

| SITE DEVELOPMENT DATA | |
|------------------------------|---|
| TAX ID# | 12906420, 21, 22, 23 |
| ZONING | R-22 MF |
| PROPOSED USE | 99 DWELLINGS, CONDOMINIUMS (33 UNITS PER BLDG.) |
| SETBACKS | |
| FRONT YARD | 30' |
| SIDE YARD | 5' |
| REAR YARD | 40' |
| BUILDING SEPARATION | 10' MIN. |
| LOT AREA | 196,804 SF (4.518 AC) |
| DENSITY | 21.91 DWELLING UNITS/ACRE (99/4.518) |
| DISTURBED AREA | 4.463 AC |
| PARKING | |
| TOTAL REQUIRED | 149 SPACES (1.5 SPACES / UNIT) |
| TOTAL PROVIDED | 161 SPACES |
| % COMPACT | 0% |
| H/V REQUIRED | 6 SPACES |
| H/V PROVIDED | 6 SPACES |
| SHORT-TERM BIKE REQUIRED | 5 SPACES (1 SP / 20 UNITS) |
| SHORT-TERM BIKE PROVIDED | 6 SPACES |
| BUFFERS | |
| REQUIRED | NONE (EXISTING ADJACENT USES ARE THE SAME) |
| SOIL TYPE | U (URBAN LAND) |
| MAX. BUILDING HEIGHT | 40'-0" ALLOWED |
| IMPERVIOUS AREAS | |
| EXISTING | 25,579 SF (0.587 AC) |
| NEW (TOTAL PROPOSED) | 112,205 SF (2.576 AC) |
| OPEN SPACE (40% MIN.) | 102,157 SF (51.9% OF SITE) |
| SOLID WASTE / RECYCLING REQ. | (CITY COLLECTION - ONCE WEEKLY) |
| SOLID WASTE REQ. | (1) 8 C.Y. DUMPSTER / 30 UNITS |
| SOLID WASTE PROVIDED | (3) 8 CY DUMPSTERS |
| RECYCL. AREA REQ. | 144 SF / 80 UNITS |
| RECYCL. AREA PROVIDED | 288 SF |

GENERAL LAYOUT NOTES:

- ALL EXPANSION JOINTS ARE TO BE SEALED. REFER TO SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR TO FINISHED FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB RADIUS SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL ROAD IMPROVEMENTS AT CENTRAL AVENUE AND BRIAR CREEK ROAD ARE TO BE COORDINATED WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT (CMLD) INSPECTOR PRIOR TO CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH CMLD INSPECTOR.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE CMLD INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- NON-STANDARD ITEMS (e.g. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ANY OCCUPATION OF THE PUBLIC RIGHT-OF-WAY FOR A PERIOD OF TIME GREATER THAN 30 DAYS WILL REQUIRE LEASING OF THAT PORTION OF THE RIGHT-OF-WAY. CONTACT LINDA POISSANT AT 704-336-2562 FOR LEASING INFORMATION.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN A "RIGHT-OF-WAY USE" PERMIT FOR ALL WORK LESS THAN 30 DAYS IN DURATION WITHIN THE PUBLIC RIGHT-OF-WAY. A MINIMUM OF 5 DAYS ADVANCED NOTICE FOR A SIDEWALK CLOSURE AND 10 DAYS ADVANCED NOTICE FOR A LANE CLOSURE MUST BE TRANSMITTED TO 704-336-4400 VIA FAX ATTENTION BOB STALEY INDICATING DATE, TIME AND TRAFFIC CONTROLS.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CMLD INSPECTOR PRIOR TO PLACEMENT OF MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTURATED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDDOT, NC DENR, AND CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS. WHEN SPECIFICATIONS ARE IN CONFLICT, THE STRICTER SPECIFICATION SHALL BE HELD.
- PROVIDE TRAFFIC CONTROL MEASURES FOR ALL WORK WITHIN PUBLIC ROW PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND CDDOT'S "WATCH".
- TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SF IMPERVIOUS AREA SINCE SEPT. 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH IMPROVEMENTS, MUST BE RELOCATED AT THE EXPENSE OF THE OWNER.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CMLD INSPECTOR AND BASED ON FIELD CONDITIONS.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

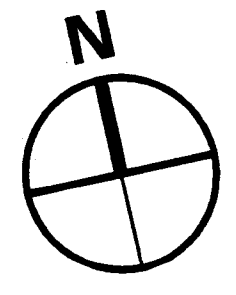
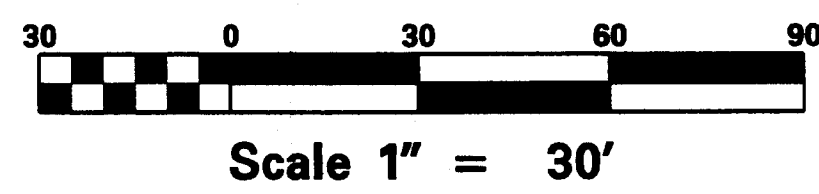
SPECIFIC LAYOUT NOTES:

- NEW STANDARD 18" CONCRETE CURB AND GUTTER. SEE DETAIL 10.17A/C7.2.
- NEW COVERED MAIL KIOSK. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- NEW MEDIAN (PITCHED) CONCRETE CURB AND GUTTER. SEE DETAIL 10.17B/C7.2.
- STANDARD ACCESSIBLE RAMP AND CURB CUT. SEE DETAIL D2/C7.2.
- NEW CONCRETE SIDEWALK. SEE DETAIL 10.22/C7.2.
- SOLID WASTE AND 288 SF RECYCLABLES AREA. ENCLOSURE SHALL BE 7'-0" TALL. REFER TO SHEET A11.1 FOR ENCLOSURE DETAIL.
- BRICK RETAINING WALL. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAIL. REFER TO SHEET C5.1 FOR T/W AND B/W ELEVATIONS.
- CONCRETE STAIRS: 4 RISERS @ 0'-6" EA AND 3 TREADS @ 1'-0" EA. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAIL.
- CONCRETE STAIRS: 2 RISERS @ 0'-6" EA AND 1 TREAD @ 1'-0". REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAIL.
- NEW REINFORCED CONCRETE PAVING. SEE DETAIL C1/C7.2.
- NEW CITY OF CHARLOTTE TYPE II DRIVEWAY. SEE DETAIL 10.25B/C7.2.

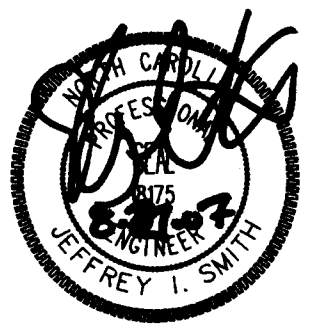
- INSTALL SIGNAGE FOR ALL HANDICAP PARKING SPACES IN ACCORDANCE WITH CMLDS 50.10A. SEE DETAIL C4/C7.2.
- NEW 30"x30" STOP SIGN. MUTCD STD. NO. R1-1 TO BE INSTALLED BY CONTRACTOR.
- WHITE PAINTED PAVEMENT MARKINGS (TYP.). ALL LINES SHALL BE 4" WIDE.
- NEW BITUMINOUS CONCRETE PAVING. SEE DETAIL C2/C7.2.
- 10'x10' PEDESTRIAN SIGHT TRIANGLES (TYP.). ANY TREES LOCATED WITHIN THE SIGHT TRIANGLES SHALL HAVE LIMBS AND FOLIAGE TRIMMED BETWEEN THE AREA OF 30 AND 72 INCHES ABOVE THE LEVEL OF THE CENTER OF THE ABUTTING INTERSECTION.
- NEW CONCRETE WHEEL STOP (TYP.). SEE DETAIL C3/C7.2.
- 2 SHORT TERM UNCOVERED BICYCLE PARKING SPACES (1 INVERTED "U" RACK). SEE DETAIL 50.20/C7.2.
- NEW 2'-6" CONCRETE CURB AND GUTTER. SEE DETAIL 10.17A/C7.2.
- NEW SEGMENTAL BLOCK RETAINING WALL. SEE DETAIL D3/C7.2. REFER TO SHEET C5.1 FOR TOP OF WALL AND BOTTOM OF WALL ELEVATIONS.

- CONCRETE STAIRS WITH HANDRAILS: 10 RISERS @ 0'-6" EA AND 9 TREADS @ 1'-0" EA. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAIL.
- 35'x35' INTERSECTION SIGHT TRIANGLE. ANY TREES LOCATED WITHIN THE SIGHT TRIANGLE SHALL HAVE LIMBS AND FOLIAGE TRIMMED BETWEEN THE AREA OF 30 AND 72 INCHES ABOVE THE LEVEL OF THE CENTER OF THE ABUTTING INTERSECTION.
- NEW 24"x24" STOP SIGN. MUTCD STD. NO. R1-1 TO BE INSTALLED BY CONTRACTOR.
- NEW DIRECTIONAL ACCESSIBLE RAMPS. SEE DETAILS 10.35A/C7.1 AND 10.31A/C7.1.
- REFER TO PARK PLANS FOR LAYOUT, HARD-SCAPE, GRADING, AND LANDSCAPING WITHIN PARK AREA.
- NEW 4" CONCRETE MOUNTING PAD FOR ABOVE GROUND BACKFLOW PREVENTERS. SEE SHEET C4.0.
- GATE OPENER (TYP.) REFER TO MECHANICAL AND ELECTRICAL PLANS FOR DETAILS.
- OPENER KEYPAD / CALL BOX REFER TO MECHANICAL AND ELECTRICAL PLANS FOR DETAILS. A "KNOX BOX" IS TO BE MOUNTED ADJACENT TO THE KEYPAD WITH A BATTERY ENCLOSED. PLACE STEEL BOLLARDS ON BOTH SIDES OF KEYPAD. SEE DETAIL D1/C7.2.

- CONTROLLED ACCESS GATE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR DETAILS.
- VEHICLE DETECTOR LOOP FOR EXIT GATE OPENER. REFER TO ELECTRICAL PLANS FOR DETAILS.
- 2' WIDE WHITE PAINT STOP BAR COMPRISED OF (2) 8" LINES AND LETTERING BETWEEN.
- 24" x 24" SIGN TO READ "STOP HERE FOR GATE".
- 24"x24" SIGN TO READ "NO PARKING ALLOWED".
- 7' LONG WHITE PAINT DIRECTIONAL ARROW PAVEMENT MARKING (TYP.).
- 6' x 6' TRANSFORMER PAD. COORDINATE WITH ELECTRICAL PLANS.
- NEW LIGHT POLE TO BE PROVIDED AND INSTALLED BY DUKE POWER (TYP.).
- NEW 5' HIGH BLACK ALUMINUM PERIMETER FENCE. FENCE SHALL BE "5-10 DERRY" COMMERCIAL GRADE AS MANUFACTURED BY "SPENCER" OR APPROVED EQUIVALENT. FENCE TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL DRIVE GATES AND WALK GATES SHALL BE OF THE SAME STYLE AND GRADE.
- NEW 5' HIGH BLACK PVC VINYL COATED CHAIN LINK FENCE. FENCE TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.



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09 APR 2007 - MULTI-FAMILY SUBMITTAL
30 JUL 2007 - MULTI-FAMILY RE-SUBMITTAL
27 AUG 2007 - CITY FIRE COMMENTS

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission

LAYOUT PLAN

FMKA. 0639

C3.0