

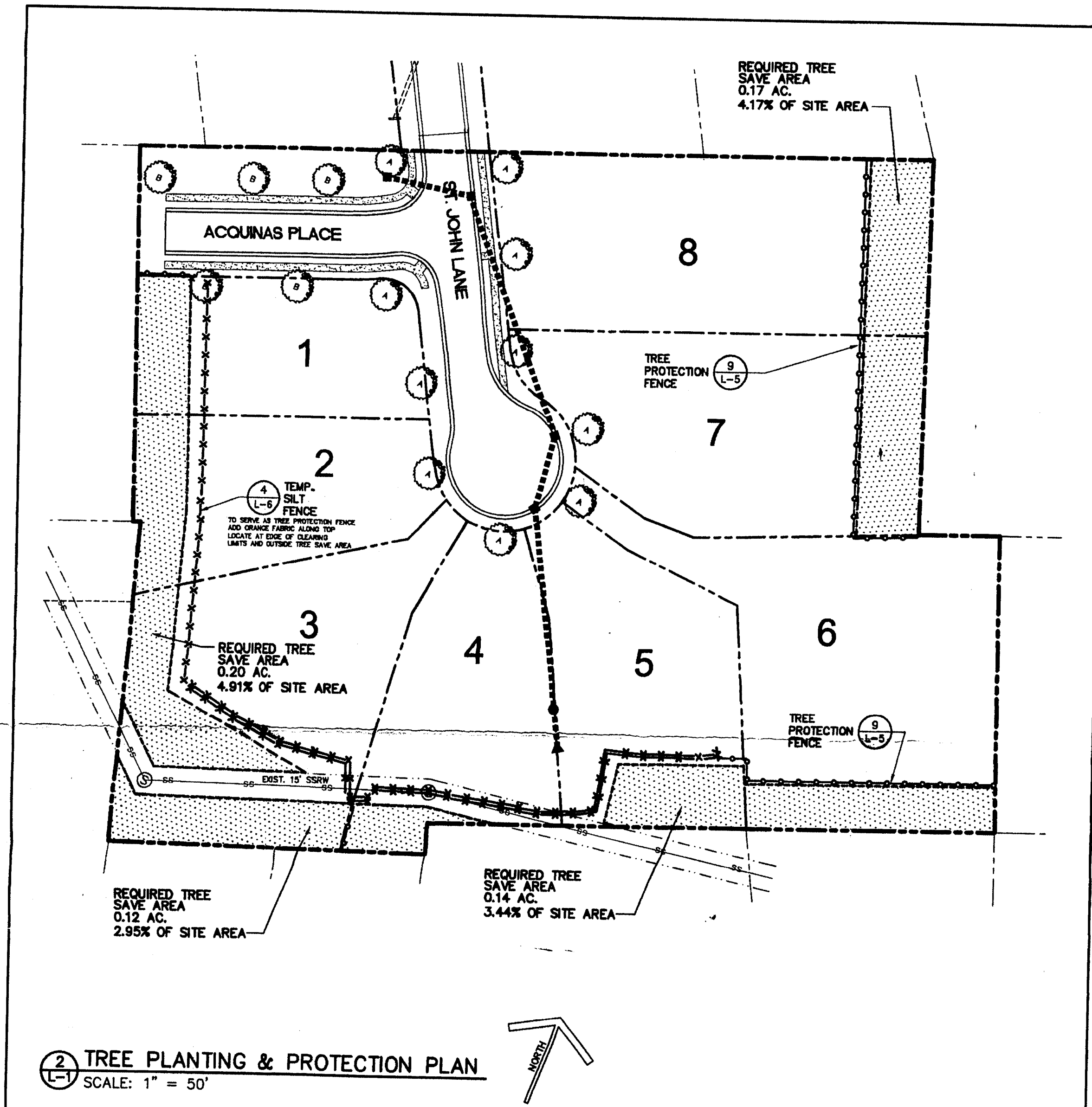
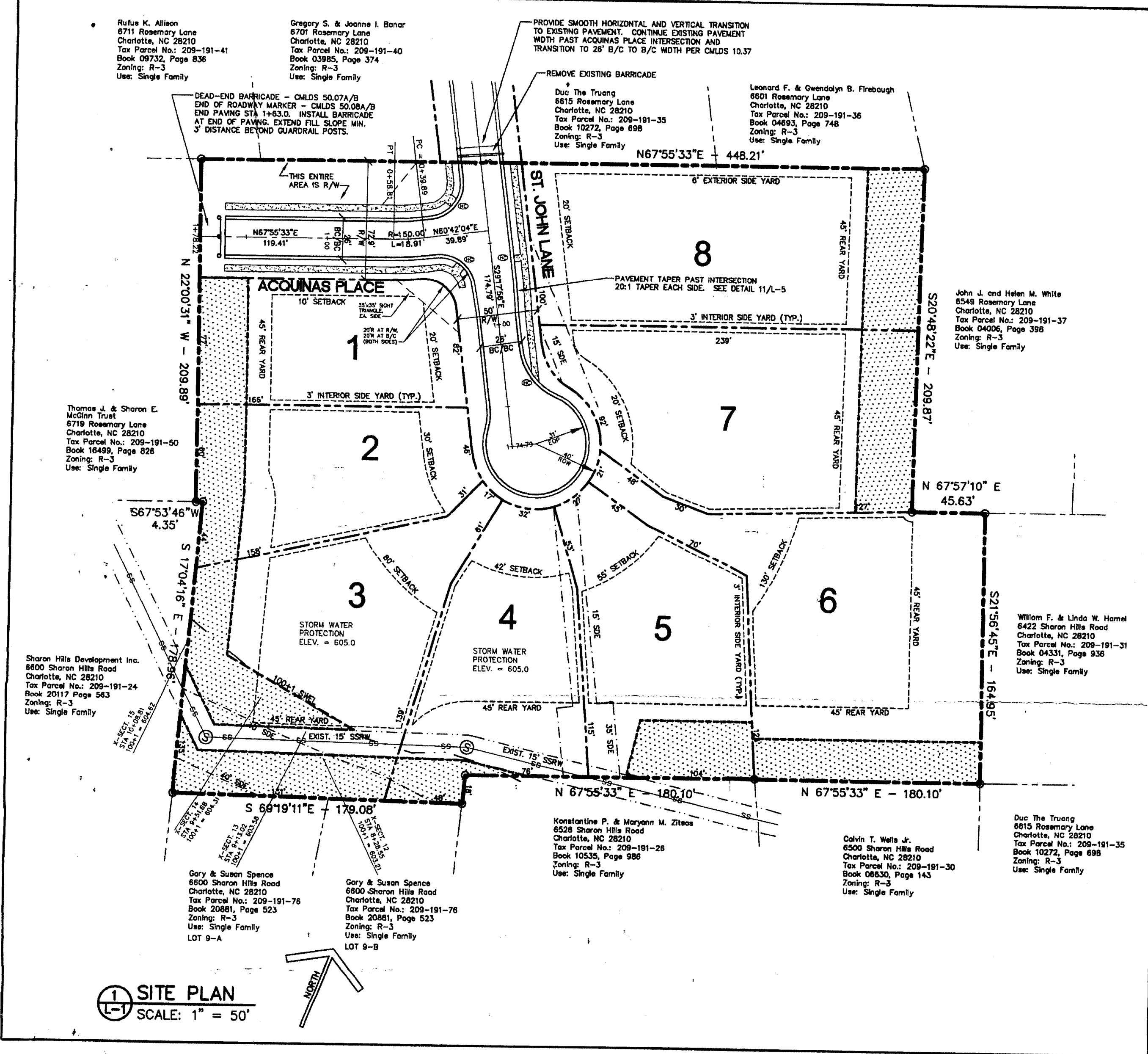
Sheet Schedule

Sheet Title	Sheet No.	Original Date	Latest Revision Date
Preliminary Subdivision Plan	L-1	August 10, 2006	January 16, 2007
Existing Conditions Plan	L-2	August 10, 2006	August 10, 2006
Grading, Storm Drainage & Erosion Control Plan	L-3	August 10, 2006	March 12, 2007
Street Profiles	L-4	August 10, 2006	March 12, 2007
Site Details	L-5	August 10, 2006	December 11, 2006
Site Details	L-6	August 10, 2006	January 16, 2007

This set is current through January 16, 2007

Legend

LOT LINE/STREET R/W	TREE PROTECTION FENCE
CURB AND GUTTER	PROPOSED LARGE MATURING STREET TREE
CONCRETE SIDEWALK	TREE SAVE AREA
20' SETBACK	100+1 SWEL
STREET CENTERLINE	100+1 STORMWATER ELEVATION LINE
ACCESSIBLE RAMP	FLOOD CROSS-SECTION
STORM DRAINAGE EASEMENT	

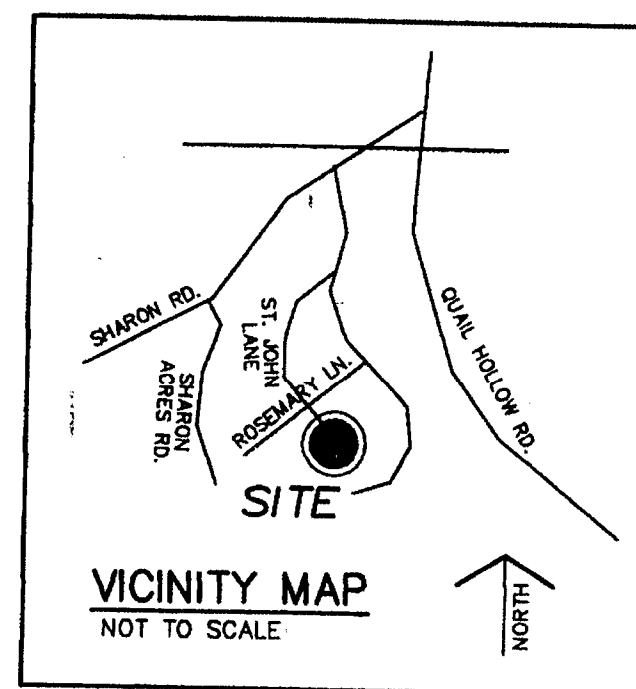


Development Data

Existing Zoning	R-3
Tax Parcel No.	209-191-51
Site Area	4.07 Ac.
Tree Save Area	0.41 Ac.
Percent of Net Site Area	10.0%
Proposed No. of Lots	8
Proposed Density	1.97 DU/Ac.
Min. Lot Size	12,000 S.F.
Min. Lot Width	70 Ft.
Min. Front Setback	20 Ft.
Rear Yard (Interior Lots)	30 Ft.
Rear Yard (Exterior Lots)	45 Ft.
Side Yard (Interior Side Yards)	3 Ft.
Side Yard (Exterior Boundary)	6 Ft.
Side Yard (Corner Lots)	10 Ft.

Developer

Charing Cross Partners LLC
P.O. Box 11794
Charlotte, NC 28220
Phone: 704-344-9977



General Notes

- Boundary survey by J. Martin Zoutewelle, North Carolina Registered Land Surveyor, revise dated July 14, 2006.
- See sheet L-2.
- All streets to be public, developed to City of Charlotte standards.
- Project to be serviced with public (CMUD) water and sewer systems.
- The location of the subject property has been checked against area FEMA/FIRM maps, and it has been determined that it is NOT located in a special flood hazard area (Community Panel number 3701590246E, effective date: February 4, 2004).
- Land Development Inspector to be given 24 hours notice prior to start of construction.
- Coordinate all curb and street grades in intersections with Inspector.
- The developer will provide street signs per CMLDS 50.05 (9" signs only).
- Sight triangles shown are the minimum required.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector based upon field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector.
- Not used.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- The City of Charlotte Engineering Dept. has not reviewed the structural stability of any retaining walls on the site and does not assume responsibility for them.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City of Charlotte Engineering Dept. in accordance with the City Subdivision Ordinance.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance, and any structures and/or obstruction to storm water flow is prohibited.
- Project is expected to be completed by December, 2010.
- Non-standard items (i.e. pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation before installation.
- Provide handicap ramp curb depressions at street intersections per CMLDS standard detail 10.33, latest revision.
- There will be no on-site demolition landfills associated with this project. All demolition shall be hauled off-site and legally disposed in an approved off-site landfill.
- All lot dimensions and lot areas shown are approximate. See record plat for exact dimensions and areas.

Tree Protection and Planting Notes

- Provide tree protection fence as indicated and noted on the plan. Tree protection fence must meet or exceed City Standard 40.02 and Tree Ordinance Guidelines Standards.
- Street trees shall be provided at a maximum of 50' O.C.
- Trees shown on plan are for compliance with the Tree Ordinance. Additional trees may be planted, at the Developer's discretion, without restriction to size or type.
- Street trees to be planted on individual lots within 20 feet of back of curb. Trees on the north side of Acquinas Place to be planted within extended right-of-way, approximately 10 feet from back of sidewalk.
- No soil disturbance or compaction, construction materials, traffic or burial pits, trenching or other land disturbing activity are allowed in the tree save areas.
- Before grading/construction begins, call 704-336-4255 for inspection of tree protection barricades by Urban Forester.
- Tree planting shall be done in accordance with Charlotte-Mecklenburg Land Development Standards no. 40.01 (see detail 10/L-5). Remove top 1/3 of burlop from root ball.
- For new planting areas, remove construction debris. Uncompact and amend the top 24" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet per tree). Call 704-336-4255 for and inspection of soil BEFORE planting.
- Adjust tree planting locations to avoid underground utilities - plant 15'-20' off sewer and storm drainage lines; 10'-15' off gas, water, phone, and underground electrical lines.
- Violation of tree protection requirements are subject to fines and/or immediate corrective action/mitigation.
- Please call 704-336-4255 for inspection of tree-protection and/or tree planting areas, 1-2 days before the temporary or final C.O. is needed.
- Attention landscapers: notify urban forester of any sign, powerline, or other conflicts before planting new trees. Call 704-336-4255.
- Landscaper contractor shall coordinate tree plantings along single family detached lots with driveway locations for each lot. Adjust as necessary, maintaining maximum required tree spacing.
- Large-maturing trees may not be planted where overhead distribution of transmission lines exist. If trees conflict with power lines or signs, call Urban forester to resolve BEFORE planting.
- Tree barricades must be installed before any demolition, grading, or construction and not removed until final inspection by Urban Forester.
- There are no known heritage trees located on the site.
- No specimen trees are being preserved for consideration of the tree credit.
- If necessary, the Developer shall construct retaining walls along edges of tree save areas to protect these areas.
- No utilities are allowed in the tree save areas.
- The site is fully wooded.
- New trees shall be 2" caliper for street tree requirements.

Stormwater Protection Elevations

LOT	ELEVATION
3	605.0
4	605.0

Perimeter Tree Planting Tabulation

TOTAL STREET LENGTH (MEASURED CURB LENGTH):	740 LF.
ST. JOHN LANE - 7 TREES	345 LF
ACQUINAS PLACE - 8 TREES	395 LF
PERIMETER STREET TREES REQ'D.....740 LF/ 50 LF PER TREE = 14.8 TREES; USE 15 TREES	
REQUIREMENT MET BY PROPOSED TREE PLANTINGS	
NOTE: IF DEVELOPER ELECTS TO SAVE EXISTING TREES WITHIN TREE PLANTING AREA, THEY MAY BE CREDITED IN LIEU OF NEW PLANTINGS. COORDINATE WITH URBAN FORESTER.	

Plant List

QU.	KEY	DESCRIPTION	SPACING	SIZE
10	A	Quercus phellos (Willow Oak)	50' max. o.c.	2" cal.
5	B	Acer rubrum (Red Maple)	50' max. o.c.	2" cal.

NOTES:
1. SUBSTITUTIONS IN SPECIES ARE PERMITTED, PROVIDED THAT ALL SUBSTITUTIONS ARE FROM APPROVED PLANT LISTS IN CITY TREE ORDINANCE AND REVIEWED BY URBAN FORESTER.

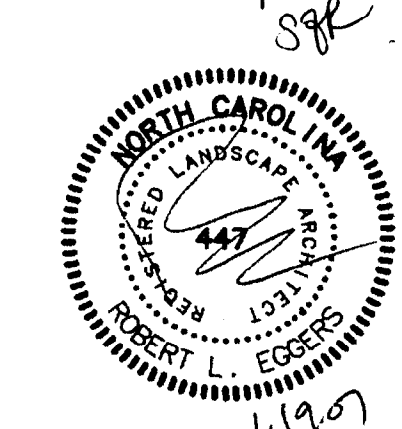
Tree Save Area Tabulation

SITE AREA	4.07 AC.
TREE SAVE AREA REQUIRED	0.41 AC. (10.0% OF NET SITE)
MIN. TREE SAVE AREA PROVIDED	0.63 AC. (15.48% OF NET SITE)

NOTE: ADDITIONAL TREE SAVE AREAS MAY BE PROVIDED BEYOND THOSE SHOWN ON PLAN AT THE DEVELOPER'S DISCRETION.

APPROVED FOR CONSTRUCTION

CMPC



Preliminary Subdivision Plan

St. John Lane Subdivision
Charlotte, North Carolina

For Charing Cross Partners LLC

August 10, 2006

L-1

SHEET 1 OF 6

COMM. NO. 0616

4828 Carousal Drive
Charlotte, NC 28212
Phone: 704-763-7876
Fax: 704-548-0334



REVISIONS:
1. 12/11/06 PER CITY REVIEW
2. 1/17/07