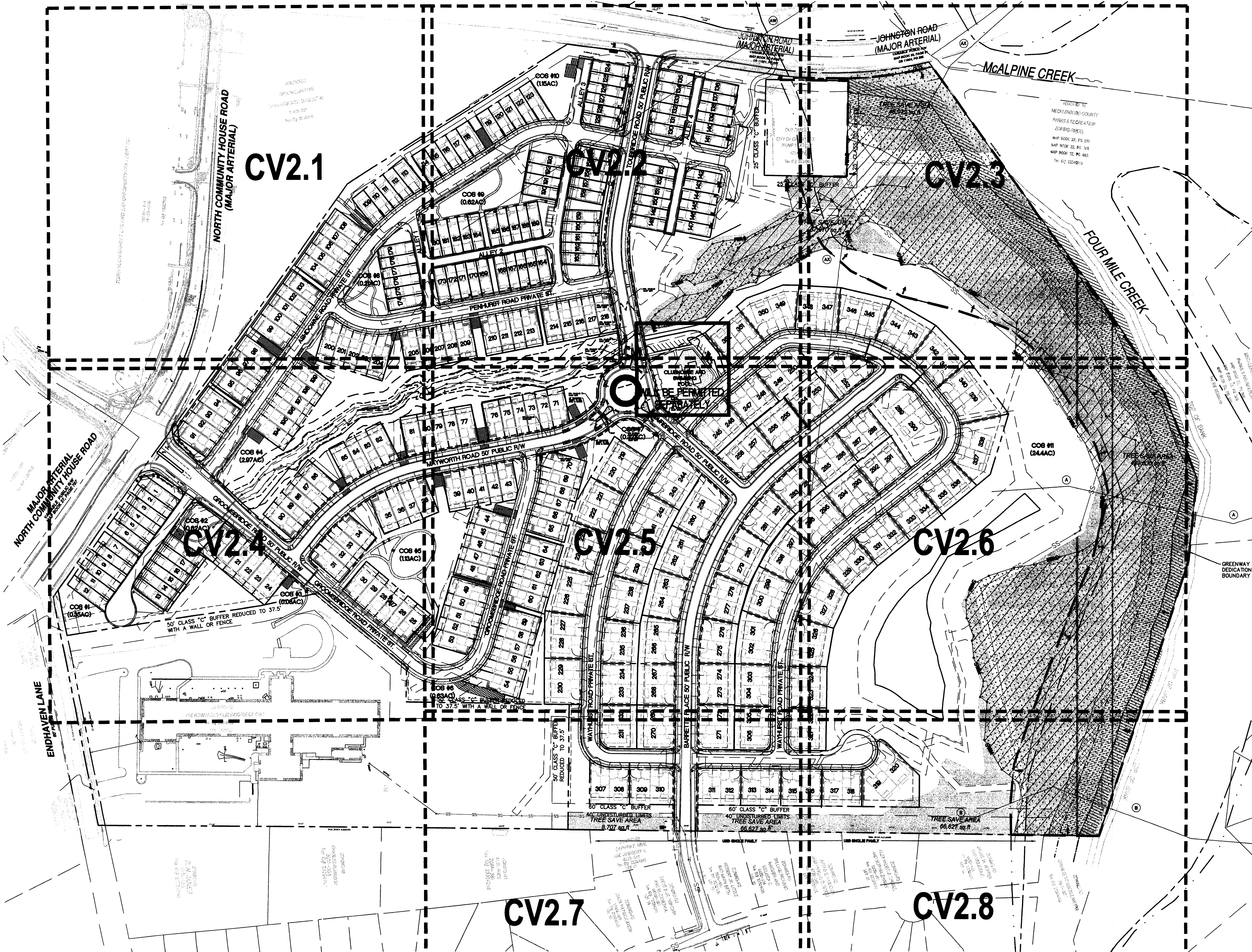


ORIGINAL



STAKING AND MATERIAL PLAN NOTES:

- CURB AND GUTTER VARIES AT CATCH BASIN LOCATION. SEE DETAIL 11/1V 7.0 FOR CATCH BASIN PLACEMENT AND CURB TRANSITIONS.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH AND VERIFY POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY COLEJENEST & STONE, P.A. IMMEDIATELY OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, OR CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- ALL RADI SHALL BE 20'-0" (B.O.C.) UNLESS OTHERWISE NOTED.
- ALL RADI SHALL BE 30'-0" (B.O.C.) FOR RESIDENTIAL COLLECTORS.
- STOP SIGNS SHALL BE R1-1 36"x36" ON PUBLIC STREETS AND 24"x24" ON PRIVATE STREETS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- DRIVEWAYS AND GARAGES ARE TO BE OF SUFFICIENT DEPTH (MIN. OF 20' FROM EDGE OF R/W) TO ENSURE THAT NO PARKING WILL OCCUR INSIDE OF R/W. NO OBSTRUCTION OF PUBLIC R/W OR SIDEWALK WILL BE ALLOWED. NO PARKING IS ALLOWED OVER PUBLIC SIDEWALKS.
- PIPE SYSTEMS AND OPEN CHANNELS ON PRIVATE PROPERTY SHALL BE PLACED IN A STORM DRAINAGE EASEMENT. STORM DRAINAGE EASEMENTS (PDE) SHALL BE A MINIMUM OF FIFTEEN FEET FOR PIPES AND TWENTY FEET FOR OPEN CHANNELS. ALL STORM DRAIN EASEMENTS ARE TO BE KEPT SEPARATE FROM ALL OTHER EASEMENTS EXCEPT WHERE AN OVERLAP IS APPROVED BY THE APPROPRIATE CITY ENGINEERING DEPARTMENT.
- ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY WILL REQUIRE A CERTIFICATE ISSUED BY CDOT.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLOS#800.09 (V) SIGNS ONLY.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- IN ROLLING AND HILLY TERRAINS, SWEeping OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THE INSPECTOR WILL ESTABLISH THESE REQUIREMENTS BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.

- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CALCULATION.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (PDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE LAND DEVELOPMENT INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE LAND DEVELOPMENT INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNDISTURBED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100-1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 7.200.8.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLANT RELOCATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- FOR PROJECTS IN CHARLOTTE, THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (DUS JORD, 336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- THE APPROXIMATE COMPLETION TIME OF THIS PROJECT IS DECEMBER 2010.
- TREE SAVE AREAS WILL BE RECORDED ON SUBDIVISION PLAT AND MAINTAINED BY HOMEOWNERS.
- COMMUNITY ENCROACHMENT LINE MUST BE MARKED AND MAINTAINED ON SITE UNTIL FINAL GRADING IS COMPLETED.

COS DATA:

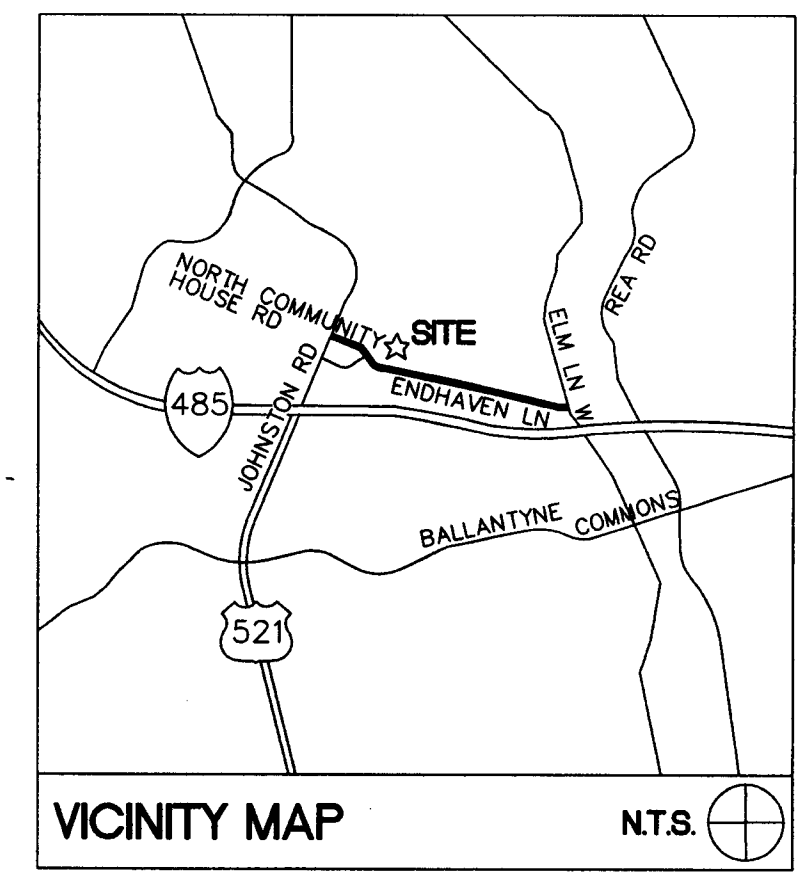
COS	AREA (AC.)
#1	0.35
#2	0.02
#3	0.08
#4	2.97
#5	1.13
#6	0.63
#7	0.32
#8	0.21
#9	0.62
#10	1.15
#11	24.4
#12	0.5
TOTAL:	32.98 >26 ACRES

TREE SAVE REQUIREMENTS

GROSS SITE ACREAGE: 70.47
ACREAGE OF EXISTING RIGHT-OF-WAYS (11.87AC) AND
UTILITY EASEMENTS (5.34AC) AND EXISTING
POND/LAKES (2.90AC): TOTAL 20.11 AC
GROSS SITE ACREAGE - EXISTING DEDICATED AREA: 70.47 AC - 20.11 AC = 50.36 AC
TREE SAVE REQUIRED (17.53%): 70.47 AC * 17.53% = 12.35 AC OR 550,000 SF
TREE SAVE PROVIDED (19.5%): 14.32 AC OR 623,779 SF

FLOOD HAZARD DATA TABLE

GROSS SECTION	1% ANNUAL CHANCE (100-YEAR) WATER SURFACE ELEVATION (FEET MSL)	
	EXISTING LAND USE CONDITIONS	FUTURE LAND USE CONDITIONS
AW	540.5	542.4
AX	540.7	542.6
A	540.6 ¹	542.6 ¹
B	540.6 ¹	542.6 ¹



SURVEY DISCLAIMER
SURVEY FOR THE BRIDGES PREPARED BY R.B. PHARR & ASSOCIATES, P.A. 428 HAWTHORNE LANE, CHARLOTTE, NC 28204 (704) 376-2186 REVISED 10/27/05 FILE # W-3064
SEALED BY E. DANIEL WOOTEN

ZONING CODE SUMMARY

PROJECT NAME: THE BRIDGES
OWNER: CENTEX HOMES
PLANS PREPARED BY: COLEJENEST & STONE
PARCEL NUMBERS: 223-481 - 01, 02, AND 03
ZONING: MX-2 INNOVATIVE (2008-108) JURISDICTION: CHARLOTTE
PROPOSED USE: 216 TOWNHOMES FOR SALE / 134 DUPLEX UNITS FOR SALE
BUILDING HEIGHT: 40' MAX
LOT SIZE: 3,199,917 SF (73.46 AC)
DENSITY: 4.79 DUA (15.88 DUA MAX)
MIN 400 MIN. SUBLOT PER UNIT FOR PRIVATE OPEN SPACE
STORIES: 2-3
NUMBER OF UNITS/SUITES: 352
216 TOWNHOMES FOR SALE + 134 DUPLEX UNITS FOR SALE
YARD REQUIREMENTS:
PURSUANT TO SECTION 12.308 OF THE ORDINANCE, THE PETITIONER SEEMS TO OBTAIN THE APPROVAL OF THE USE OF THE FOLLOWING INNOVATIVE DEVELOPMENT STANDARDS CONCURRENTLY WITH THE APPROVAL OF THIS REZONING PETITION:
MINIMUM SETBACK ALONG INTERNAL PUBLIC STREETS: 5 FEET
MINIMUM SETBACK ALONG EXTERNAL PUBLIC STREETS: 15 FEET
REAR YARD (INTERNAL): 15 FEET
REAR YARD (EXTERNAL-ADJACENT TO EXISTING RESIDENTIAL): 15 FEET
REAR YARD (EXTERNAL-ADJACENT TO EXISTING COMMERCIAL): 25 FEET
MINIMUM BUILDING SEPARATION BETWEEN DUPLEX BUILDINGS: 5 FEET
MINIMUM BUILDING SEPARATION BETWEEN TOWNHOME BUILDINGS: 10 FEET
DUPLEX MINIMUM LOT SIZE: 8000 SF

SWM BUFFER REQUIREMENTS

AREA BETWEEN THE FEMA FLOOD FRIDGE LINE & THE 100' SWM BUFFER LINE: 750,258 SF
50% OF AREA = 375,129 SF (REQUIRED)
50% OF AREA = 375,129 SF (PROVIDED)

REQUIRED BUFFERS

AS SHOWN ON REZONING R240

REQUIRED SCREENING

SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.309 OF THE ORDINANCE.

ANY DUMPSTERS LOCATED WITHIN THE SITE THAT ARE VISIBLE FROM A PUBLIC STREET OR FROM AN EXTERNAL ADJACENT PARCEL OF LAND WILL BE SCREENED FROM VIEW BY A SOLID-ENCLOSURE WITH GATES.

SIDE (R) PARKING AND SERVICE ONLY: AS SHOWN - SEE CODE PLANTING PLAN SHEET, CV2.0-5.8

PAVEMENT COVERAGE: 7.7% (248,351 - 5.70 ACRES)

INTERIOR LANDSCAPING REQUIRED: SEE CODE PLANTING PLAN SHEET CV2.0-5.8 N/A PROVIDED:

PARKING DATA (SPECIFY REQUIREMENT, ZONING ORDINANCE AND SECTION NUMBER) per Charlotte Code, Section 8-408 - SINGLE FAMILY ATTACHED MIN 1.5 spaces per unit, 252' - DUPLEX MIN: 2 spaces per unit, 258'

REQUIRED: 895 PROVIDED: 739 HANDICAP: N/A COMPACT: N/A CARPOOL: N/A LOADING SPACES: N/A

BIKE PARKING REQUIREMENTS

REQUIRED: N/A PROVIDED: N/A

SOLID WASTE REQUIREMENTS

TOWNHOMES: SOLID WASTE REQUIREMENTS: REQUIRED: 8 CU. YD. COMPACTOR OR 80 CU. YD. COMPACTOR/80 UNITS OR 350/80-811 + 8 = 358.80 CU. YDS

PROVIDED: (1) 40 CU. YD. COMPACTOR

RECYCLING STATION REQUIREMENTS

REQUIRED: 144 SF STATION PER 80 UNITS - 5 RECYCLING STATIONS PROVIDED: FIVE 144 F RECYCLING STATIONS (720 SF TOTAL)

GREENWAY DEDICATION: 10.21 AC

NOTE:

1. PER THE CONDITIONAL ZONING 2006-108, SINCE THE VEHICULAR CONNECTION TO BARRETTE PLACE IS PROPOSED, THE DEVELOPER NEEDS TO SUBMIT A CHECK TO CDOT FOR \$10,000 PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST DWELLING UNIT CONSTRUCTED ON THE PROPOSED SITE. THE \$10,000 WILL APPLY TO THE COST OF INSTALLING FOUR SPEED BUMPS ON ROUGE MOUNT LANE SUBJECT TO THE WARRANT FOR THE INSTALLATION OF SPEED BUMPS AND RESIDENTS SUBMITTING THE REQUIRED APPLICATION FOR THE SPEED BUMPS TO CDOT WITHIN 7 YEARS OF THE DATE OF PAYMENT.

2. 2' SIDEWALK EASEMENT WILL BE PROVIDED FOR PORTIONS OF THE SIDEWALK LOCATED OUTSIDE OF THE PUBLIC RIGHTS-OF-WAY

3. FOR OFF-SITE DETENTION FACILITIES THE RECORDED FLOODWAY THROUGH AN EASEMENT, THE RECORDED MAP MUST HAVE A NOTE STATING THE PURPOSE OF THE DETENTION EASEMENT IS TO PROVIDE STORM WATER DETENTION FOR LOTS 1-352. THE PIPES AND/OR CHANNEL LOCATED WITHIN THE PERMANENT DETENTION EASEMENT AND LEADING TO THE DETENTION FACILITY CARRY UNRESTRICTED STORM WATER FLOW FROM THE DEVELOPED UPSTREAM LOTS 1-352.

4. FOR STORM WATER RELEASED TO REGULATED FLOODWAY THROUGH AN EASEMENT, THE RECORDED MAP MUST HAVE A NOTE STATING THE PURPOSE OF THE PERMANENT DETENTION EASEMENT IS TO ALLOW STORM WATER RELEASE DIRECTLY TO REGULATED FLOODWAY IN LIEU OF ON-SITE STORM WATER DETENTION. THE PIPES AND/OR CHANNELS LOCATED WITHIN THE PERMANENT DETENTION EASEMENT AND LEADING TO THE REGULATED FLOODWAY CARRY UNRESTRICTED STORM WATER FLOW FROM THE DEVELOPED UPSTREAM LOTS CATHOLIC DIOCESE PROPERTY.

APPROVED FOR CONSTRUCTION CMPC 9/1/07

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THE BRIDGES

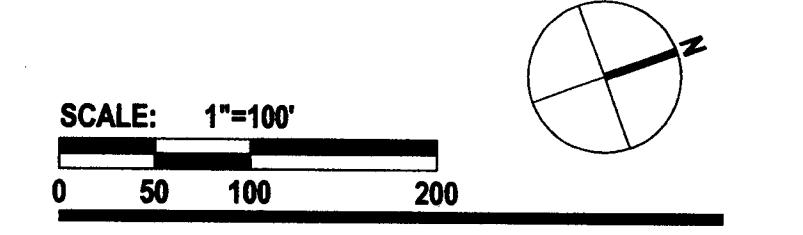
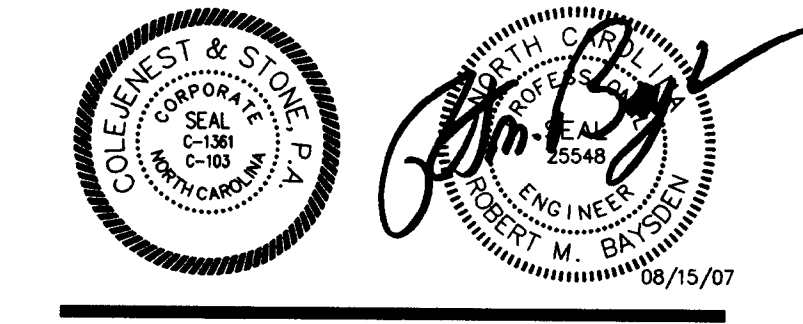
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STAKING AND MATERIALS PLAN SHEET INDEX

Project No.
3584
Issued
02/02/07

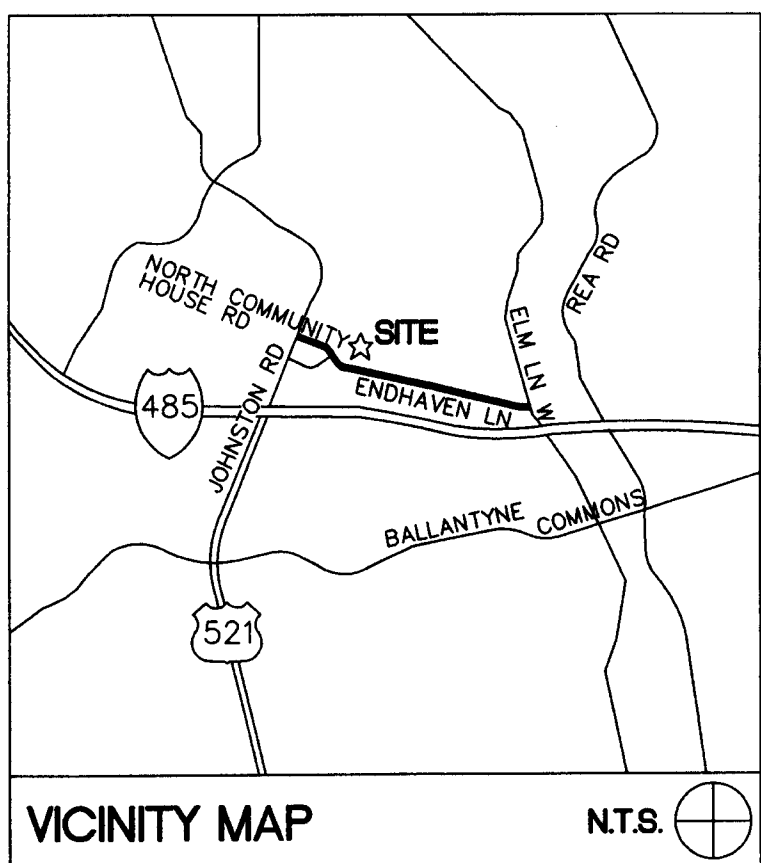
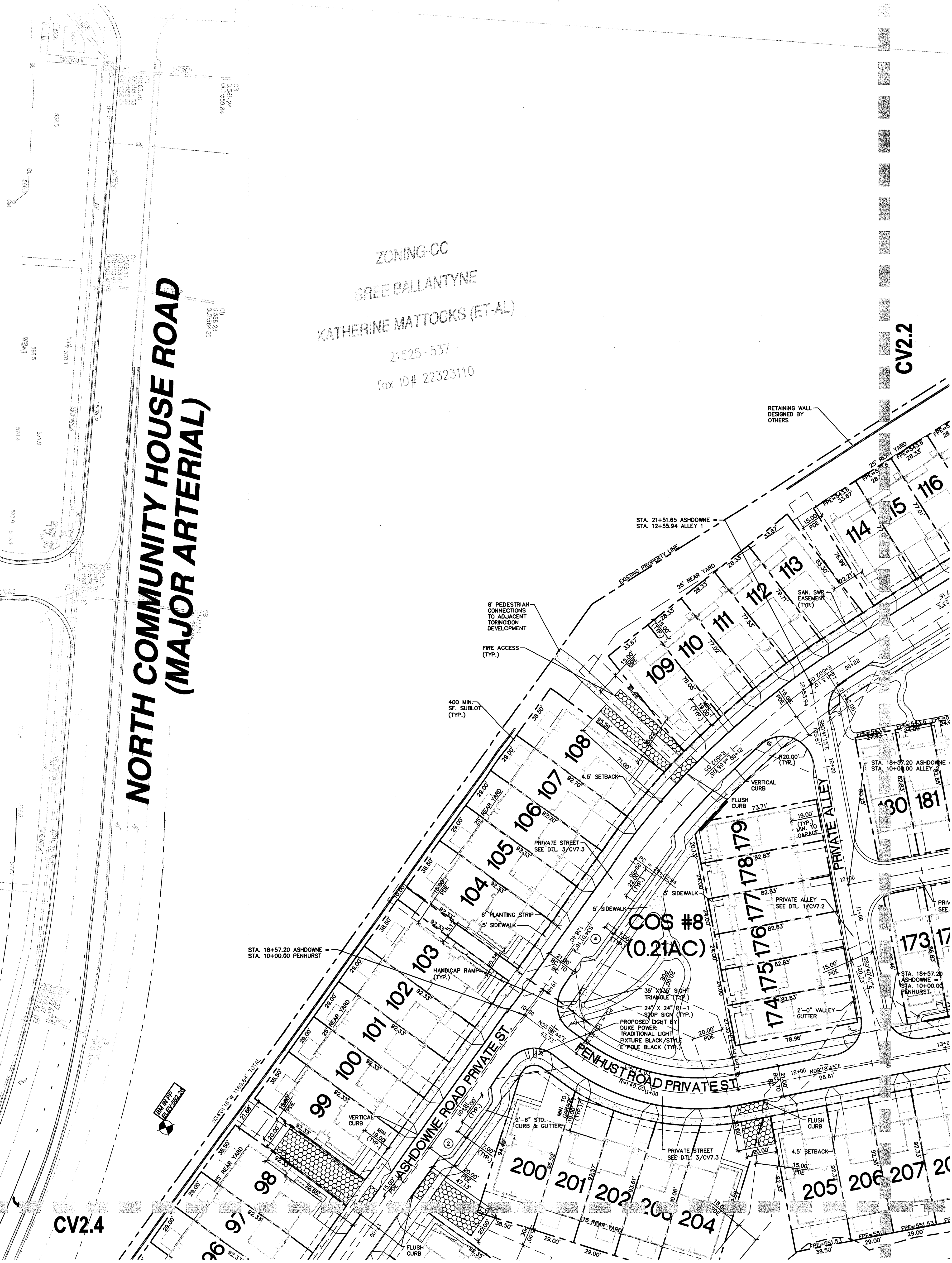
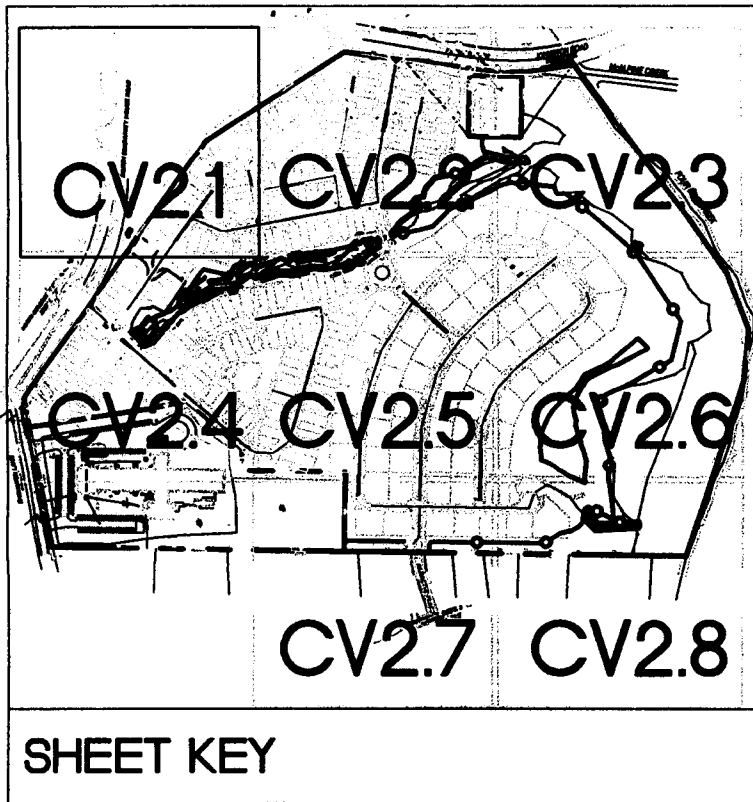
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CV2.0

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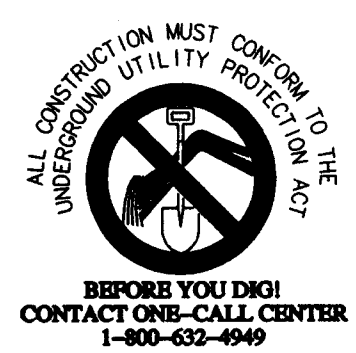
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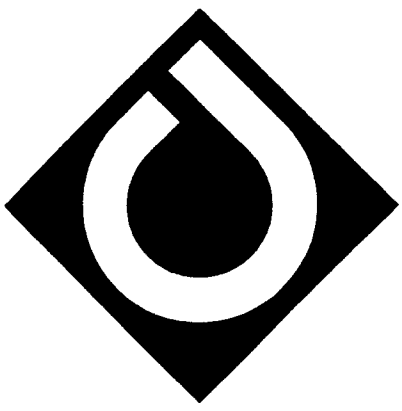
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LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK
	PROPOSED ACCESSIBLE RAMP
	PROPOSED SIGN
	PROPOSED STOP SIGN
	GRASS PAVE FIRE ACCESS
	PROPOSED 2'-0" VALLEY GUTTER AND GUTTER
	PROPOSED 2'-6" STANDARD CURB AND GUTTER
	PROPOSED VERTICAL CURB
	TREE SAVE AREA & TREE PROTECTION FENCING
	NUMBER OF SPACES
	FUTURE CONDITIONS FLOOD FRINGE LINE
	PROPOSED FEMA FLOOD FRINGE LINE
	COMMUNITY ENCROACHMENT LINE (1')
	FEMA FLOODWAY ENCROACHMENT LINE (5')
	30' STREAM SIDE ZONE (UNDISTURBED)
	45' MANAGED USE ZONE
	25' UPLAND ZONE
	50% BUFFER ADDITION
	PEDESTRIAN SCALE LIGHTING
	13.21 AC. GREENWAY DEDICATION AREA, TO BE DEDICATED AND CONVEYED TO MECK. CO. PRIOR TO THE RECORDATION OF THE FINAL PLATS FOR MORE THAN 200 DWELLING UNITS ON THE SITE.

NOTE: ONLY PATIOS AND DRIVEWAYS AT GRADE ARE ALLOWED IN THE REAR YARDS.



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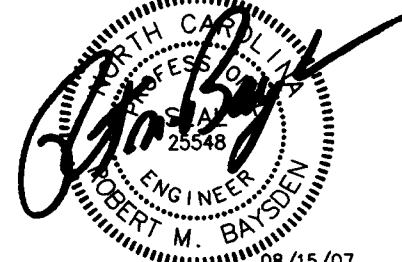
STAKING AND MATERIALS PLAN

Project No.
3584

Issued
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Revised

04/12/07 PER CITY REDLINES
06/22/07 PER CITY REDLINES
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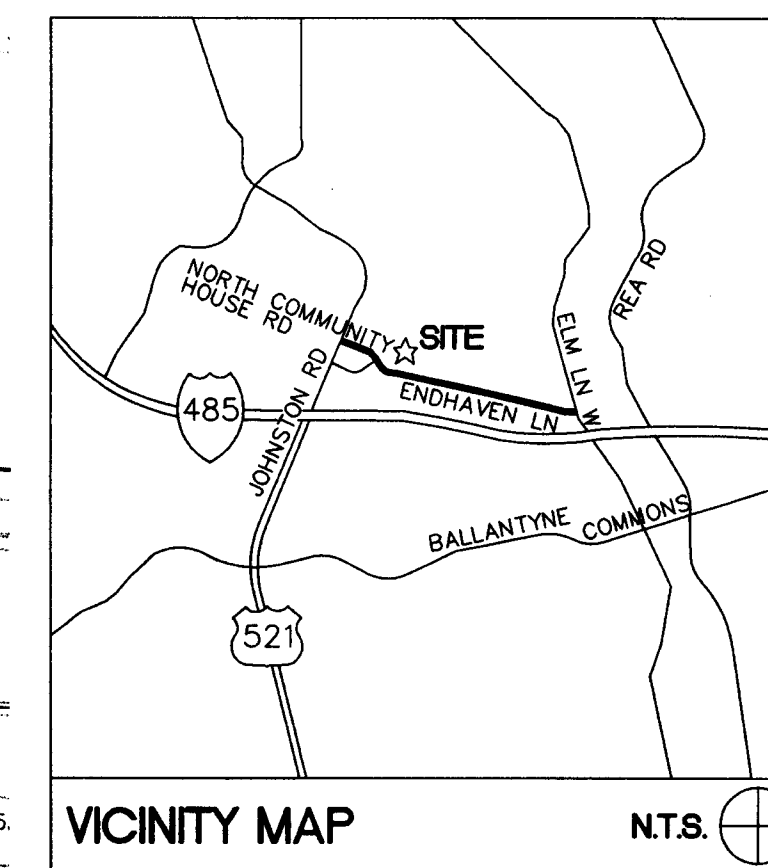


SCALE: 1"=30'

CV2.1

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28204 (704) 376-2186 REVISED 10/27/05 FILE# W-3064
SEALED BY E. DANIEL WOOTEN

LEGEND		
SYMBOL		DETAIL
	PROPOSED SIDEWALK	CLDS #10.22
	PROPOSED ACCESSIBLE RAMP	12/CV7.0
	PROPOSED SIGN	CLDS #50.10A, B, C
	PROPOSED STOP SIGN	-/-
	GRASS PAVE FIRE ACCESS	12/CV7.2
	PROPOSED 2'-0" VALLEY GUTTER AND GUTTER	CLDS #10.17B
	PROPOSED 2'-6" STANDARD CURB AND GUTTER	CLDS #10.17A
	PROPOSED VERTICAL CURB	CLDS #10.18
	TREE SAVE AREA & TREE PROTECTION FENCING	-/-
	NUMBER OF SPACES	
	FUTURE CONDITIONS FLOOD FRINGE LINE	
	PROPOSED FEMA FLOOD FRINGE LINE	
	COMMUNITY ENCROACHMENT LINE (.1')	
	FEMA FLOODWAY ENCROACHMENT LINE (.5)	
	30' STREAM SIDE ZONE (UNDISTURBED)	
	45' MANAGED USE ZONE	
	25' UPLAND ZONE	
	50% BUFFER ADDITION	
	PEDESTRIAN SCALE LIGHTING	DUKE POWER TRADITIONAL FIXTURE/STYLE E POLE (BLACK)
	13.21 AC. GREENWAY DEDICATION AREA, TO BE DEDICATED AND CONVEYED TO MECK. CO. PRIOR TO THE RECORDATION OF THE FINAL PLATS FOR MORE THAN 250 DWELLING UNITS ON THE SITE	

NOTES:

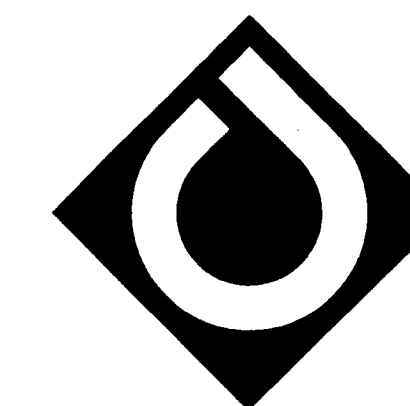
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STAKING AND MATERIALS PLAN

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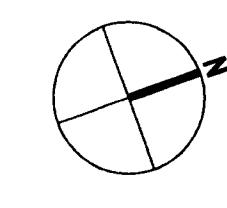
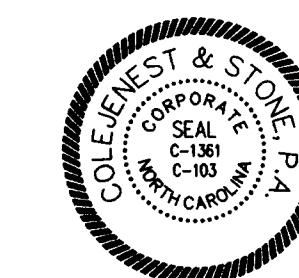
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SCALE: 1"=30'

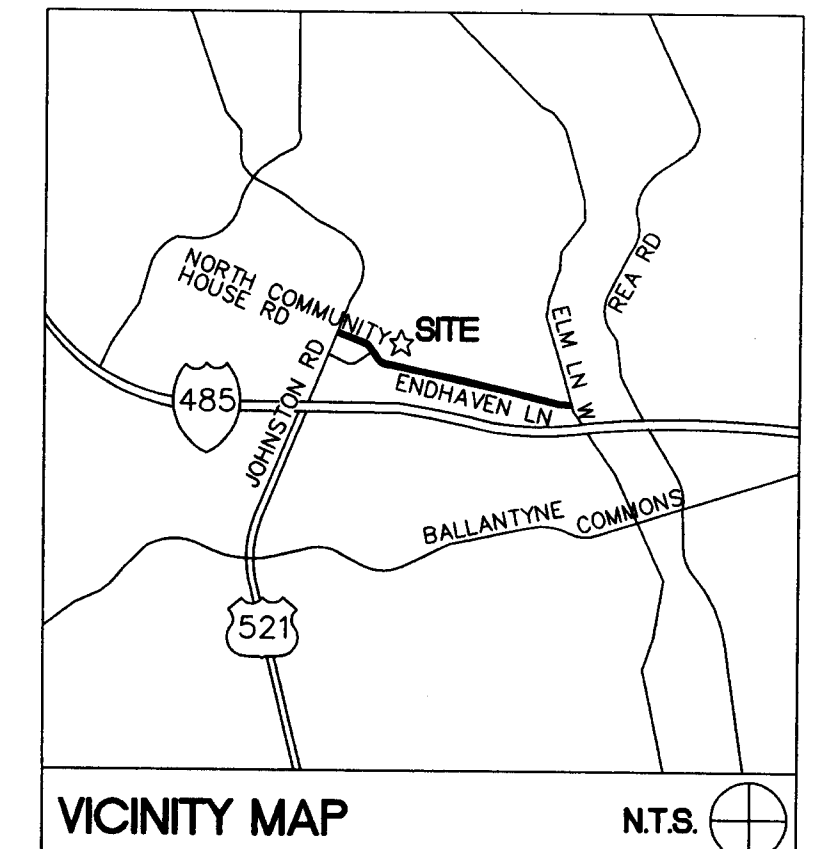
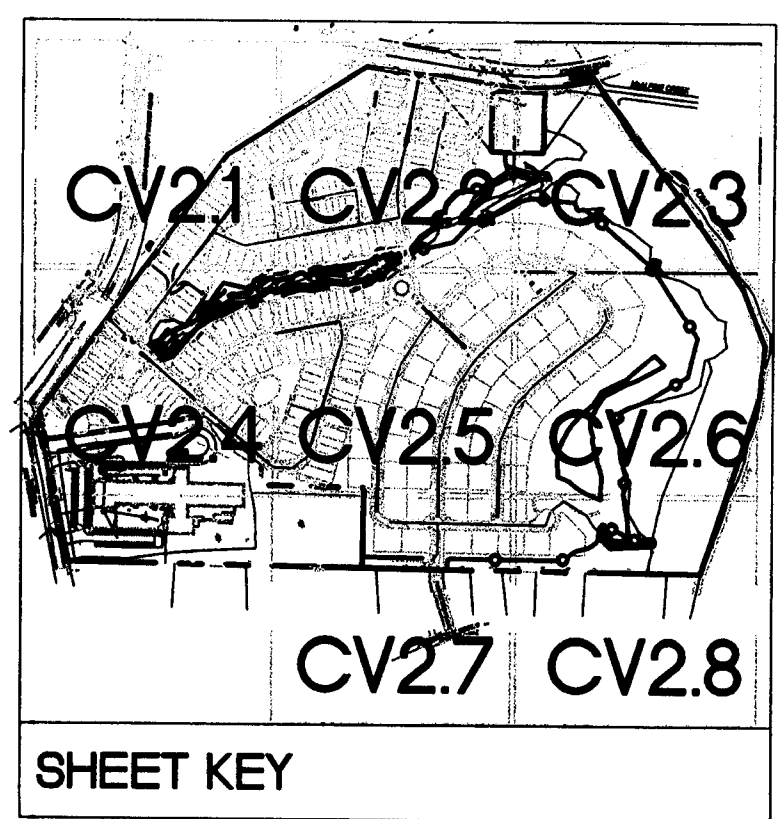
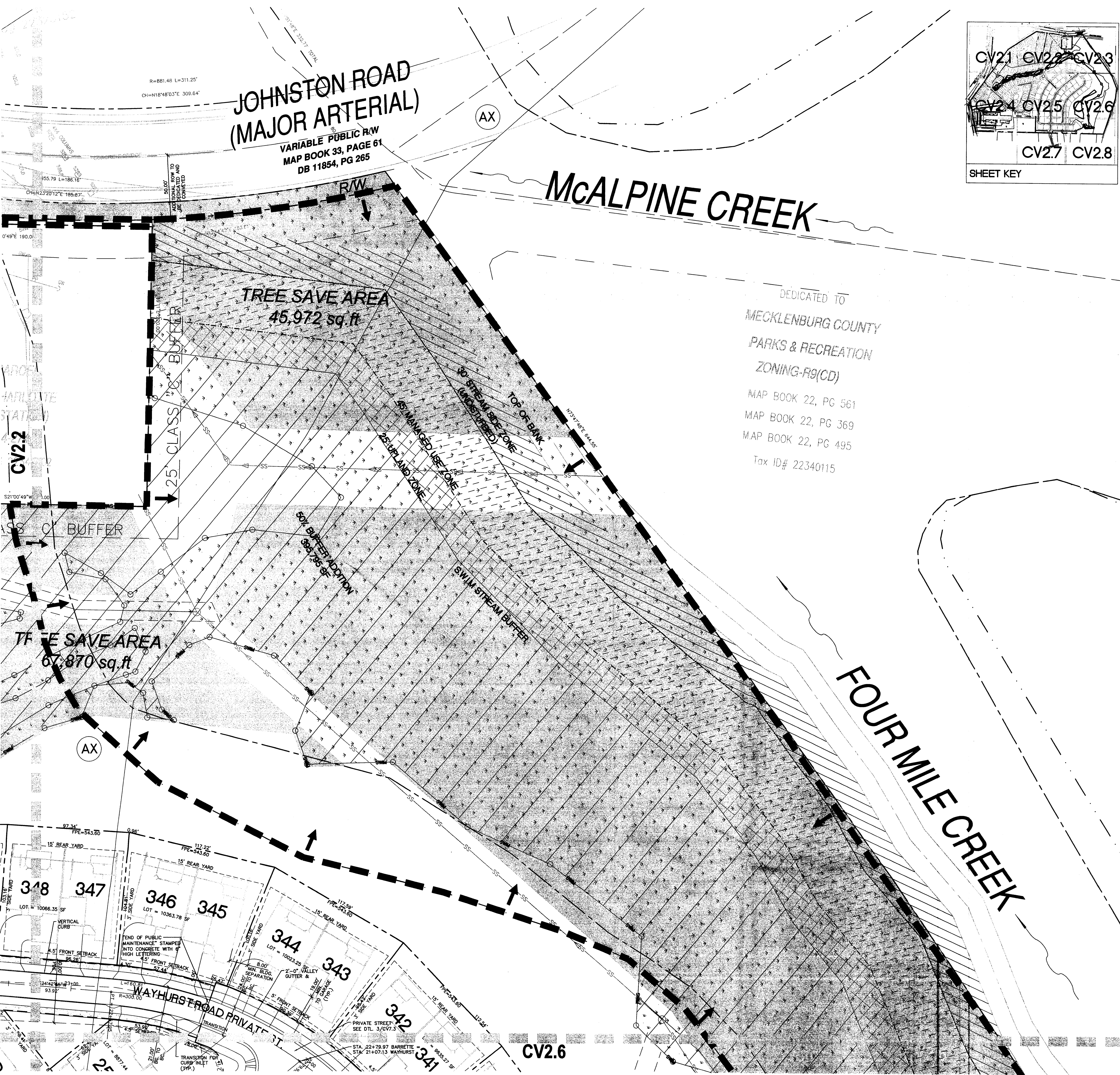


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CV2.2

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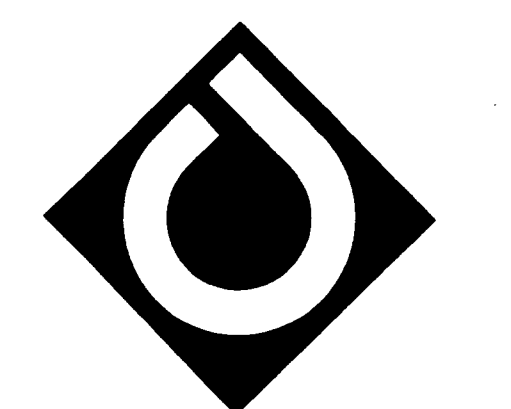
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SYMBOL	DETAIL
	CLDS #10.22
	12/CV7.0
	CLDS #50.10A, B, C
	-/-
	12/CV7.2
	CLDS #10.17B
	CLDS #10.17A
	CLDS #10.18
	-/-
	DUKE POWER TRADITIONAL FIXTURE/STYLE E POLE (BLACK)
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 - SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



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Suite 400
Charlotte, NC 28217

THE BRIDGES

Johnston Road
Charlotte
North Carolina

Tax Parcels - 223-481 - 01, 02 and 03

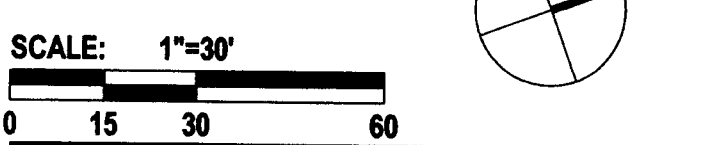
STAKING AND MATERIALS PLAN

Project No.
3584

Issued
02/02/07

Revised

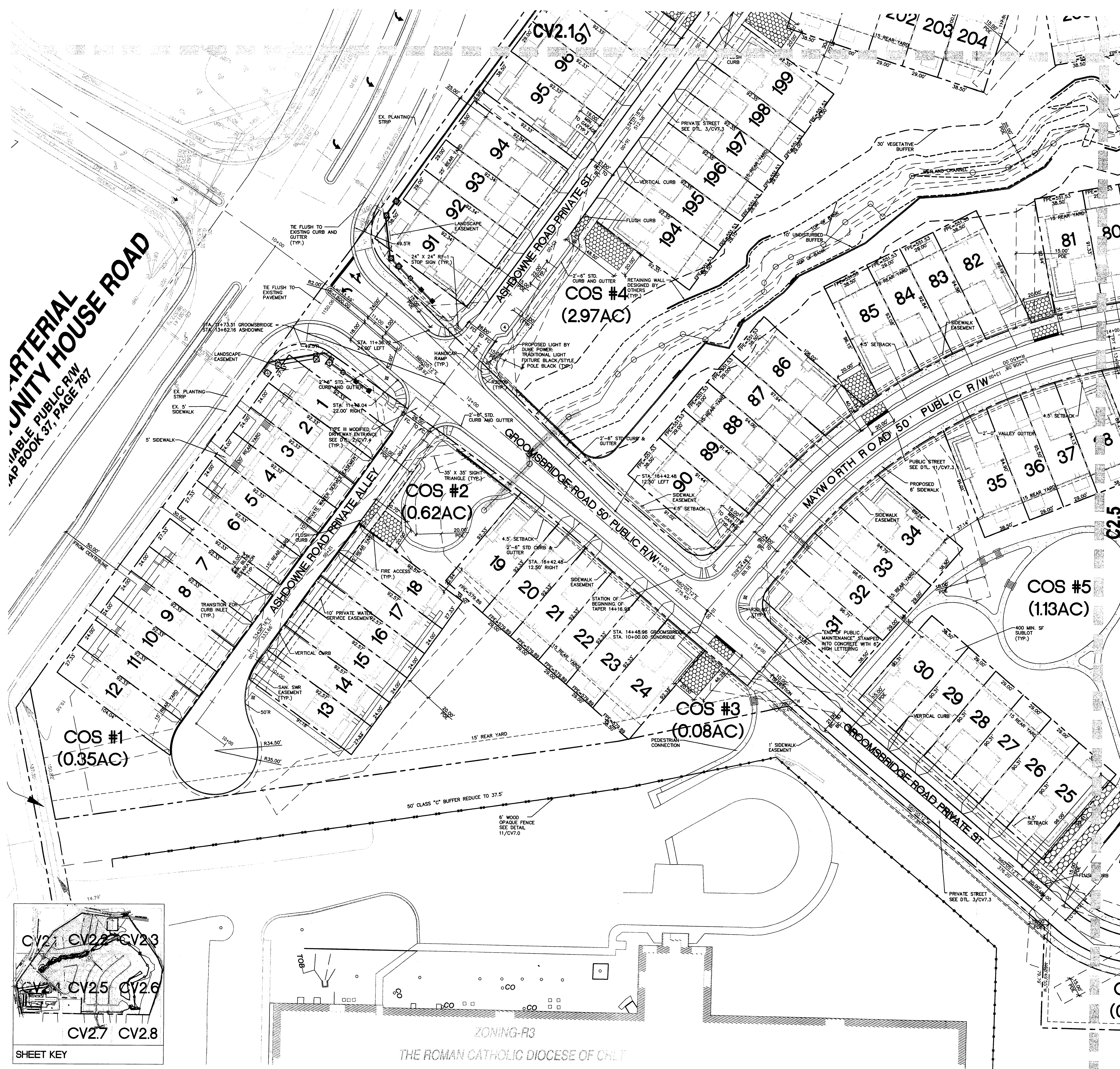
04/12/07 PER CITY REDLINES
06/22/07 PER CITY REDLINES
08/15/07 PER CITY REDLINES

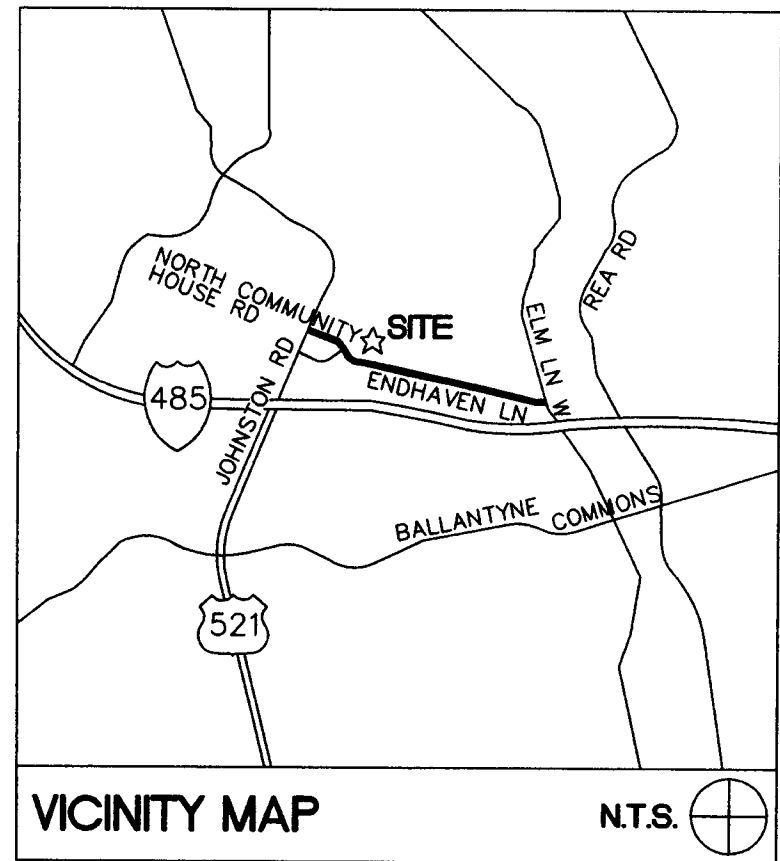
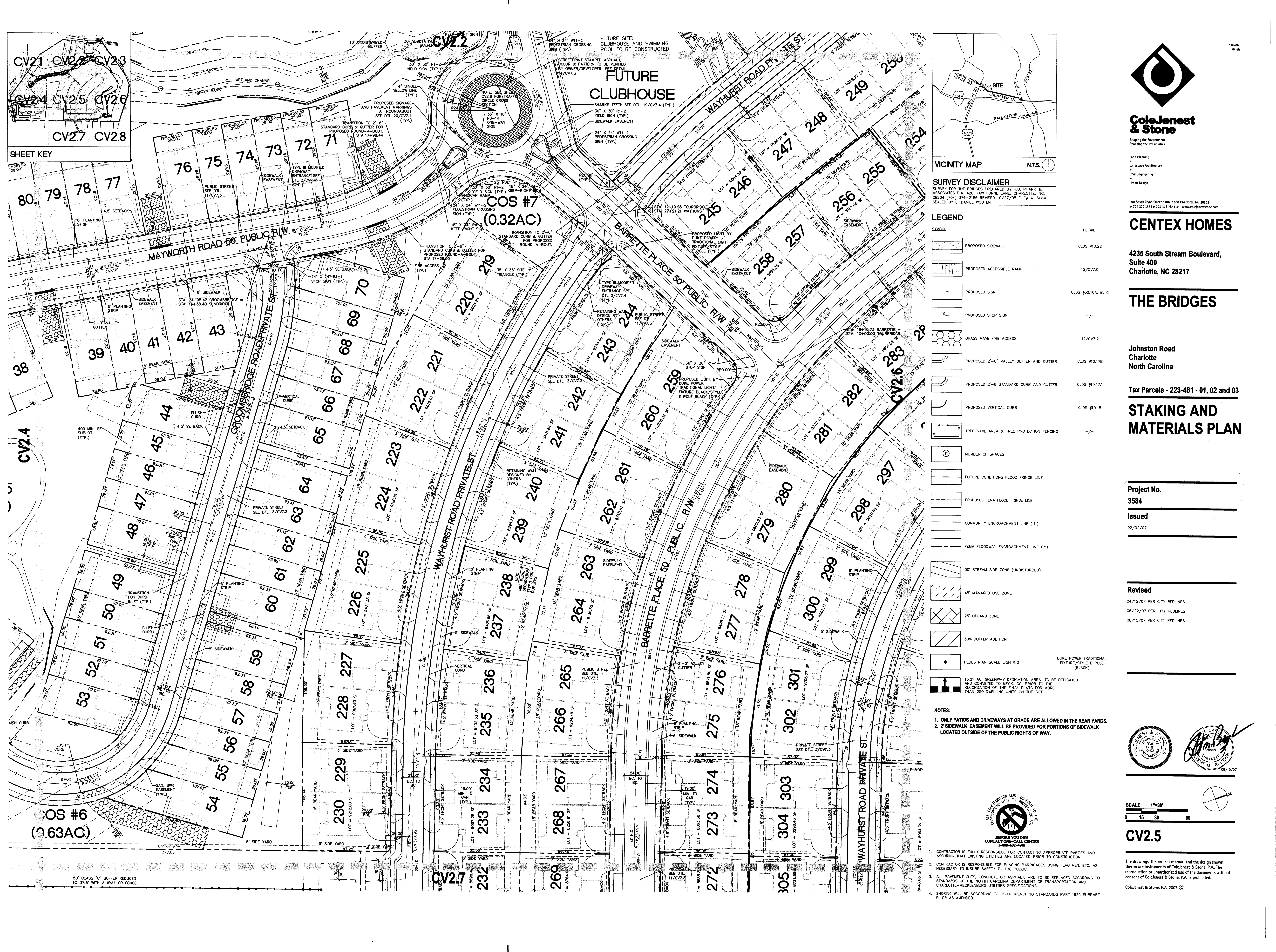


CV2.3

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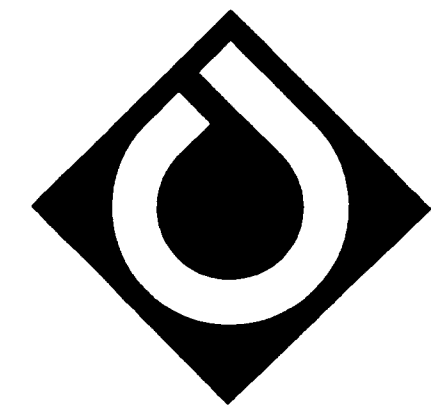




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SEAL BY E. DANIEL WOOTEN

SYMBOL	DETAIL
	PROPOSED SIDEWALK CLDS #10.22
	PROPOSED ACCESSIBLE RAMP 12/CV7.0
	PROPOSED SIGN CLDS #50.10A, B, C
	PROPOSED STOP SIGN --/--
	GRASS PAVE FIRE ACCESS 12/CV7.2
	PROPOSED 2'-0" VALLEY GUTTER AND GUTTER CLDS #10.17B
	PROPOSED 2'-6" STANDARD CURB AND GUTTER CLDS #10.17A
	PROPOSED VERTICAL CURB CLDS #10.18
	TREE SAVE AREA & TREE PROTECTION FENCING --/--
	NUMBER OF SPACES
	FUTURE CONDITIONS FLOOD FRINGE LINE
	PROPOSED FEMA FLOOD FRINGE LINE
	COMMUNITY ENCROACHMENT LINE (.1')
	FEMA FLOODWAY ENCROACHMENT LINE (.5')
	30' STREAM SIDE ZONE (UNDISTURBED)
	45' MANAGED USE ZONE
	25' UPLAND ZONE
	50% BUFFER ADDITION
	PEDESTRIAN SCALE LIGHTING
	DUKE POWER TRADITIONAL FIXTURE/STYLE E POLE (BLACK)
	13.21 AC. GREENWAY DEDICATION AREA, TO BE DEDICATED AND CONVEYED TO MECK. CO. PRIOR TO THE RECORDATION OF THE FINAL PLATS FOR MORE THAN 250 DWELLING UNITS ON THE SITE.

- NOTES:**
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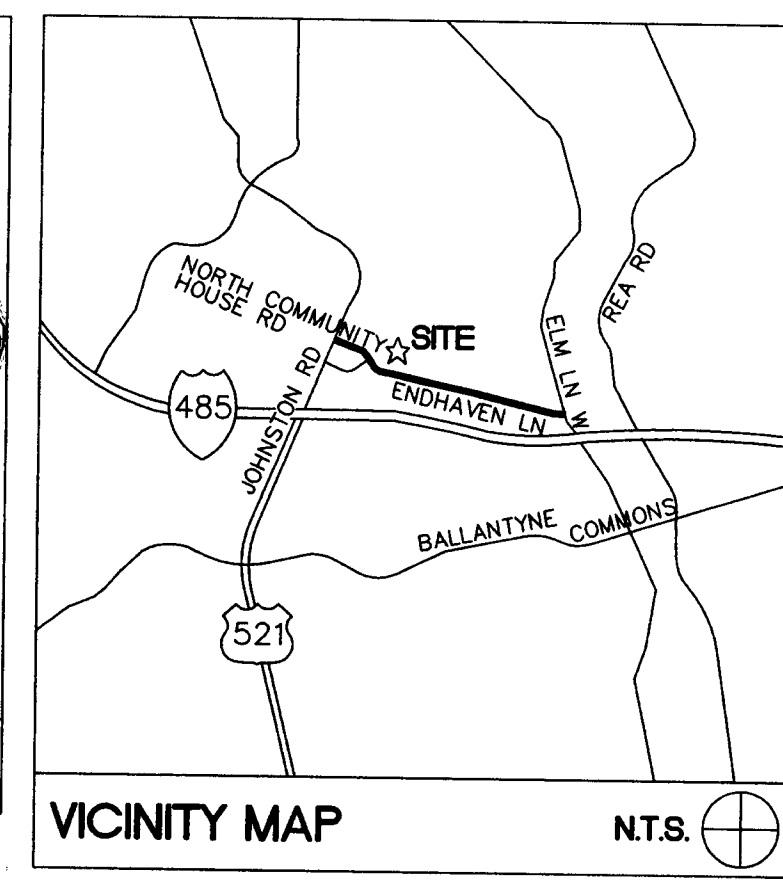
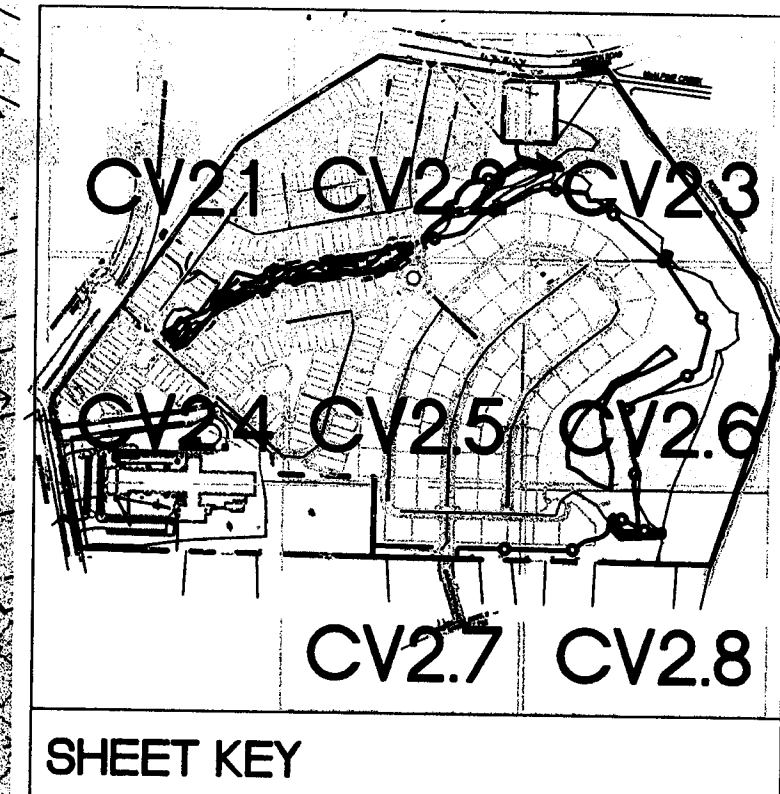
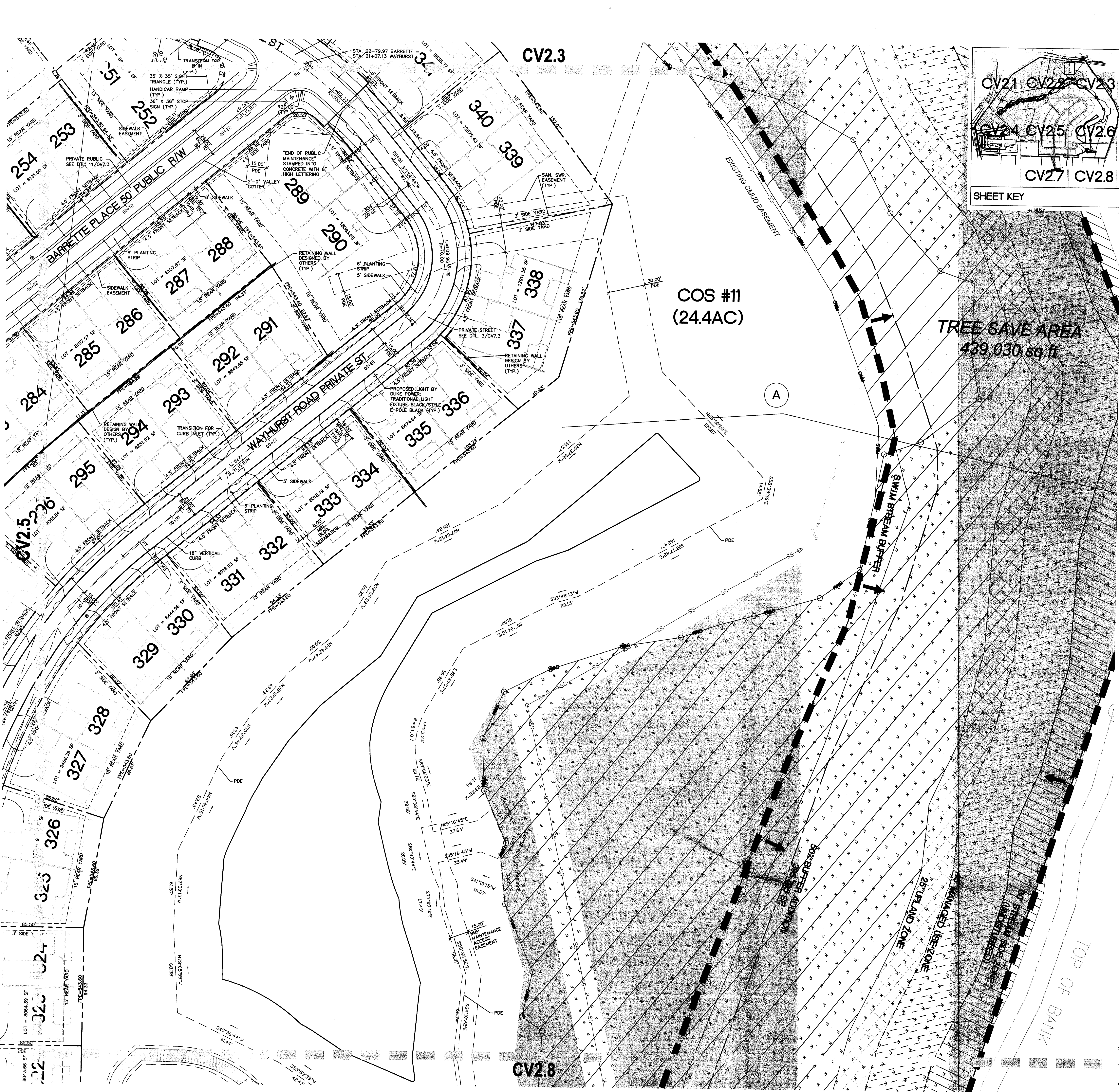


SCALE: 1"=30'
0 15 30 60

CV2.5

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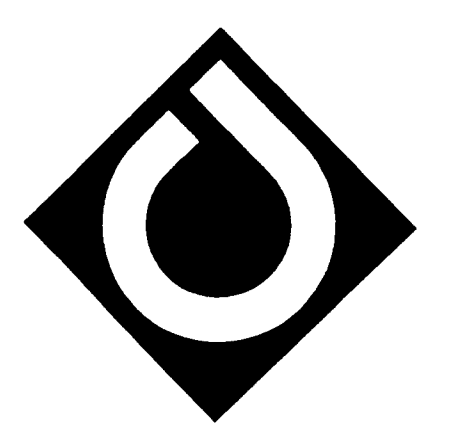
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LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK
	PROPOSED ACCESSIBLE RAMP
	PROPOSED SIGN
	PROPOSED STOP SIGN
	GRASS PAVE FIRE ACCESS
	PROPOSED 2'-0" VALLEY GUTTER AND GUTTER
	PROPOSED 2'-6" STANDARD CURB AND GUTTER
	PROPOSED VERTICAL CURB
	TREE SAVE AREA & TREE PROTECTION FENCING
	NUMBER OF SPACES
	FUTURE CONDITIONS FLOOD FRINGE LINE
	PROPOSED FEMA FLOOD FRINGE LINE
	COMMUNITY ENCROACHMENT LINE (1')
	FEMA FLOODWAY ENCROACHMENT LINE (.5)
	30' STREAM SIDE ZONE (UNDISTURBED)
	45' MANAGED USE ZONE
	25' UPLAND ZONE
	50% BUFFER ADDITION
	PEDESTRIAN SCALE LIGHTING
	13.21 AC. GREENWAY DEDICATION AREA, TO BE DEDICATED AND CONVEYED TO MECK. CO. PRIOR TO THE RECORDATION OF THE FINAL PLATS FOR MORE THAN 250 DWELLING UNITS ON THE SITE.

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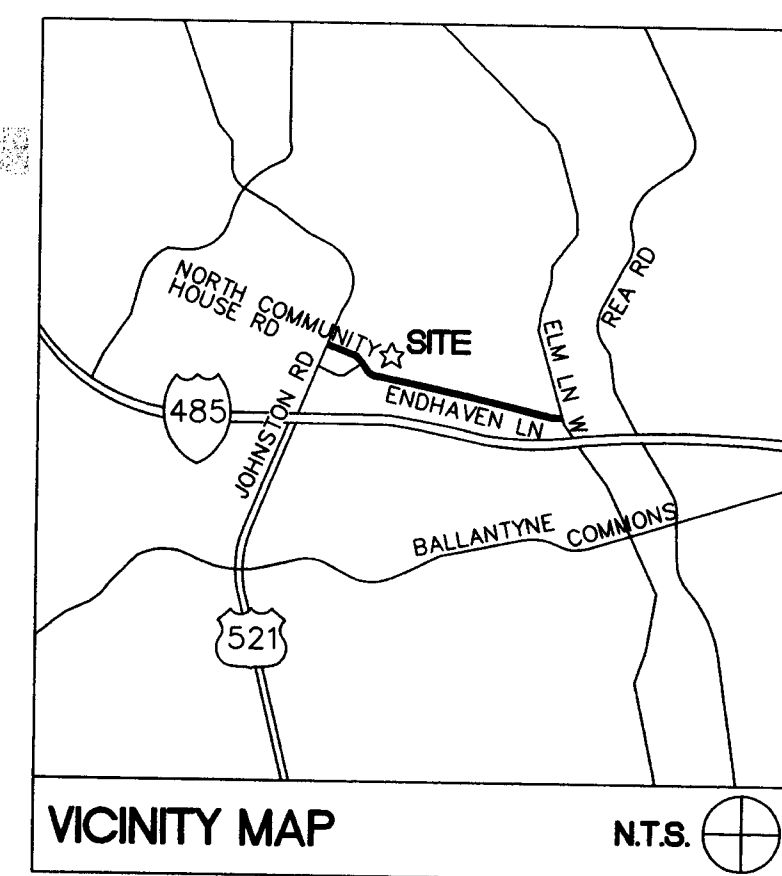


06/15/07

SCALE: 1"=30'
0 15 30 60

CV2.6

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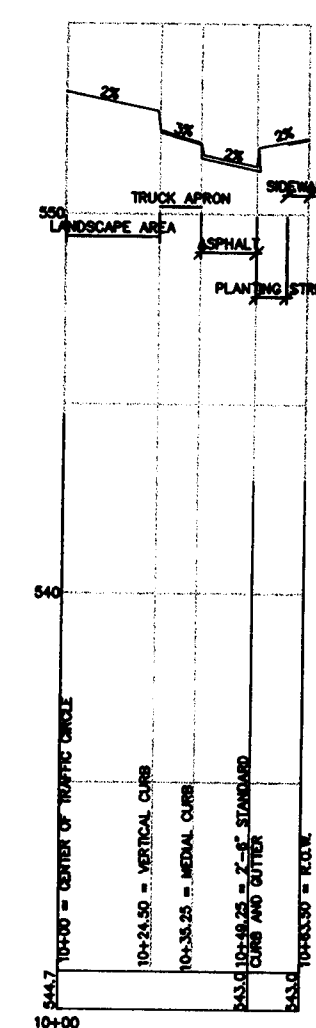
SURVEY FOR THE BRIDGES PREPARED BY R.B. PHARR &
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28204 (704) 376-2186 REVISED 10/27/05 FILE# W-3064
SEALED BY E. DANIEL WOOTEN

LEGEND

SYMBOL	DETAIL
	PROPOSED SIDEWALK CLDS #10.22
	PROPOSED ACCESSIBLE RAMP 12/CV7.0
	PROPOSED SIGN CLDS #50.10A, B, C
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	PROPOSED 2'-0" VALLEY GUTTER AND GUTTER CLDS #10.17B
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	PROPOSED VERTICAL CURB CLDS #10.18
	TREE SAVE AREA & TREE PROTECTION FENCING -/ -
	NUMBER OF SPACES
	FUTURE CONDITIONS FLOOD FRINGE LINE
	PROPOSED FEMA FLOOD FRINGE LINE
	COMMUNITY ENCROACHMENT LINE (1')
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	25' UPLAND ZONE
	50% BUFFER ADDITION
	PEDESTRIAN SCALE LIGHTING
	DUKE POWER TRADITIONAL FIXTURE/STYLE E POLE (BLACK)
	13.21 AC. GREENWAY DEDICATION AREA, TO BE CONVEYED TO MECK CO. PRIOR TO THE RECORDATION OF THE FINAL PLATS FOR MORE THAN 250 DWELLING UNITS ON THE SITE

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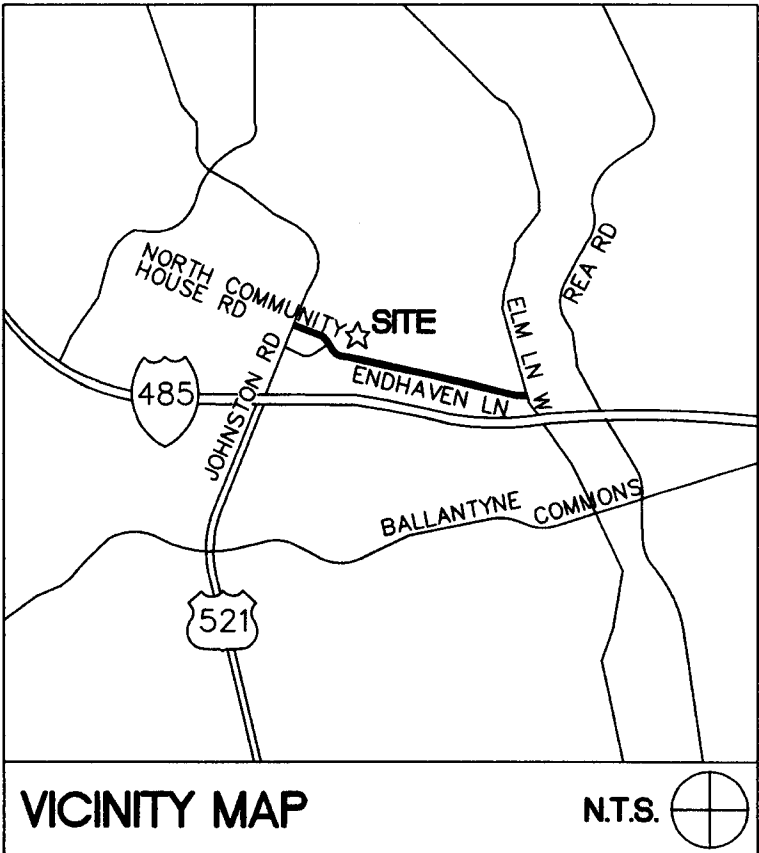
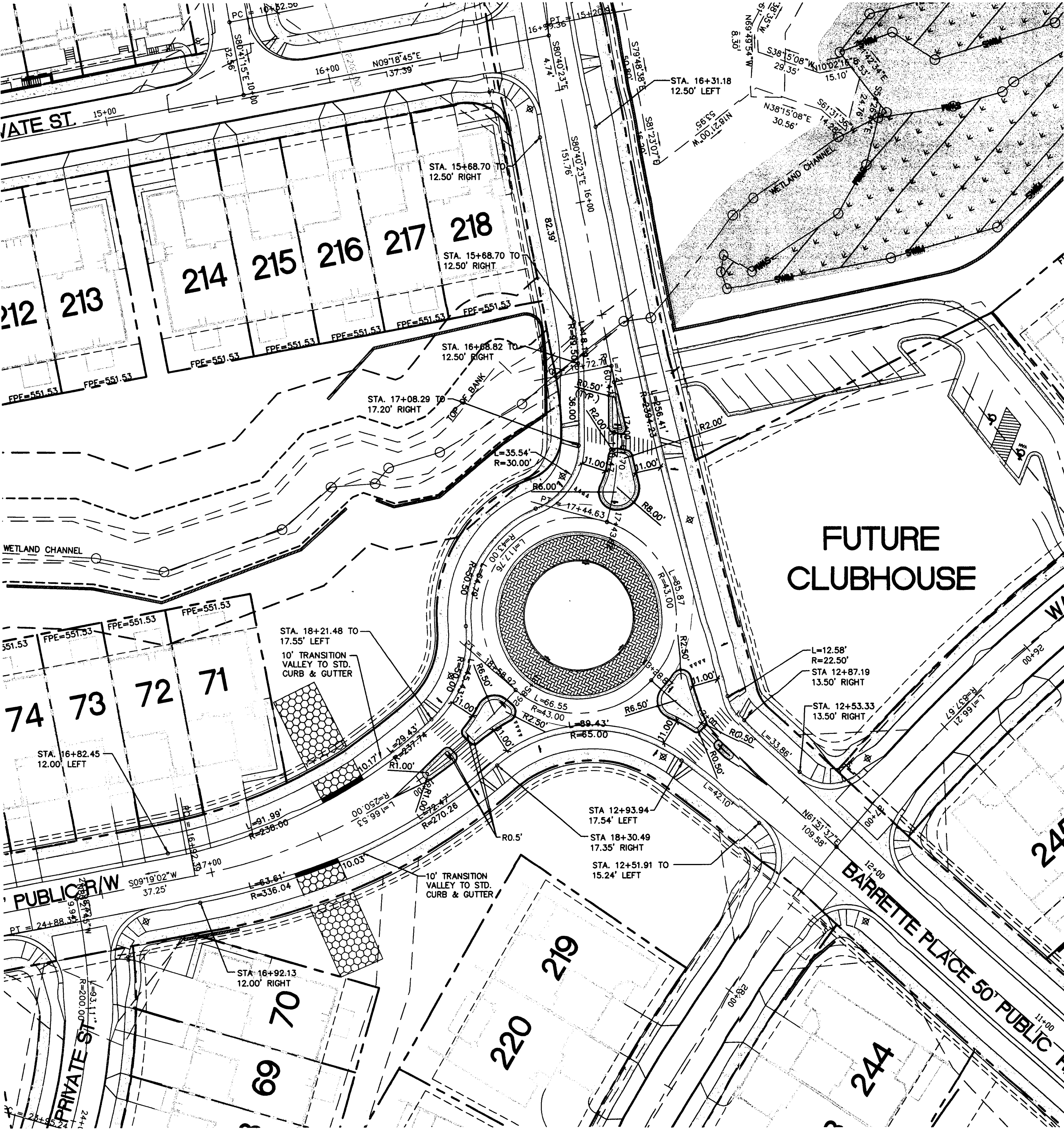
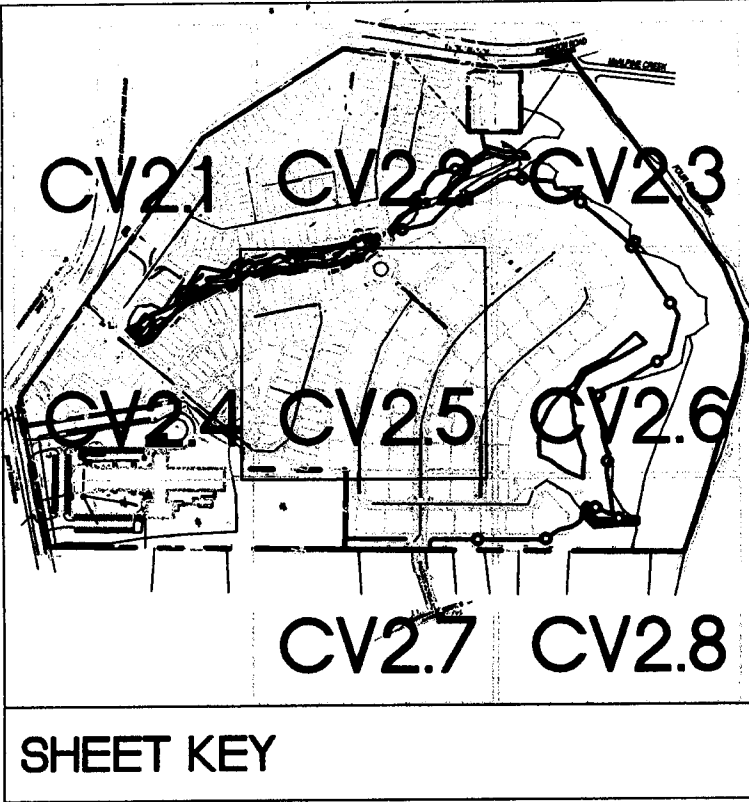
CROSS SECTION OF TRAFFIC CIRCLE



SCALE: 1"=50'-0"



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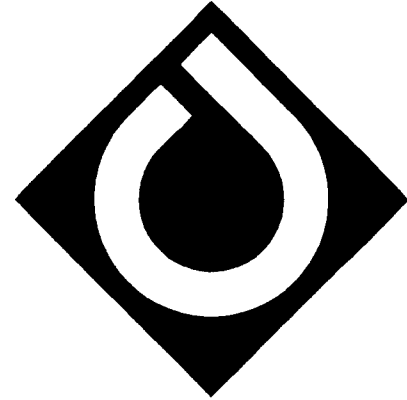
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	TREE SAVE AREA & TREE PROTECTION FENCING -/-
	NUMBER OF SPACES
	FUTURE CONDITIONS FLOOD FRINGE LINE
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	25' UPLAND ZONE
	50% BUFFER ADDITION
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TRAFFIC CIRCLE CURB LAYOUT PLAN

Project No.

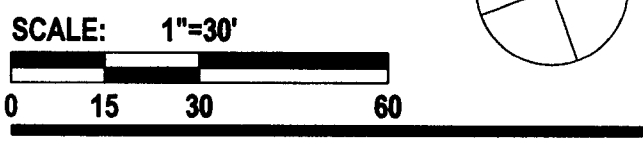
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