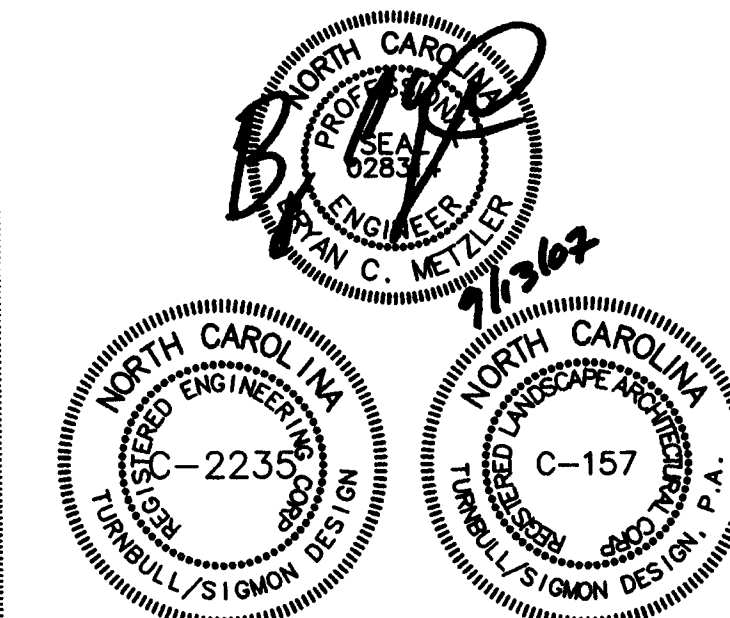


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LAND DEVELOPMENT DESIGN SERVICES



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Baucom's Development Partners, LLC

1909 CHARLOTTE DRIVE
CHARLOTTE, NC 28203

Seven Oaks Phase Two

CITY OF CHARLOTTE
NORTH CAROLINA

Site Plan

9-11-2007
APPROVED FOR
CONSTRUCTION
CMPC

PROJECT NUMBER: 05-143

DRAWN BY: SRE

DESIGNED BY: SRT

ISSUE DATE: 05/26/06

6 08/13/07 ALL REVISED PER CITY COMMENTS
5 08/22/07 ALL REVISED PER CITY COMMENTS
4 06/15/07 ALL REVISED PER CITY COMMENTS
3 12/06/06 ALL REVISED PER CITY COMMENTS
2 10/20/06 SHB REVISED PER CITY COMMENTS
1 08/04/06 SRE REVISED PER CITY COMMENTS

NO. DATE: BY: REVISIONS:

TREE SAVE CALCULATION

GROSS SITE AC.: 108.65 ac.

AREA IN POND: -7.2 ac.

AREA IN SEWER R.O.W.: -8 ac.

NET SITE AC.: 100.85 x 10% = 10.1 ac.

TREE SAVE AREA REQ. 10.10 ac.

TREE SAVE AREA PRO. 10.91 ac.

TREE SAVE AREA PHASE 1 9.28

TREE SAVE AREA PHASE 2 1.63

Development Data

ZONING: MX-1

TAX PARCEL #: 105-031-36

SITE AREA: 49.84 ac.

DEED BOOK / PG NUMBER: DB 4160 PG 972

REZONING PETITION #: 2005-022

TOTAL LOTS: 143

DENSITY: 2.90 du/ac.

COMMON OPEN SPACE: 8.50

TREE SAVE AREA: 1.70 ac.

(SEE NOTE #15, THIS SHEET)

MINIMUM LOT SIZE: 6,575 SQ. FT.

MINIMUM LOT WIDTH: 60'

MINIMUM FRONT SETBACK: 20'

MINIMUM REAR YARD: 20'

INTERNAL: 40'

MINIMUM SIDEYARDS: 3'

CORNER LOT SIDEYARD: 10'

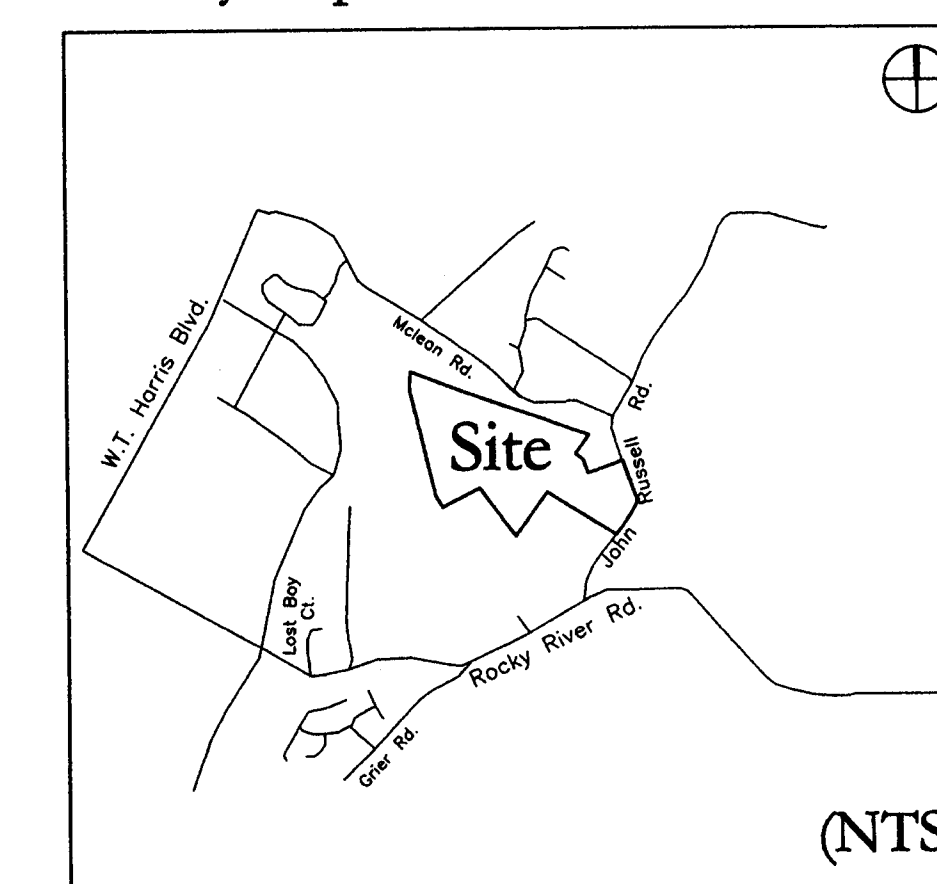
STAKING NOTES:

- 20' RADIUS AT R/W FOR LOCAL STREETS.
- 20' RADIUS AT B/C FOR LOCAL STREETS.
- ACCESSIBLE RAMP, SEE DETAILS 9/9.3.
- SIGHT TRIANGLE, 35'x35' AT ALL INTERSECTIONS.
- SIGHT TRIANGLE, 10'x70' AT JOHN RUSSELL ROAD.
- LOCAL RESIDENTIAL STREET, SEE DETAIL 4&7/9.3.
- CUL-DE-SAC, SEE DETAIL 5/9.3.
- RETAINING WALLS TO BE OUTSIDE ALL UNDISTURBED BUFFERS.
- SEE GRADING PLAN AND DETAIL SHEET FOR ADDITIONAL INFORMATION.

TREE SAVE NOTES:

- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE PROTECTION GUIDELINE STANDARDS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
- VIOLATIONS OF THE TREE PROTECTING REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- PLANT LARGE MATURING SHADE TREES ON 40-50 FT. SPACING WHEN POWER LINES ARE NOT PRESENT.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE CONSTRUCTION DEBRIS, UN-COMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- PLEASE CALL 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS 1 TO 2 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
- ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
- NEW TREES SHALL BE 2" CALIPER FOR STREET TREE REQUIREMENTS. SUPPLEMENTAL TREES SHALL BE 1-1/2" CALIPER IF PLANTED IN INDIVIDUAL LOTS, AND 3/4" CALIPER IF PLANTED IN COMMON OPEN SPACE.
- ENCROACHMENT INTO TREE SAVE AREAS IS NOT PERMITTED. LOTS THAT CONTAIN TREE SAVE AREA SHALL BE DEED RESTRICTED TO PREVENT REMOVAL OF PROTECTED TREES.
- CONTRACTOR TO REMOVE ALL TRASH, DEBRIS AND DEAD LIMBS FROM THE FIRST 15' OF ALL TREE SAVE AREAS AT THE DIRECTION OF THE OWNER AND UPON APPROVAL OF LOCAL AUTHORITIES.
- EVERY EFFORT WILL BE MADE TO PRESERVE THE EXISTING TREES LOCATED WITHIN SETBACKS THAT ARE 6" IN CALIPER OR GREATER. HOWEVER, IF THE GRADING PLAN IS NOT CONDUCTIVE TO SAVING TREES OR PRESERVING TREES CREATES A DETRIMENTAL SITUATION, TREES WILL BE REMOVED AND THE CLEARED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS TO OFFSET THE LOSS OF EXISTING VEGETATION. AT A MINIMUM, THE TREES PROVIDED AS REPLACEMENTS FOR THE REMOVED TREES SHALL BE 4" IN CALIPER AND THE NUMBER PROVIDED SHALL BE EQUAL TO THE NUMBER OF TREES (6" IN CALIPER OR GREATER) REMOVED.
- TREE SAVE FOR PHASE I - SEVEN OAKS, EXCEEDS MINIMUM REQUIRED AND SHALL BE UTILIZED FOR ADDITIONAL REQUIRED AREA FOR PHASE II.

Vicinity Map:



LEGEND:

SYMBOL	DETAIL
	PROPOSED EDGE OF PAVEMENT / BACK OF CURB 8/9.3
	PROPOSED SIDEWALK 11/9.3
	PROPOSED ACCESSIBLE RAMP 9/9.3
	PROPOSED STOP SIGN 1/9.4
	PROPOSED STREET SIGN 1/9.4
	COMMON OPEN SPACE
	TREE SAVE
	35' x 35' SIGHT TRIANGLE

LINE TABLE

LINE	LENGTH	BEARING
L1	206.94	S72°21'28"E
L2	339.48	S72°21'28"E
L3	683.36	S67°39'30"E
L4	127.85	S31°49'20"W
L5	122.19	S18°41'04"E
L6	92.07	S28°31'54"W
L7	50.00	N26°38'43"W
L8	198.05	S70°13'56"W
L9	52.20	N39°10'55"W
L10	829.50	S06°38'10"E
L11	354.90	N82°21'50"E
L12	95.95	S28°34'43"E
L13	176.39	N22°20'30"E
L14	341.30	S20°45'41"W
L15	49.90	S20°45'41"W
L16	636.84	S70°47'05"E
L17	281.76	S57°03'37"E
L18	87.20	N52°18'44"W
L19	769.96	N21°35'24"E
L20	161.69	S82°21'50"W
L21	151.51	S72°12'58"W
L22	206.61	S10°42'18"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	53.75	400.00	26.92	7°41'58"
C2	418.02	465.00	224.32	51°32'24"
C3	736.70	425.00	500.40	99°19'00"
C4	292.82	280.00	181.39	56°55'08"
C5	47.92	225.00	24.06	12°12'12"
C6	160.70	600.00	80.84	15°20'46"
C7	125.38	150.00	85.61	47°53'28"
C8	170.41	300.00	87.57	32°32'45"
C9	167.36	350.00	85.31	27°23'51"
C10	283.37	150.00	180.67	100°35'53"
C11	580.25	750.00	305.52	44°19'40"
C12	225.30	350.00	116.71	36°52'57"
C13	67.39	350.00	33.80	11°01'52"

Seven Oaks Subdivision
Phase 1
(Under Construction)

