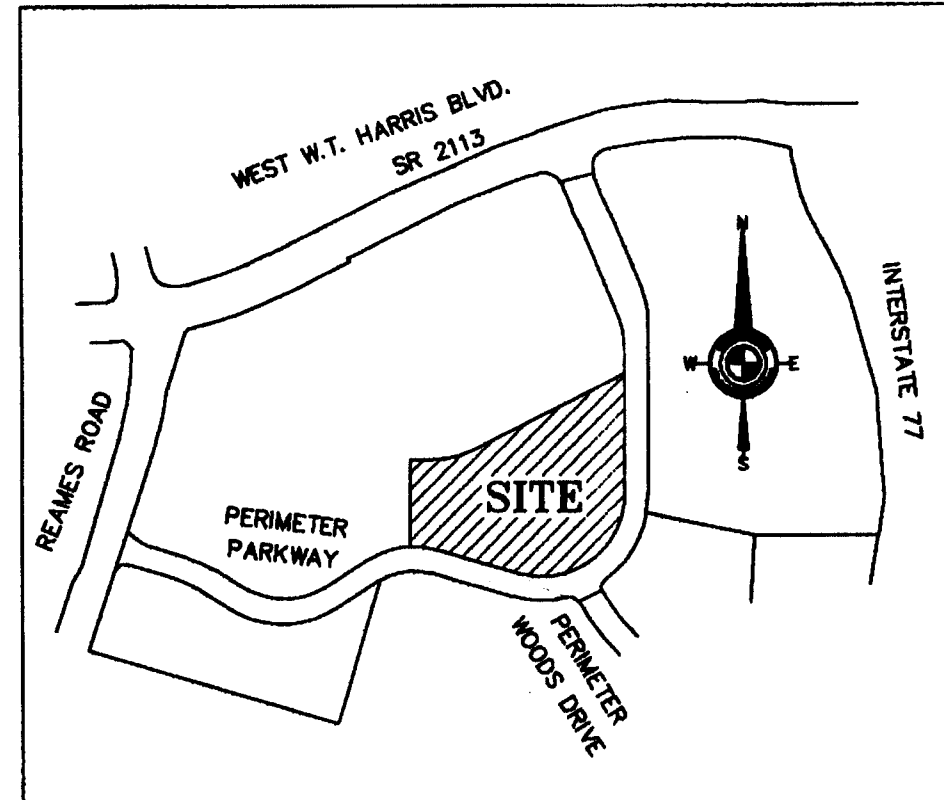


PERIMETER STATION

CHARLOTTE, NORTH CAROLINA



WP EAST ACQUISITIONS, LLC

1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NC 28203



PRELIMINARY PLANNED
MULTIFAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission
10/12/07

PERIMETER STATION
CHARLOTTE, NORTH CAROLINA

WP EAST ACQUISITIONS
1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NC 28203

GENERAL NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT PERIMETER PARKWAY ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSM# 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG PERIMETER PARKWAY MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE 7.200.8
- ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- ALL OPENINGS (E.G., DOORS WINDOWS, VENTS) IN STRUCTURES BUILT ON THE LOT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE LAND DEVELOPMENT STANDARDS.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.

SITE DATA

TAX ID#: 025-114-01
ZONING: CC (2005-11)
SITE AREA: 7.27 ACRES
PROPOSED UNITS: 201 APARTMENTS
A UNITS: 11 "A" UNITS (5%) = 11 HC PARKING SPACES
B UNITS: 70 GROUND FLOOR UNITS - 11 "A" UNITS = 59 "B" UNITS (2%) = 2 HC PARKING SPACES
DENSITY ALLOWED: UPTO 250 UNITS (PER CONDITIONAL REZONING)
PARKING REQUIRED: 302 SPACES (1.3 SPACES/ 201 UNITS)
PARKING PROPOSED: 247 SPACES
REGULAR PARKING 56 SPACES
COMPACT SPACES 14 SPACES
HANDICAP PARKING 6 SPACES
VAN ACCESSIBLE PARKING 8 SPACES
TOTAL 323 SPACES (1.61 SPACES/ UNIT)
BICYCLE PARKING REQ.: 11 (1 SPACE/ 20 UNITS)
BICYCLE PARKING PROVIDED: 24
MIN. SETBACK: 35' OR 14' (ZONING CONDITIONS)
MIN. SIDEYARD: 0
MIN. REARYARD: 0
MAX. BUILDING HEIGHT: 40'
PROPOSED BLDG. HEIGHT: 3 STORIES
MAXIMUM F.A.R.: 1.0 F.A.R.
PROPOSED F.A.R.: 0.7646 F.A.R.
REQUIRED OPEN SPACE: 40%
PROVIDED OPEN SPACE: 42%
TRASH PICK-UP: PRIVATE TRASH COMPACTOR SYSTEM
SOLID WASTE CONTAINERS REQUIRED: 8 CU. YD COMPACTOR PER 90 UNITS
SOLID WASTE CONTAINER PROVIDED: 201 UNITS = 18 CU YD. COMPACTOR
REQUIRED RECYCLING CENTERS: 40 CU YD. COMPACTOR
PROVIDED RECYCLING CENTERS: (3) - 144 SF RECYCLING STATIONS OR 432 SF
THERE WILL BE NO PHASING AND THE ESTIMATED TIME OF COMPLETION IS 14 MONTHS

SITE ACCESSIBILITY NOTES

- All buildings within the boundary of this site, unless otherwise stated as exempt, shall have "accessible routes" as required that conform to the requirements of "The Americans With Disabilities Act", "Fair Housing Standards", and governing State Handicap Code Standards. These standards for accessibility include, but are not limited to:
Maximum walk slope = 1:20 Maximum
Ramp slope = 1:12 with railing
Maximum cross slope = 1/4" per foot
All walks to be broom finished concrete unless otherwise specified on these drawings.
Maximum accessible route length (NC) = 200'
- The pavement slope within accessible parking spaces shall not exceed 2% in all directions.
- Contractor to contact Design Resource Group for any varying site conditions or discrepancies affecting site accessibility requirements.
- All internal sidewalks to be a minimum of 5 feet wide.

FIRE NOTES

BUILDING CONSTRUCTION: 5-A
BUILDINGS SPRINKLERED: 13R SYSTEM
BUILDING AREAS:
TYPE I: (3) 12,793 = 38,139 SQ. FT.
TYPE II: (3) 9,115 = 27,345 SQ. FT.
TYPE III: (3) 20,978 = 62,934 SQ. FT.
TYPE IV: (3) 4,086 = 12,258 SQ. FT.
TYPE V: (3) 33,825 = 101,475 SQ. FT.
TOTAL: 242,151 SQ. FT.
NOTES: SEE WATER PLAN SHEET C-9 FOR FDC LOCATIONS.

SCHEDULE OF DRAWINGS

SHEET #	SHEET TITLE	REVISION #	REVISION DATE
L-1	COVER SHEET	1	11/21/2007
L-2	EXISTING CONDITIONS		
L-3	SITE PLAN	1	11/21/2007
L-4	GRADING PLAN	1	11/21/2007
L-5	REQUIRED PLANTING PLAN	1	11/21/2007
L-6	SITE DETAILS		
L-7	SITE DETAILS		
L-8	SITE DETAILS		
RZ-1	PERIMETER WOODS REZONING TECHNICAL DATA SHEET		
C-1	PHASE I EROSION CONTROL PLAN	1	11/21/2007
C-2	PHASE II EROSION CONTROL PLAN	1	11/21/2007
C-3	PHASE III EROSION CONTROL & STORM DRAINAGE PLAN	1	11/21/2007
C-4	EROSION CONTROL DETAILS		
C-5	EROSION CONTROL DETAILS		
C-6	STORM DETAILS		
C-7	STORM DETAILS		
C-8	DRAINAGE AREA PLAN	1	11/21/2007
C-9	OVERALL WATER AND SEWER PLAN	1	11/21/2007
C-10	SANITARY SEWER PROFILES		
C-11	UTILITY DETAILS		
AB1.0	MAINTENANCE BLDG. ELEVATIONS AND PLAN		

CONSULTANTS:

DEVELOPER: WP EAST ACQUISITIONS, LLC.
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SUITE 250
CHARLOTTE, NC 28203
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125 N. HARRINGTON ST.
RALEIGH, NC 27603
919.833.6413
LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0808
CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
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Design Resource Group

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• Landscape Architecture

• Urban Design

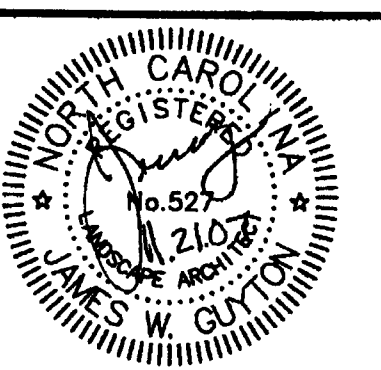
• Civil Engineering

• Land Planning

DRG

COVER
SHEET

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Scale: NOT TO SCALE
Date: OCTOBER 5, 2007
Project No.: 041-101
Revisions:
1. NOV. 21, 2007 PER CMPC REVIEW

Sheet L-1

SITE DATA
TAX ID#:
ZONING:
SITE AREA:
PROPOSED UNITS:
A UNITS:
B UNITS:
DENSITY ALLOWED:
PARKING REQUIRED:
PARKING PROVIDED:
REGULAR PARKING:
COMPACT SPACES:
HANDICAP PARKING:
VAN ACCESSIBLE PARKING:
TOTAL:
BICYCLE PARKING REQ.:
BICYCLE PARKING PROVIDED:
MIN. SETBACK:
MIN. SIDEYARD:
MIN. REARYARD:
MAX. BUILDING HEIGHT:
PROPOSED BLDG. HEIGHT:
MAXIMUM F.A.R.:
PROPOSED F.A.R.:
REQUIRED OPEN SPACE:
PROVIDED OPEN SPACE:
TRASH PICK-UP:
SOLID WASTE CONTAINERS REQUIRED:
SOLID WASTE CONTAINER PROVIDED:
REQUIRED RECYCLING CENTERS:
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THERE WILL BE NO PHASING AND THE ESTIMATED TIME OF COMPLETION IS 14 MONTHS

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Maximum accessible route length (NC) = 200'
2. The pavement slope within accessible parking spaces shall not exceed 2% in all directions.
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4. All internal sidewalks to be a minimum of 5 feet wide.

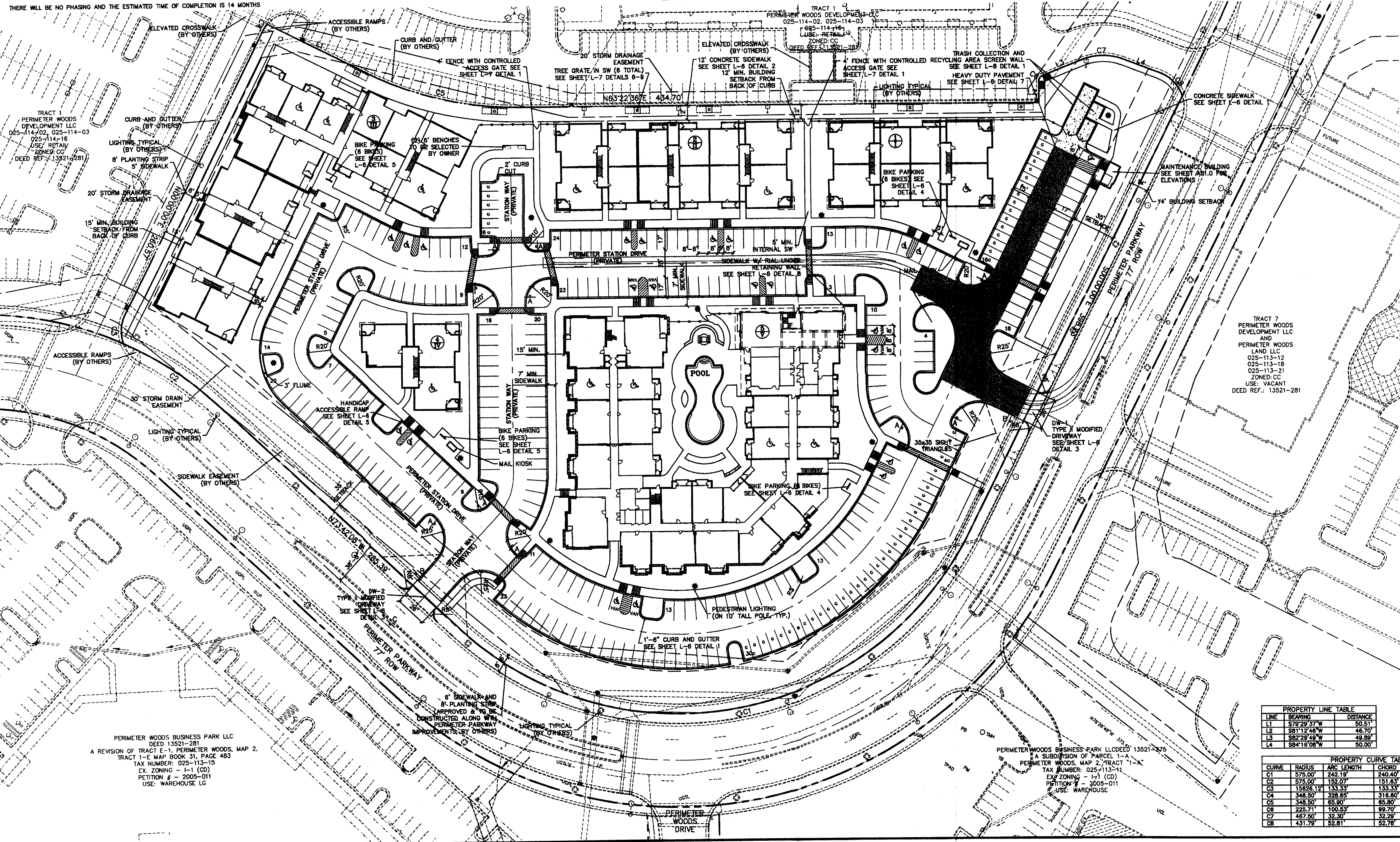
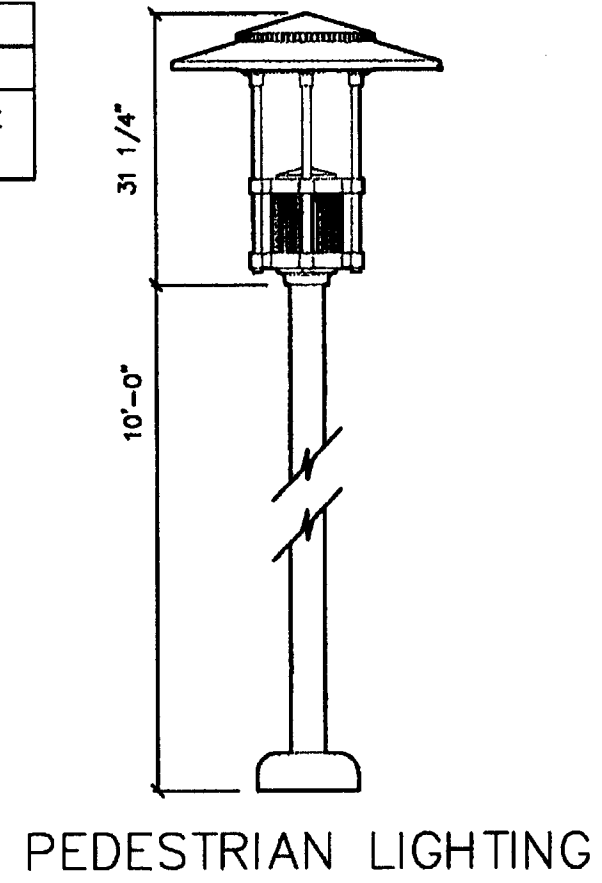
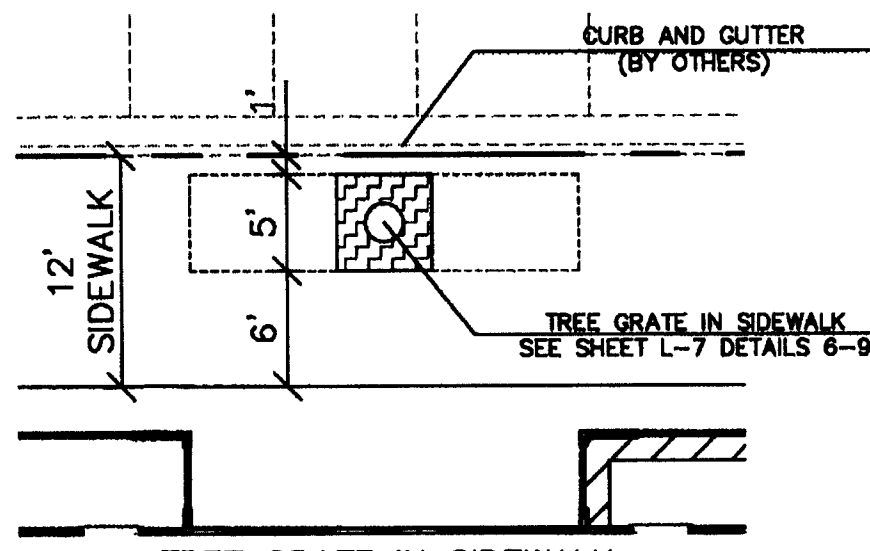
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BUILDINGS SPRINKLERED:
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TYPE V: (3) 33,825 = 101,475 SQ. FT.
242,181 SQ. FT.
TOTAL:
NOTES: SEE WATER PLAN SHEET C-9 FOR FDC LOCATIONS.

STREET CENTERLINE LINE TABLE		
Line #	Length	Direction
L1	76.000	N16° 21' 51.89"E
L2	24.410	N16° 21' 51.89"E
L3	171.250	N28° 37' 24.18"W
L4	75.198	N28° 37' 24.18"W
L5	78.904	N90° 00' 00.00"W
L6	283.947	S63° 22' 35.82"W
L7	23.530	S63° 22' 35.82"W
L8	33.954	N90° 00' 00.00"W
L9	85.290	S0° 00' 00.00"E
L10	194.291	S73° 38' 08.11"E
L11	37.838	S73° 38' 08.11"E
L12	62.938	N0° 00' 00.00"E
L13	49.909	N0° 00' 00.00"E
L14	53.848	N0° 00' 00.00"E
L15	147.500	N0° 00' 00.00"E
L16	8.379	S57° 49' 27.08"W
L21	22.713	S67° 49' 27.08"W
L22	8.774	N80° 00' 00.00"W
L23	94.398	N28° 37' 24.18"W
L24	104.000	N90° 00' 00.00"E

STREET CENTERLINE CURVE TABLE			
Curve #	Radius	Length	Chord Direction
C1	50.000	37.514	N5° 07' 46.14"W
C2	75.000	34.850	S78° 41' 17.91"W
C3	200.000	19.382	S80° 36' 01.45"W
C4	200.000	19.382	S80° 36' 01.45"W
C5	100.000	46.467	S78° 41' 17.91"W
C6	31.500	40.483	S38° 49' 04.08"E
C8	208.000	382.420	N53° 10' 55.94"E
C9	35.000	36.715	N58° 18' 42.09"W

SIGN LEGEND
A STOP (R1-1 24"x24")
B STOP (R1-1 30"x30")
C NO LEFT TURN (R3-2 30"x30")
ALL SIGNS TO BE MUTCD STANDARD
PROVIDED AND INSTALLED BY OWNER/
CONTRACTOR

LIGHT SCHEDULE				
SYMBOL	QUANTITY	MANUFACTURE	CATALOG NUMBER	NOTES
	11	KIM LIGHTING	FM/BN51H2/100PMH277/ BL-P/PRA10-4125-FM/BL-P	100w METAL HALIDE BLACK FINISH



PROPERTY LINE TABLE			
LINE	BEARING	LENGTH	DISTANCE
L1	S78°29'37"W	50.51'	
L2	S81°12'46"W	46.70'	
L3	S82°29'49"W	48.89'	
L4	S84°16'08"W	50.00'	

PROPERTY CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1	575.00'	242.19'	240.40'
C2	575.00'	152.07'	151.63'
C3	12826.12'	133.33'	133.33'
C4	348.50'	328.85'	318.80'
C5	348.50'	65.90'	65.80'
C6	225.71'	100.53'	99.70'
C7	467.50'	32.30'	32.29'
C8	431.79'	52.81'	52.78'

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SITE PLAN
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Scale: 1" = 40'
Date: OCTOBER 5, 2007
Project No.: 041-101
Revisions:
1. NOV. 21, 2007 PER CMPC REVIEW
Sheet L-3

