUFFER                              | 0'  |
| HT. OF FENCE IN SETBACK                      | 6'  |
| SWIM CLUB PARKING                            | 1 SPACE/200 SF.<br>(SEE SPACE UTILIZATION RECORD) |

APPROVED BY CITY COUNCIL  
DATE 3/17/03

## **PORTRAIT HOMES**

**9105 MONROE ROAD  
SUITE 120  
CHARLOTTE, NC 28270-1490  
704-849-2221**

## MERRYHUE FARMS

**HANBERRY DRIVE  
CHARLOTTE  
NORTH CAROLINA**

**FOR PUBLIC HEARING**

**TECHNICAL  
DATA SHEET**  
**Petition # 2002-II2**

**PROJECT NUMBER: 02015**

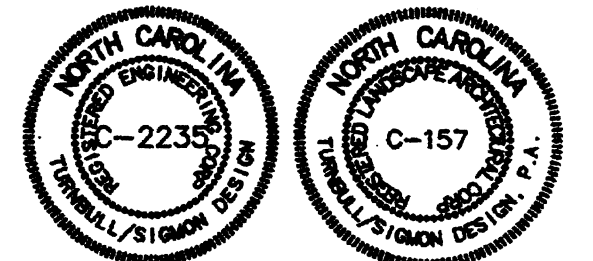
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DESIGNED BY: SFC

ISSUE DATE: 09-05-02

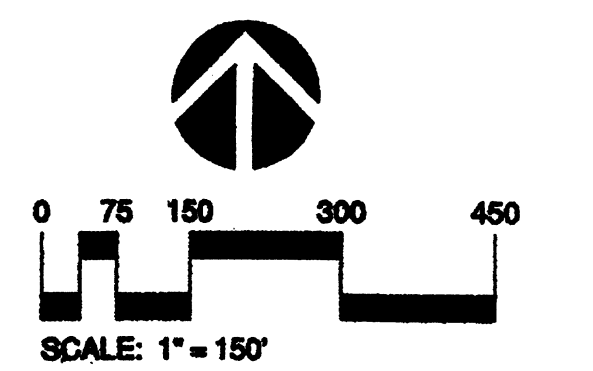
03-14-06 KWK REVISE SECTIONS B6(b), B13(a) AND  
 02-18-05 TGS REVISE PER STAFF/CLIENT COMMENTS  
 03-14-06 TGS REVISE PER STAFF/CLIENT COMMENTS  
 02-24-05 TGS REVISE PER CLIENT COMMENTS  
 2-24-05 TGS REVISE PER CLIENT COMMENTS  
 12-02-02 TGS REVISE PER CLIENT COMMENTS  
 11-20-02 TGS REVISE PER WETLANDS DELINEATION  
 10-22-02 TGS REVISE PER CMPC STAFF COMMENTS  
 NO. DATE: BY: REVISIONS:





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9105 MONROE ROAD  
SUITE 120  
CHARLOTTE, NC 28270-1490  
704-849-2221



HANBERRY DRIVE  
CHARLOTTE  
NORTH CAROLINA

**SCHEMATIC  
SITE PLAN**  
**Petition #2002-II2**

PROJECT NUMBER:	02015
DRAWN BY:	TCS
DESIGNED BY:	SFC
ISSUE DATE:	09/05/02

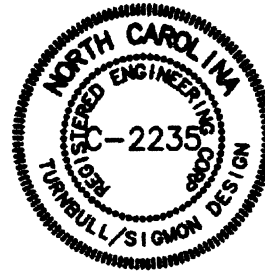
09-14-06 KKK REVISE SECTIONS BS(D), B13(B) AND C21.  
 02-18-06 TCS REVISE PER STAFF/CLIENT COMMENTS  
 09-14-03 TCS REVISE PER STAFF/CLIENT COMMENTS  
 02-24-08 TCS REVISE PER CLIENT COMMENTS  
 2-24-05 TCS REVISE PER CLIENT COMMENTS  
 12-02-02 TCS REVISE PER CLIENT COMMENTS  
 11-26-02 TCS REVISE PER WESTLANDS DELEGATION  
 10-22-02 TCS REVISE PER CMPC STAFF COMMENTS  
 NO. DATE: BY: REVISIONS:





Turnbull Sigmon Design  
1001 Morehead Square Drive  
Suite 350  
Charlotte, NC 28205  
Phone: 704.219.6500  
Fax: 704.522.0882

LAND DEVELOPMENT DESIGN SERVICES



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PORTRAIT HOMES

9105 MONROE ROAD  
SUITE 120  
CHARLOTTE, NC 28270-1490  
704-849-2221

MERRYHUE FARMS

HANBERRY DRIVE  
CHARLOTTE  
NORTH CAROLINA

FOR PUBLIC HEARING

DEVELOPMENT STANDARDS  
Petition #2002-112

PROJECT NUMBER: 02015

DRAWN BY: TCS, ABS

DESIGNED BY: SFC

ISSUE DATE: 09/08/02

09-14-02	NWK REVISE SECTIONS B(1), B12(A) AND C1(A)
02-18-02	TCS REVISE PER STAFF/CLIENT COMMENTS
02-14-02	TCS REVISE PER STAFF/CLIENT COMMENTS
02-04-02	TCS REVISE PER CLIENT COMMENTS
2-24-02	TCS REVISE PER CLIENT COMMENTS
12-02-02	TCS REVISE PER CLIENT COMMENTS
11-02-02	TCS REVISE PER NETWORK DEDICATION
10-26-02	TCS REVISE PER CIVIL STAFF COMMENTS
NO. DATE: BY: REVISIONS:	

DEVELOPMENT STANDARDS

A. PERMITTED USES:

Up to 235 for sale single family detached dwelling units, 381 for sale single family attached dwelling units, and 132 multi-family units, for 112 for sale single family attached dwelling units, as further described below, may be constructed on the Site, together with any incidental or accessory uses associated therewith which are permitted under the City of Charlotte Zoning Ordinance (the "Ordinance") in the M6-2 Zoning District.

Tract "A"

- Up to 88 for sale single family detached dwelling units may be constructed on Tract A, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District.

Tract "B"

Up to 147 for sale single family detached dwelling units may be constructed on Tract B, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District. Tract "B" will be developed in accordance with the R-4 Cluster development standards in the Ordinance except that all lots will have a minimum width of 60 feet.

Tract "C"

- Up to 38 for sale single family attached dwelling units may be constructed on Tract C, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District.

Tract "D"

- Up to 132 multi-family units or up to 112 for sale single family attached dwelling units may be constructed on Tract D, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District.

Tract "E"

- Up to 194 for sale single family detached dwelling units may be constructed on Tract E, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District.

Tract "F"

- Up to 147 for sale single family attached dwelling units may be constructed on Tract F, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance in the M6-2 Zoning District.

B. DEVELOPMENT REQUIREMENTS:

1. General Provisions

- (a) At a minimum, all applicable development standards established under the Ordinance for the M6-2 Zoning District will be satisfied in connection with development taking place on the Site, in accordance with Section 11.204(2) of the Ordinance, at no point in the development of the Site shall the density of residential development in a completed phase of the Site exceed 8 dwelling units per acre.

(b) In addition, development of the Site shall be governed by these Development Standards, the Technical Data Sheet and the Schematic Site Plan.

(c) The building configurations, placements and sizes, streets and parking areas shown on the Schematic Site Plan (Sheet 62-2), are schematic in nature and may be altered or modified during design development and construction document phases within the maximum building limit lines established on the Technical Data Sheet.

(d) Landscaped areas and sidewalks within the Site will be planted and installed in sequence which are keyed to development taking place on the Site.

- (e) The Petitioner or the owner or owners of the Site will not be required to install sidewalks or other improvements along the unimproved open space's frontage on Old Concord Road.

2. Setbacks, Side Yards and Rear Yards

All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard requirements established on the Technical Data Sheet.

3. Buffer Areas

(a) Buffer areas established on the Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance; subject, however, to the provisions of Section 12.304 and to the provisions of Paragraphs (b) and (c) of this Section.

(b) Utility installations may only cross buffer areas at interior angles measured at property lines which are not less than 75 degrees.

(c) In all buffer areas where existing trees and natural vegetation have been cleared to accommodate grading, berms, walls, fences, or the installation of utility lines or facilities, the cleared, unimproved areas will be landscaped as required by Section 12.302 of the Ordinance.

- (d) As depicted on the Technical Data Sheet, a 20 foot wide undisturbed buffer shall be maintained along the eastern edge of Tract "C" adjacent to the Faires Farm subdivision and Tract "B" adjacent to the Wyndham Place Subdivision. Notwithstanding the foregoing, Petitioner reserves the right to selectively cut, clear and clean underbrush and dead or dying trees and vegetation located within this buffer area.

4. Landscaped Areas and Screening

- (a) Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance and the City of Charlotte Tree Ordinance. Development of the Site will comply with the provisions of the City of Charlotte Tree Ordinance, including the requirement for minimum tree save areas.

- (b) The Petitioner shall install a landscape screen buffer a minimum of 30 feet in width along the Site's frontage on the proposed Eastern Circumferential Thoroughfare in those areas generally depicted on the Technical Data Sheet.

(c) The Petitioner shall install a 6 foot decorative screen fence within the landscape screen buffer in those areas generally depicted on the Technical Data Sheet. Additionally, the Petitioner shall install within the landscape screen buffer areas trees and shrubs that are at least 2 inches in caliper at the time of installation, with such trees to be planted 25 feet on center. The Petitioner shall also install within the landscape screen buffer 20 shrubs per 100 lineal feet.

5. Trash Collection

(a) The Petitioner presently contemplates that trash will be collected from each individual unit from separate trash containers located at each unit.

(b) If this form of collection is utilized, pick up will be handled by a private hauler unless and until governmental policy would provide for the public pick up of trash.

(c) If dumpsters are provided, they will be screened with solid wooden or masonry enclosures with gates.

6. Streets and Driveways

(a) Vehicular access to the Site will be limited to the access points shown on the Technical Data Sheet and will be located in the general areas depicted. The configurations and ultimate locations of these access points within the Site are subject to any modifications required to accommodate final site and architectural construction plans and designs and are further subject to approval by CDOT and/or the North Carolina Department of Transportation ("NCDOT").

- (b) The Petitioner shall dedicate and convey in fee (by quitclaim deed and subject to a reversionary interest in any property not used for right of way purposes in the future) right of way for the proposed Eastern Circumferential Thoroughfare along the Site's frontage and as generally depicted on the Technical Data Sheet (such area being hereinafter referred to as the "Right of Way Area"). Such dedication and conveyance shall occur upon recordation of the first Phase final plat.

Prior to the conveyance of the Right of Way Area for the proposed Eastern Circumferential Thoroughfare, the Petitioner or the owner or owners of the Site shall have the right to reserve such easements over the "Right of Way Area" that are necessary to provide the vehicular connection and street between Tract "C" and Tract "B" that is generally depicted on the Technical Data Sheet and Schematic Site Plan (such easements to expire upon the completion and opening of the proposed Eastern Circumferential Thoroughfare), and to reserve such easements over the Right of Way Area for the installation, maintenance, repair and replacement of utility lines or facilities. Petitioner shall also have the right to reserve such temporary construction easements over the Right of Way Area as are necessary to develop the Site (such temporary construction easements to expire upon the completion of the development of the Site).

- (c) Petitioner shall prohibit construction vehicles relating to the development of the Site from using St. Josephs Drive or Faires Farm Road for ingress and egress to and from the Site.

- (d) The street labeled "collector" street" on the Technical Data Sheet shall be built to collector street standards. The Petitioner shall install a 6 foot planting strip and a 5 foot sidewalk on both sides of this collector street. All units along the collector shall front on the collector.

- (e) That portion of the street labeled "Collector Street" on the Technical Data Sheet that connects existing Faires Farm Road and existing Hanberry Drive must be completed and opened to vehicular traffic prior to the recordation of the plat for the final plat (1) 1st dwelling unit to be located on that portion of the Site situated north of Back Creek (i.e., Tracts A, C, D, E and F). The platting, construction or occupancy of any dwelling units located on that portion of the Site designated as Tract B on the Technical Data Sheet shall not impact or trigger the Petitioner's compliance with respect to the above described "Collector Street".

7. Lighting

- (a) A uniform lighting system will be employed throughout the Site. All lighting within the Site except street lights which may be erected along any public street or private street shall be designed such that direct illumination does not extend past exterior property lines of the Site. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards adjacent streets and properties.

(b) Lighting fixtures will not exceed 20 feet in height, except for street lights along public streets.

- (c) Street lights will be installed along public and private streets within the Site by the Petitioner.

8. Parking

(a) The parking spaces depicted on the Schematic Site Plan may vary but in all events will be sufficient to satisfy the minimum off-street parking standards established under the Ordinance.

(b) No parking will be permitted within buffer areas or setback areas.

9. Signs

A uniform signage and graphics system will be employed throughout the Site which will comply with the provisions of Section 13 of the Ordinance.

10. Fire Protection

Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's specifications.

11. Design Standards

(a) Landscaped islands will be provided in parking areas to avoid large expanses of pavement. These islands will satisfy or exceed the City of Charlotte Tree Ordinance.

(b) The Site shall conform to the City of Charlotte Tree Ordinance.

(c) All parking will be screened from public streets in accordance with the requirements of Section 12.303 of the Ordinance.

- (d) Within Tract C, garages, if provided, may not front a public street. All such garages shall be accessed by a rear alley.

12. Storm Drainage

(a) Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte Engineering Department.

(b) No storm water facilities may be placed within buffer areas or setback areas.

- (c) The Petitioner shall work with local agencies to develop methods for pollutant removal and storm water quality such as rain gardens, extended detention wetlands, and velocity reduction devices.

- (d) The owner or owners of the Site shall dedicate and convey in fee by quitclaim deed the "Greenway Area" depicted on the Technical Data Sheet up to the 5 foot enclosurement line (such area being hereinafter referred to as the "Greenway Area") to Mecklenburg County for greenway purposes. The Greenway Area shall be dedicated and conveyed upon recordation of the first phase final plat sooner if requested by Mecklenburg County. Prior to a conveyance of the Greenway Area to Mecklenburg County, the owner and owners of the Site shall have the right to maintain the "Greenway Area", to install and locate utility lines through the Greenway Area, to reserve such easements over the Greenway Area that are necessary to maintain and repair such utility lines, and to reserve such easements over the Greenway Area that are necessary to maintain and repair such utility lines.

(b) Prior to the dedication and conveyance of the Greenway Area to Mecklenburg County, the Petitioner shall install a 6 foot wide pit gravel walking trail within the Greenway Area as generally depicted on the Technical Data Sheet.

14. Architectural Commitments

(a) All single family detached dwelling units located within Tract "B" shall contain a minimum of 1,080 heated square feet.

(b) At a minimum, each single family detached dwelling unit located within Tract "B" shall have a 2 car garage.

(c) Each single family detached dwelling unit located within Tract "B" shall be constructed with a brick surround from the exterior grade of the lot to the first floor elevation of the home, or at least 25% of the front elevation (inclusive of doors and windows) shall consist of brick or stone materials.

15. Sidewalks / Pedestrian Connections

(a) Sidewalks will be provided in accordance with the requirements of the Ordinance.

- (b) A pedestrian path connecting Tracts "A", "B" and "C" to the Greenway Area shall be provided by the Petitioner in the location generally depicted on the Technical Data Sheet.

(c) A pedestrian path connecting Tract "D" to the greenway area shall be provided by the Petitioner.

C. PHASING REQUIREMENTS AND TRANSPORTATION COMMITMENTS:

The Petitioner's development of up to 147 for sale single family detached dwelling units within Tract B in accordance with the Technical Data Sheet and Schematic Site Plan shall not be subject to any phasing requirements.

Phase 1

1. The Petitioner may construct up to 286 for sale single family attached dwelling units on those portions of the Site designated on the Technical Data Sheet as Tract C, Tract D, Tract E and Tract F during Phase 1 of the proposed development. The Petitioner may construct up to 88 single family detached dwelling units within that portion of the Site designated as Tract A on the Technical Data Sheet during Phase 1 of the proposed development.

2. In connection with the development of Phase 1, the Petitioner shall construct a northbound left-turn lane on Back Creek Church Road at Hanberry Drive, and an eastbound left-turn lane on Midson Road at Faires Farm Road. These left-turn lanes will be constructed and installed by the Petitioner concurrently with the development of Phase 1, and the construction plans for such left-turn lanes shall be submitted with the development plans as part of and be subject to the subdivision process. The Petitioner is responsible for the design of the left-turn lanes, to include appropriate traffic controls during construction and pavement markings. The design of these improvements must meet applicable minimum requirements as determined by and be subject to the review and approval of CDOT and NCDOT.

3. In connection with the design of the northbound left-turn lane on Back Creek Church Road at Hanberry Drive, the Petitioner will complete the preliminary design/construction plans for improvements described in paragraph 2(c)(1) under Phase 2 to ensure that the design of this left-turn lane is compatible with NCDOT's planned improvements to the intersection of Back Creek Church Road and University City Boulevard from a design and functionality standpoint as determined by CDOT and NCDOT.

Phase 2

1. Phase 2 of the proposed development shall consist of the remaining 227 dwelling units permitted to be developed on those portions of the Site designated on the Technical Data Sheet as Tract C, Tract D, Tract E and Tract F.

2. The subdivision plans and/or building permits for any dwelling unit in Phase 2 of this proposed development will not be approved/issued until such time as the following improvements have been completed:

- (a) The planned and funded improvements to the intersection of Old Concord Road and Midson Road to be constructed by NCDOT, which improvements are designated as Project No. P-5814 by NCDOT.

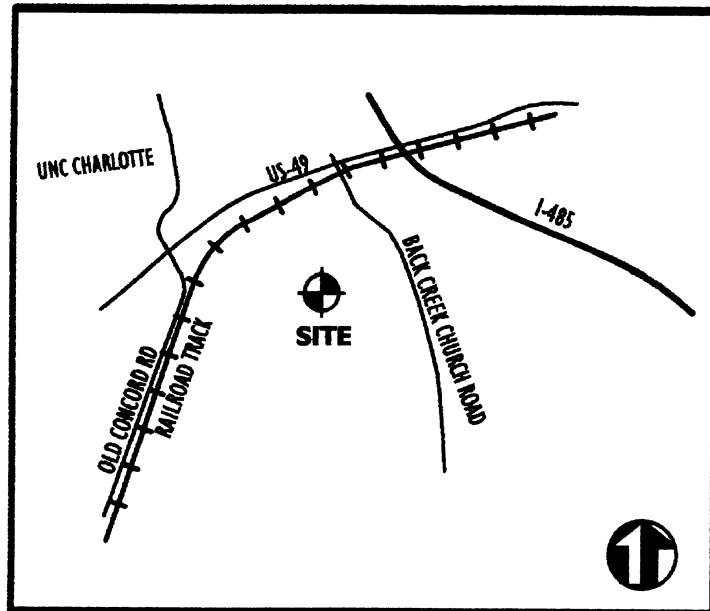
(b) The planned and funded improvements to the intersection of Back Creek Church Road and University City Boulevard (NC 49) to be constructed by NCDOT, which improvements are designated as Project No. P-5814 by NCDOT.

(c) (1) The construction of an additional northbound lane on Back Creek Church Road, such lane to extend from the intersection of Hanberry Drive and Back Creek Church Road to the intersection of Back Creek Church Road and University City Boulevard (NC 49) (the "Additional Lane"), the primary purpose of which is to provide a northbound dual left-turn lane, and the extension of the concrete median (the "Extended Median") that would be constructed as part of 2(b) above to a point north of the intersection of Hanberry Drive and Back Creek Church Road (such point to be determined by CDOT). The Additional Lane can utilize the pavement area that will be constructed in connection with the installation of the northbound left-turn lane on Back Creek Church Road at Hanberry Drive for shadowing that left-turn lane and creating the appropriate transition. During the design stage, CDOT will determine the final configuration and design of the Additional Lane (i.e. storage, taper, and etc.), the termination point of the Extended Median and the pavement markings and signage that will be required. Minor modifications to the foregoing concept may be required to maintain reasonable access to the church located on the eastern side of Back Creek Church Road.

(2) In connection with the construction of the Additional Lane and the Extended Median described above in paragraph 2(c)(1), the Petitioner will submit construction plans, including traffic control and pavement marking plans, for these improvements to CDOT and NCDOT for their review and approval. All traffic lanes on Back Creek Church Road must align appropriately with the existing lanes on Patton Boulevard. The improvements must be designed in accordance with all applicable design standards as determined by CDOT and NCDOT.

(3) The Petitioner is responsible for all costs associated with the construction of the Additional Lane and Extended Median and all other associated intersection and roadway modifications necessary as a result of the installation of the Additional Lane and Extended Median as determined by CDOT and NCDOT to include, but not be limited to, lane re-alignments; right-of-way acquisition/dedication; any railroad crossing/signal modifications; utility relocations; pavement markings; and traffic signal modifications.



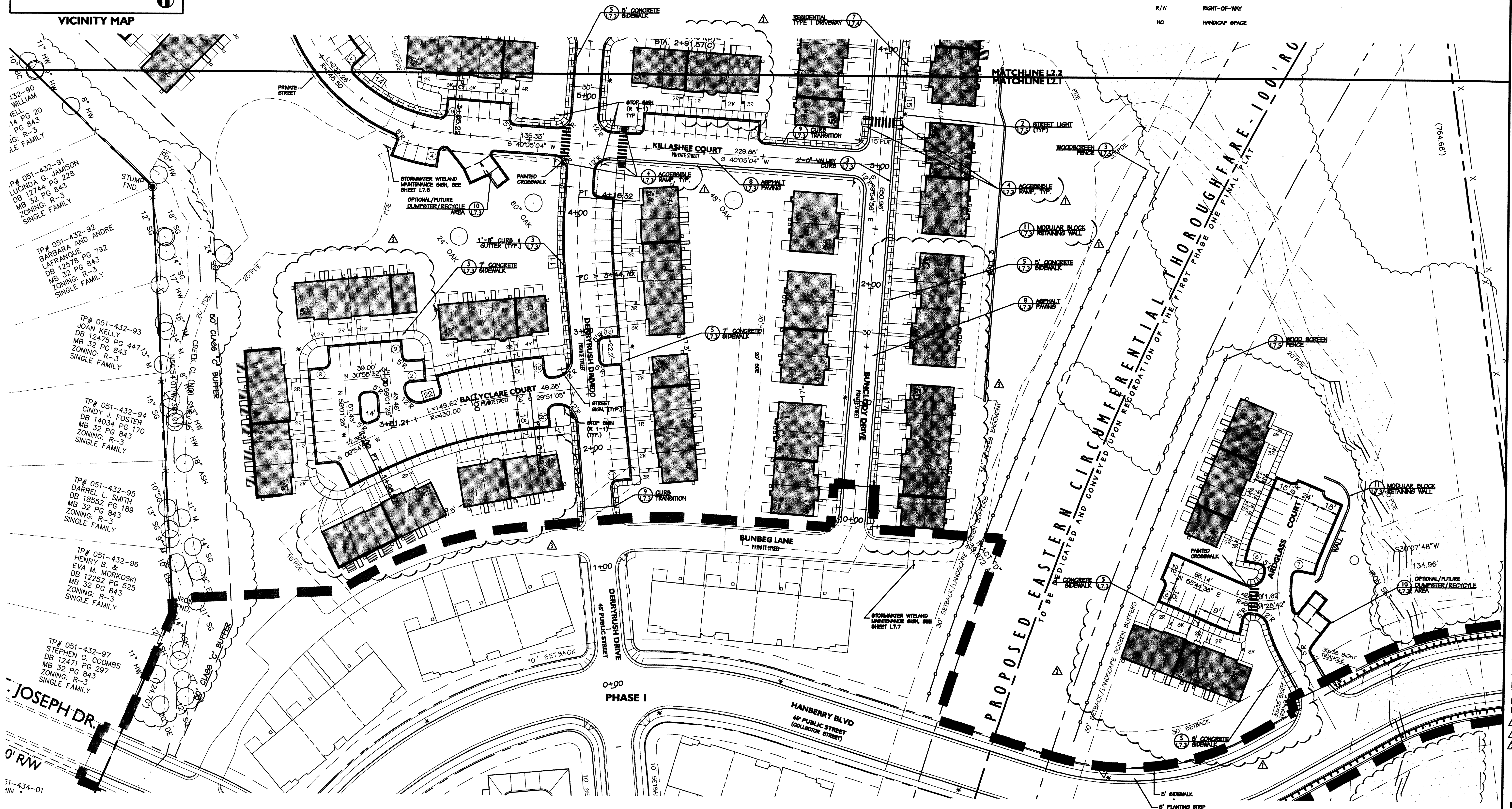


**ANGLED PARKING REQUIREMENT**

STREET:	PRIVATE STREET LENGTH:	PARKING LENGTH:	PARKING LENGTH %:
BUNCLDY	1218'	368'	30.2%
DERRYRUSH	436'	216'	49.2%
KILLASHEE	656'	266'	43.0%
CLOYNE	213'	88'	46.5%

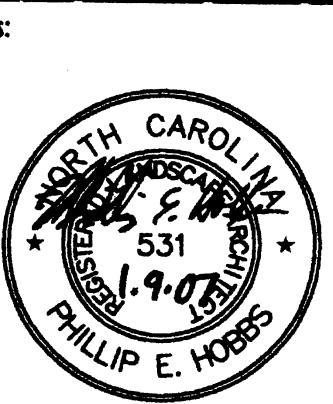
**LEGEND**

EXISTING SIGN	EXISTING TREE TO REMAIN
EXISTING IRON PIN	PROPOSED CURB AND GUTTER
EXISTING LIGHT POLE	PROPERTY LINE
EXISTING FIRE HYDRANT	CENTERLINE
EXISTING UTILITY POLE	LIGHT DUTY ASPHALT PAVING
EXISTING FENCE	PROPOSED CHAIN LINK FENCE
EXISTING UNDERGROUND ELECTRIC LINE	NUMBER OF PROPOSED PARKING SPACES
EXISTING OVERHEAD POWER LINE	
RIGHT-OF-WAY	
HANDICAP SPACE	



**SITE SOLUTIONS**

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Facsimile: 704-521-8955



**The Villages of Back Creek**  
**Phase Two**  
**Portrait Homes**  
Charlotte, North Carolina

Project No: 22898  
Drawn By: C. Coleman / P. Gorsuch  
Designed By: P. Hobbs  
Checked By: P. Hobbs  
Date: 8.29.2006

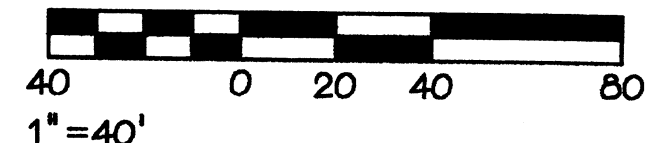
Revisions:

Rev. per comments	10.19.06
Rev. per comments	11.27.06
Addendum 1 - added units	1.9.07

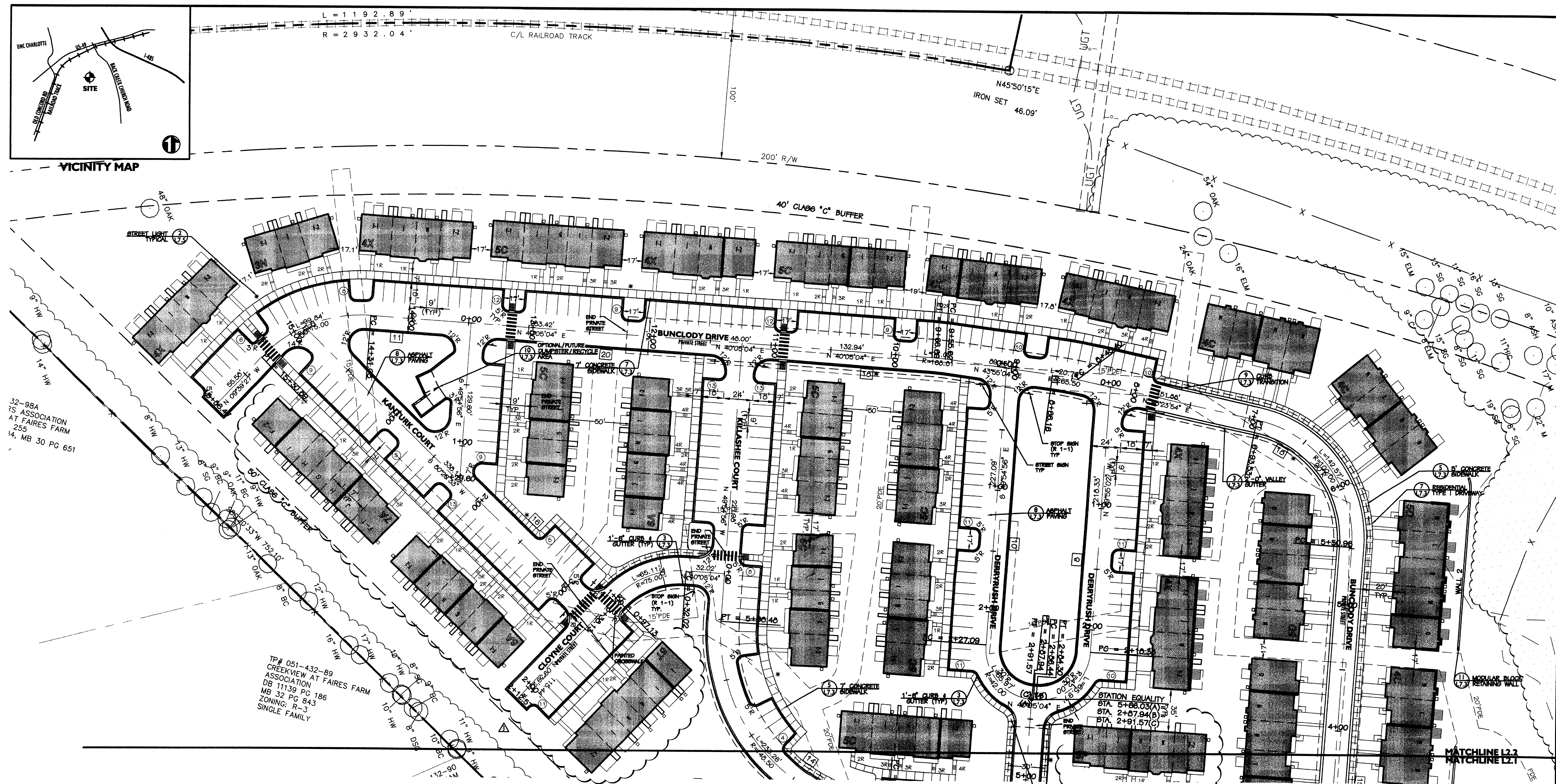
Sheet Title:

Site Plan

Sheet No: **L-2.1**





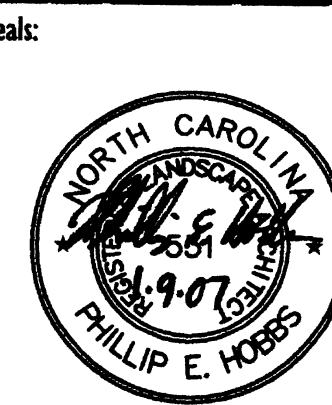


# SITE NOTES

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2000 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- COORDINATE ALL CURBS AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT PROP. EASTERN CIRCUMFERENTIAL THOROUGHFARE TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT OF WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA POBBANT, 704 338-2582, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA POBBANT, 704 338-2582, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORRIS, 704 338-3000 OR BOB STUBBS, 704 432-1562, FOR FURTHER INFORMATION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER GCLDS #50.05 (8" SIGNS ONLY)
- SITE TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE) CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.2% SLOPE ON THE CURBS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNSTRUCTURED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.6.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- SOLID WASTE WILL BE SERVICED FOR THIS COMMUNITY (THE ATTACHED UNITS) BY A PRIVATE HAULER. ROLL-OUT SERVICE. THE SINGLE FAMILY DETACHED AREAS WILL BE SERVICED BY THE CITY OF CHARLOTTE ROLL-OUT SERVICE. DUMPSTER AND RECYCLE AREAS SHOWN ARE FOR FURTHER INSTALLATIONS. SHOULD THE HOME OWNERS CHOOSE TO DISCONTINUE THE PRIVATE SERVICE.



2 3 2 0  
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Facsimile 704-521-8955



## The Villages of Back Creek Phase Two Portrait Homes Charlotte, North Carolina

Project No: 22898  
Drawn By: C. Coleman / P. Goruch  
Designed By: P. Hobbs  
Checked By: P. Hobbs  
Date: 8.29.2006

Revisions:  
Rev. per comments 10.19.06  
Addendum 1 - add units 1.9.07

Sheet Title:

Site Plan

Sheet No:  
**L-2.2**



