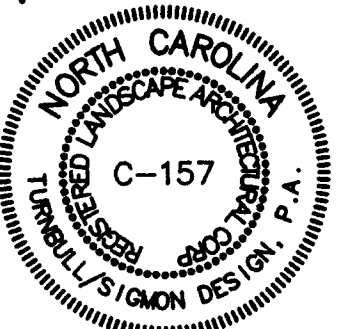
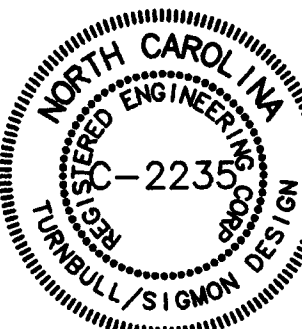
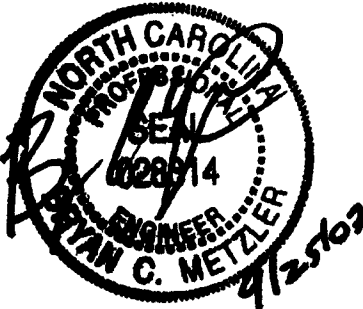


Turnbull Sigmon Design
1001 Morehead Square Dr.
Suite 530
Charlotte, NC 28203
Phone: 704.529.6500
Fax: 704.522.0882

LAND DEVELOPMENT DESIGN SERVICES



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Rhein Palisades, LLC

5200 77 CENTER DRIVE
SUITE 141
CHARLOTTE, NC 28217

The Palisades Phase 5B

CHARLOTTE E.T.J.
STEELE CREEK TOWNSHIP

Site Plan
Tract T-3K

APPROVED FOR
CONSTRUCTION
QMPG
5/10/15

PROJECT NUMBER: 04-086

DRAWN BY: BCM

DESIGNED BY: BCM

ISSUE DATE: 07/15/05

NO. DATE: BY: REVISIONS:

2.1.1

Legend:

SYMBOL	DETAIL
[Symbol]	LANDSCAPE BUFFER - / -
[Symbol]	450' SHORELINE OFFSET - / -
[Symbol]	100' UNDISTURBED WATERSHED BUFFER - / -
[Symbol]	DUKE POWER ENVIRONMENTAL SHORELINE AND TREESAVE AREA - / -
[Symbol]	EXISTING ROAD - / -
[Symbol]	PROPOSED SIDEWALK 4/3.1.1
[Symbol]	PROPOSED ACCESSIBLE RAMP 7/3.1.1
[Symbol]	PROPOSED STOP SIGN 3/3.1.3
[Symbol]	PROPOSED STREET SIGN 3.10/3.1.3

Staking Notes:

20' RADIUS AT R/W FOR PRIVATE AND LOCAL STREETS.
20' RADIUS AT B/C FOR PRIVATE AND LOCAL STREETS.
HANDICAP RAMP: SEE DETAIL 1/3.1.1
SIGHT TRIANGLE: 35'x35' AT ALL INTERSECTIONS.
LOCAL RESIDENTIAL STREET: SEE DETAIL 2/3.1.1
CUL-DE-SAC: SEE DETAIL 6/3.1.1
STAKING INFORMATION IS AVAILABLE ON DISC (R-14 OR 2000) UPON REQUEST.
RETAINING WALLS TO BE OUTSIDE ALL UNDISTURBED BUFFERS.
SEE GRADING PLAN AND DETAIL SHEET FOR ADDITIONAL INFORMATION.

Lot Data:

Minimum Lot Size	MX-3
Minimum Front Setback	4,500 SF
Minimum Side Yard (Internal)	20'
Minimum Side Yard (Corner)	3'/3'
Minimum Rear Yard	10'
Minimum Lot Width	20'
Maximum Impervious per Lot	40'
Maximum Impervious per Lot	6,500 SF

etermined by Yarbrough Williams & Houle

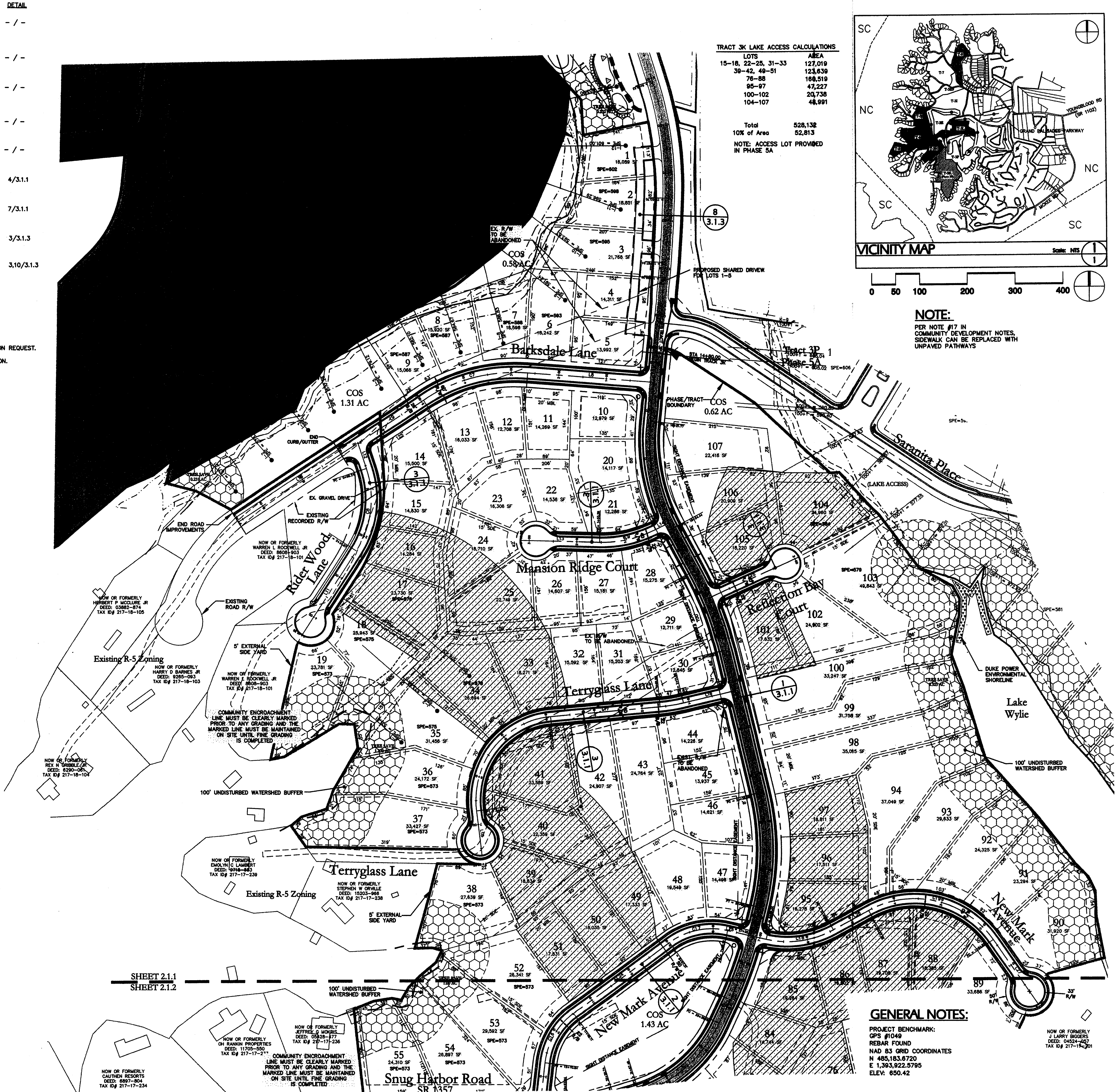
LINE TABLE

LINE	LENGTH	BEARING
L1	423.33	N89°34'09"E
L2	53.26	N72°40'25"E
L3	55.20	N24°54'07"E
L4	51.76	N14°05'55"E
L5	304.22	N13°40'03"W
L6	99.16	N28°25'22"W
L7	206.26	N05°45'33"E
L8	265.63	N85°49'25"W
L9	151.27	S56°38'14"W
L10	313.50	S56°38'14"W
L11	211.39	N32°48'37"E
L12	56.24	N18°21'46"W
L13	163.59	S88°46'47"E
L14	31.23	N63°13'25"E
L15	207.88	S65°21'30"W
L16	111.96	N76°28'49"E
L17	228.85	N84°40'15"E
L18	95.00	N07°10'02"W
L19	242.20	S04°42'15"W
L20	101.40	S29°33'48"W
L21	187.76	S14°04'27"W
L22	450.84	N31°00'16"W
L23	429.22	N06°44'37"E
L24	250.90	N53°37'22"E
L25	82.88	S77°26'38"E
L26	84.41	N61°14'13"E
L27	164.81	S34°53'19"E
L28	191.11	S63°41'50"W
L29	120.75	N66°10'05"W
L30	249.12	N27°36'01"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	103.21	350.00	51.98	16°53'44"
C2	229.29	275.00	121.78	47°46'18"
C3	150.84	800.00	75.64	10°48'12"
C4	242.31	500.00	123.58	27°45'59"
C5	180.27	700.00	90.64	14°45'19"
C6	232.67	390.00	119.91	34°10'55"
C7	229.31	350.00	118.94	37°32'20"
C8	178.63	200.00	95.77	51°10'23"
C9	122.16	250.00	62.32	27°59'48"
C10	50.03	350.00	25.06	8°11'26"
C11	280.50	175.00	180.71	91°50'17"
C12	199.58	460.00	101.39	24°51'33"
C13	197.35	730.00	99.28	15°29'21"
C14*	282.58	120.00	289.14	134°55'17"
C15	197.65	300.00	102.56	37°44'52"
C16	122.73	150.00	65.03	48°52'45"
C17	128.11	150.00	68.25	48°56'00"
C18	144.23	200.00	75.41	41°19'08"
C19	292.78	200.00	179.68	83°52'28"
C20	235.60	350.00	122.46	38°34'04"

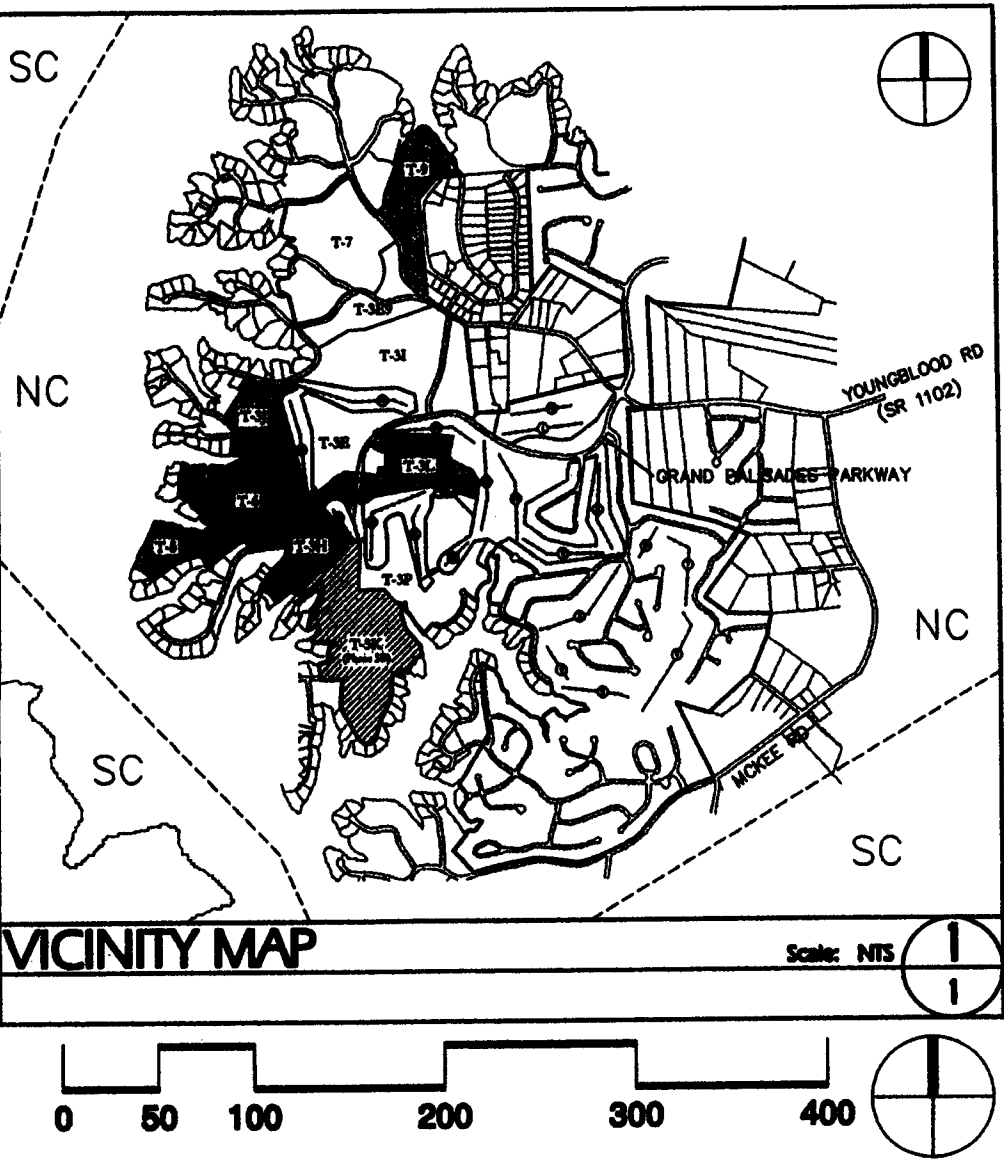
* ROAD IS WITHIN EXISTING R/W



TRACT 3K LAKE ACCESS CALCULATIONS

LOTS	AREA
15-18, 22-25, 31-33	127,016
39-42, 48-51	123,439
76-88	168,519
95-97	47,227
100-102	20,738
104-107	48,991
Total	528,132
10% of Area	52,813

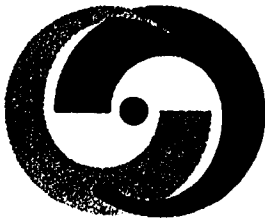
NOTE: ACCESS LOT PROVIDED IN PHASE 5A



NOTE:
PER NOTE #17 IN
COMMUNITY DEVELOPMENT NOTES,
SIDEWALK CAN BE REPLACED WITH
UNPAVED PATHWAYS

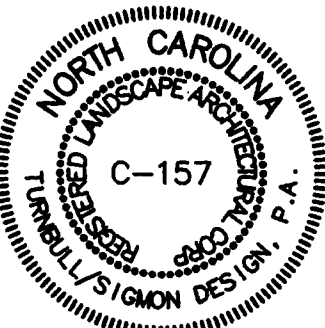
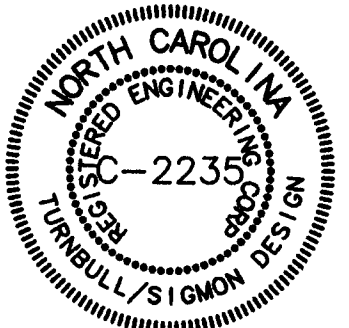
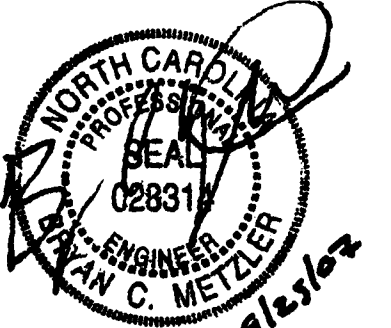
GENERAL NOTES:
PROJECT BENCHMARK:
GPS #1049
REBAR FOUND
NAD 83 GRID COORDINATES
N 485,183.6720
E 1,393,922.5795
ELEV: 850.42

NOW OR FORMERLY
LARRY ROGERS
DEED: 04524-402
TAX ID# 217-17-201



Turnbull Sigmon Design
1001 Morehead Square Dr.
Suite 530
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Fax: 704.522.0882

LAND DEVELOPMENT DESIGN SERVICES



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The Palisades
Phase 5B

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STEELE CREEK TOWNSHIP

Site Plan
Tract T-3K

PROJECT NUMBER: 04-086

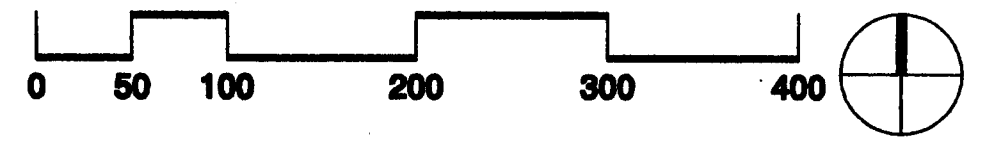
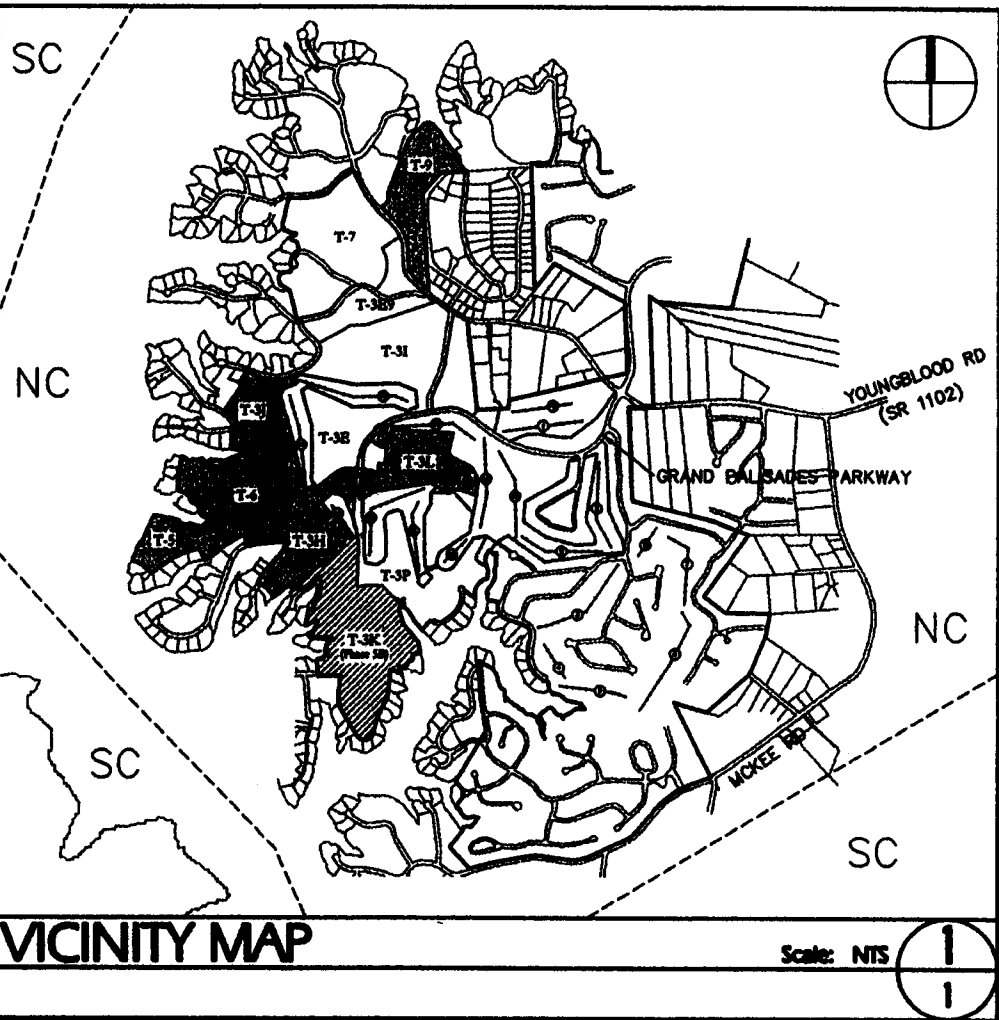
DRAWN BY: BCM

DESIGNED BY: BCM

ISSUE DATE: 07/15/05

4 9/25/07 DBR PER CITY OF CHARLOTTE COMMENTS
3 5/23/07 EEB PER CITY OF CHARLOTTE COMMENTS
2 2/13/07 EEB PER CITY OF CHARLOTTE COMMENTS
1 1/30/06 DBR PER CITY OF CHARLOTTE COMMENTS
NO. DATE: BY: REVISIONS:

2.1.2

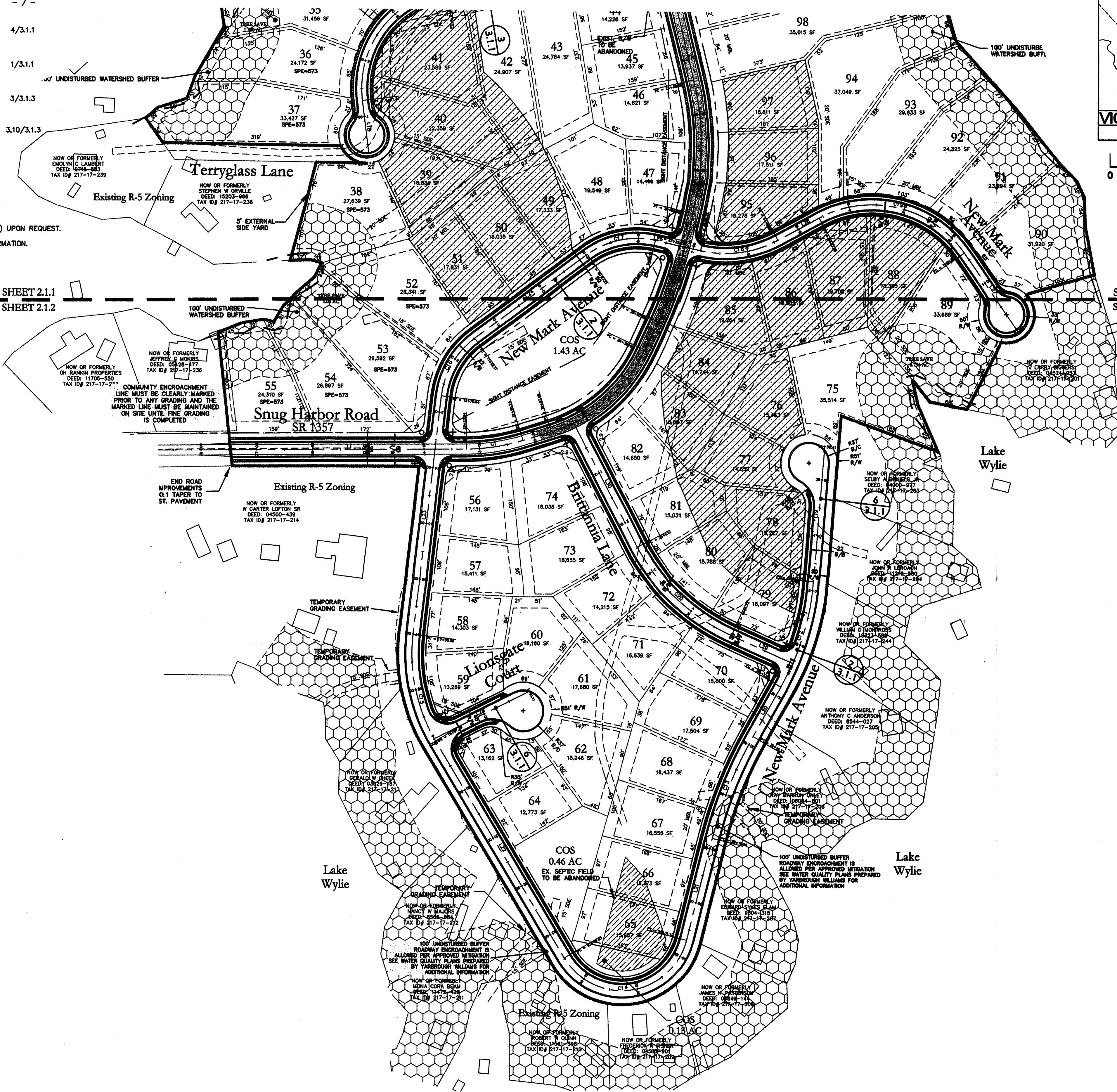


NOTE:
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SYMBOL	DETAIL
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ELEV. 650.42