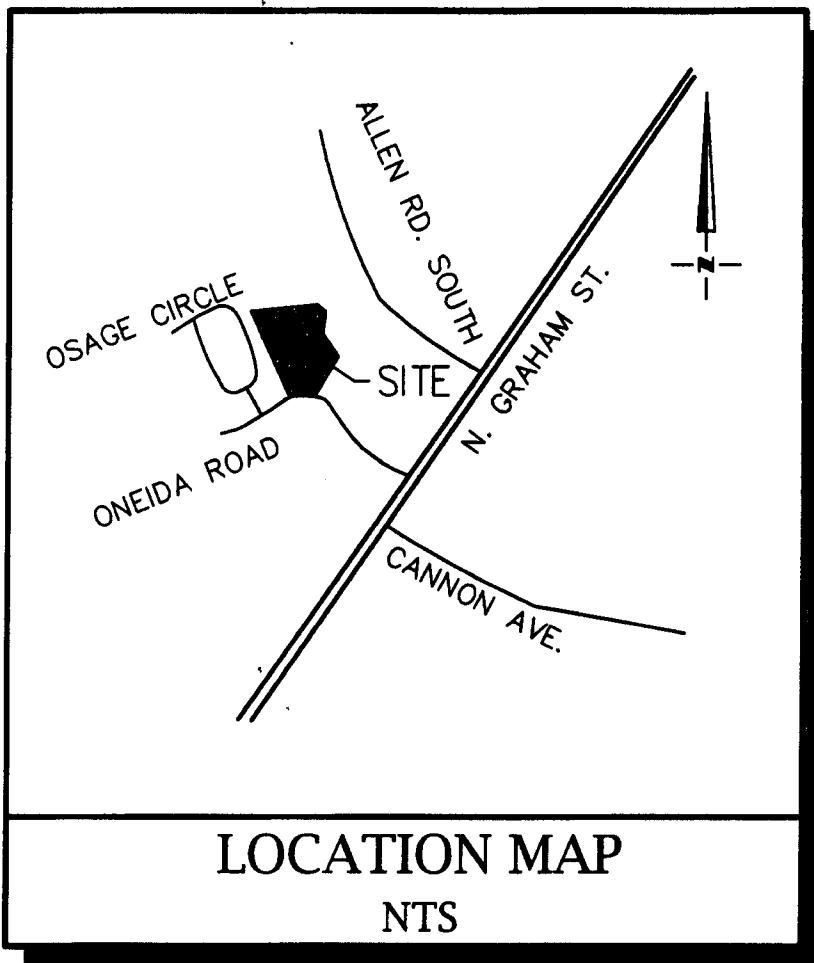




TOTAL SITE AREA: 360,677 SF (8.28 AC)
NET SITE AREA (EXCLUDING R/W): 355,612 SF (8.16 AC.)
TOTAL # OF UNITS: 97 TOWNHOMES FOR SALE LOTS
 EACH TOWNHOME UNIT WILL HAVE A MIN. OF 400 SF SUBLOT FOR PRIVATE OPEN SPACE
DEVELOPER: ONEIDA-RUSSO LLC
MAP REFERENCE: DEED BOOK 04511, PAGE 195
PARCEL ID: 045-18-102
JURISDICTION: CITY OF CHARLOTTE
ZONING: R-12(MF)
PROPOSED USE: MULTI-FAMILY RESIDENTIAL (ATTACHED)
MINIMUM SETBACK: 30'
MINIMUM SIDE YARD: 10'
MINIMUM REAR YARD: 40'
 (EXTERIOR LOTS ABUTTING EX. SINGLE FAMILY)
 (EXTERIOR LOTS ABUTTING EX. SINGLE FAMILY)
MIN. BLDG. SEPARATION: 16'
MAXIMUM BLDG. HEIGHT: 40'
MINIMUM LOT WIDTH: N/A
MINIMUM LOT AREA: N/A
MIN. SUBLOT OPEN SPACE: 400 SF
MIN. REQ. OPEN SPACE: 177,806 SF (4.08 AC) = 50%
PROVIDED OPEN SPACE: 207,108 SF (4.75 AC) = 58.24%
MAXIMUM DENSITY: 12.0 DU/AC
PROPOSED DENSITY: 11.9 DU/AC
REQUIRED PARKING: 146 (1.5 SPACES PER UNIT)
PROVIDED TOTAL PARKING: 207
SURFACE PARKING: 143
DRIVEWAY PARKING: 32
GARAGE PARKING: 32
TOTAL LENGTH OF ROADS: 2,272.22 LF
MIN. REQ. SOLID WASTE: ONE 8 C.Y. COMPACTOR/90 UNITS
PROVIDED SOLID WASTE: ONE 10 C.Y. COMPACTOR
MIN. REQ. RECYCLING: ONE 144 SF STATION/80 UNITS
PROVIDED RECYCLING: ONE 216 SF STATION
 FOR LANDSCAPE REQUIREMENTS SEE LANDSCAPE PLAN C5.0

DEVELOPMENT SUMMARY

SURVEY NOTES:

- REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.
- AREAS COMPUTED USING COORDINATE GEOMETRY.
- ALTA COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, NUMBER CH06-0002121, REVISION #1 (FEBRUARY 21, 2006).
- ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".
- OTHER UNDERGROUND UTILITIES MAY EXIST BUT THEIR LOCATIONS ARE NOT KNOWN.
- THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- SEWER EASEMENT TO GALLANT DEVELOPMENT INVESTMENT CO. RECORDED IN DEED BOOK 3228, PG. 398 (GENERAL EASEMENT CAN NOT BE PLOTTED).
- GENERAL EASEMENT TO SOUTHERN BELL TELEPHONE AND TELEGRAPH CO. RECORDED IN DEED BOOK 1078, PG. 343 (GENERAL EASEMENT CAN NOT BE PLOTTED).
- SANITARY SEWER R/W TO THE CITY OF CHARLOTTE RECORDED IN DEED BOOK 4430, PG. 425 (SHOWN ON MAP)

FLOOD NOTE:
 A PORTION OF THE SUBJECT PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3701590228E, DATED: FEBRUARY 4, 2004

SITE NOTES:

- S.D.E. = STORM DRAINAGE EASEMENT
- P.D.E. = PERMANENT DETENTION EASEMENT
- P.U.E. = PERMANENT UTILITIES EASEMENT
- ALL PROPOSED CURB AND GUTTER SHALL BE 2'-0" STANDARD CURB AND GUTTER UNLESS NOTED OTHERWISE.

ROADWAY CENTERLINE LINE TABLE

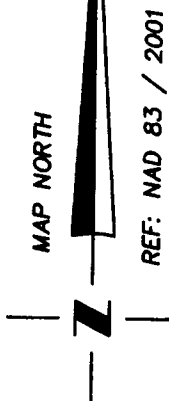
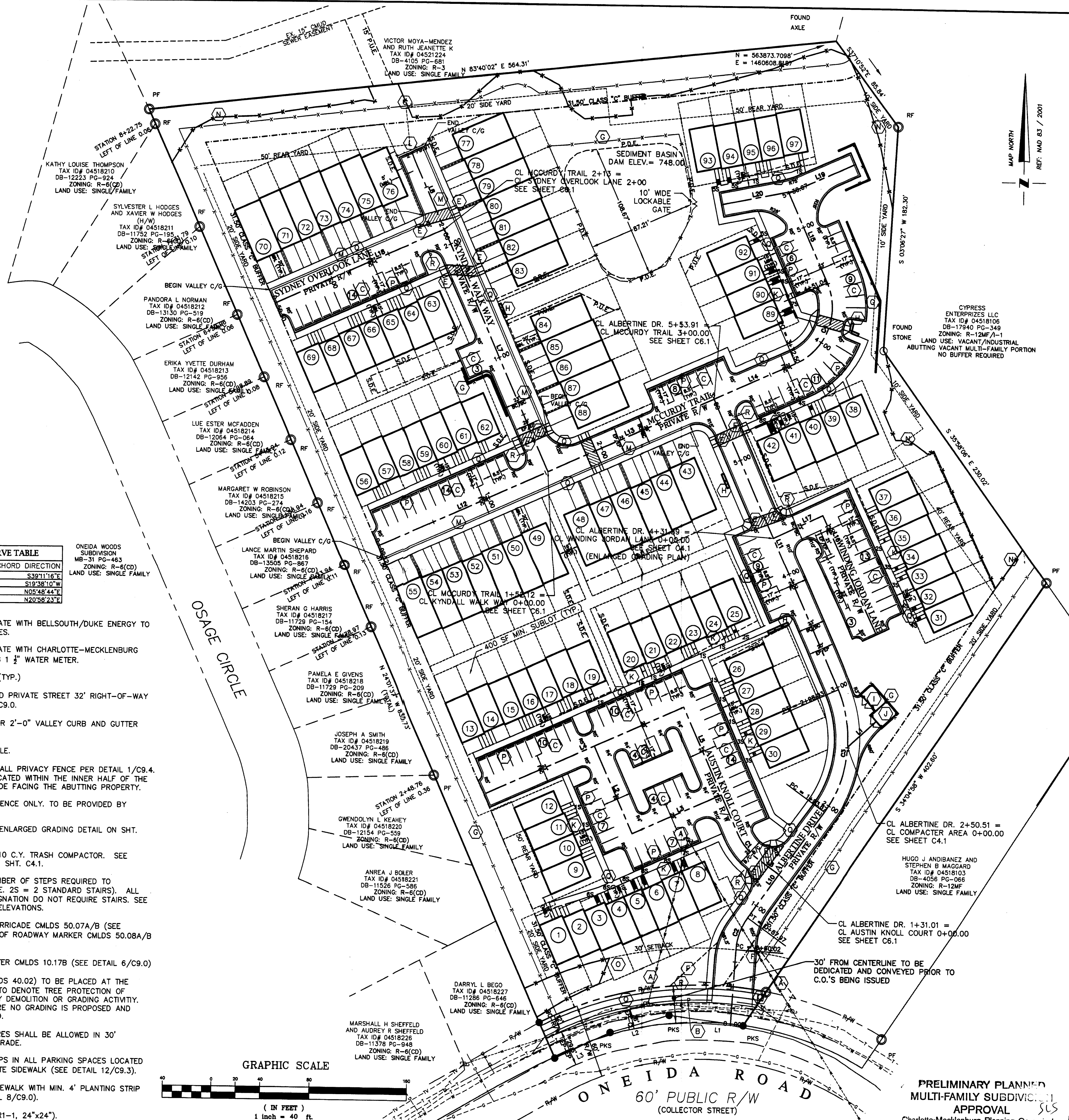
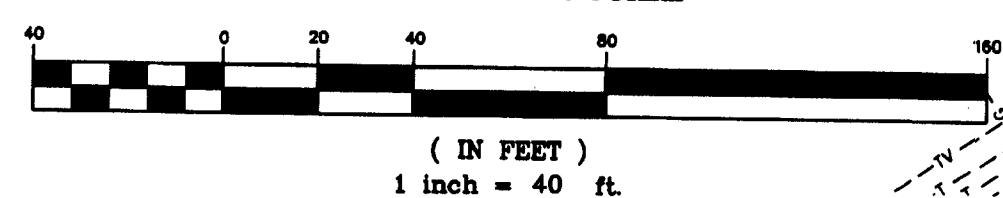
LINE	LENGTH	BEARING
L1	31.60	N47°48'00"E
L2	77.20	S24°01'37"E
L3	79.38	N65°58'23"E
L4	175.88	N65°58'23"E
L5	111.22	S24°01'37"E
L6	21.57	N54°20'54"W
L7	213.00	N24°01'37"W
L8	66.91	N24°01'37"W
L9	60.02	N03°37'14"E
L10	105.90	N35°39'06"E
L11	255.88	N24°01'37"W
L12	150.00	N65°58'23"E
L13	147.88	N65°58'23"E
L14	72.50	N65°58'23"E
L15	79.03	N24°01'37"W
L16	105.50	S25°08'23"E
L17	44.40	N64°51'37"E
L18	150.00	N65°58'23"E
L19	58.34	N65°58'23"E
L20	59.00	S78°34'50"W

CURVE	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C1	26.46	50.00	26.15	S39°11'16"E
C2	27.95	50.00	27.59	S19°38'10"W
C3	104.16	100.00	99.51	N05°48'44"E
C4	78.54	50.00	70.71	N20°38'23"E

KEY NOTES:

- CONTRACTOR SHALL COORDINATE WITH BELLSOUTH/DUKE ENERGY TO REMOVE EXISTING POWER POLES.
- CONTRACTOR SHALL COORDINATE WITH CHARLOTTE-MECKLENBURG UTILITIES TO REMOVE EXISTING 1 1/2" WATER METER.
- 8.5' x 17.0' PARKING SPACE (TYP.)
- CITY OF CHARLOTTE STANDARD PRIVATE STREET 32' RIGHT-OF-WAY (CMLDS 11.13) SEE DETAIL 1/C9.0.
- INSTALL ACCESSIBLE RAMP FOR 2'-0" VALLEY CURB AND GUTTER SEE DETAILS 10-12/C9.0.
- CDOT 35' x 35' SIGHT TRIANGLE.
- CONTRACTOR TO INSTALL 6' TALL PRIVACY FENCE PER DETAIL 1/C9.4. PRIVACY FENCE SHALL BE LOCATED WITHIN THE INNER HALF OF THE BUFFER WITH THE FINISHED SIDE FACING THE ABUTTING PROPERTY.
- MAILBOXES SHOWN FOR REFERENCE ONLY. TO BE PROVIDED BY BUILDER.
- RECYCLING ENCLOSURE. SEE ENLARGED GRADING DETAIL ON SHT. C4.1.
- COMPACTOR ENCLOSURE FOR 10 C.Y. TRASH COMPACTOR. SEE ENLARGED GRADING DETAIL ON SHT. C4.1.
- SITE PLAN INDICATES THE NUMBER OF STEPS REQUIRED TO CONSTRUCT CERTAIN UNITS (I.E. 2S = 2 STANDARD STAIRS). ALL OTHER UNITS WITHOUT A DESIGNATION DO NOT REQUIRE STAIRS. SEE GRADING PLAN FOR BUILDING ELEVATIONS.
- INSTALL DEAD END STREET BARRICADE CMLDS 50.07A/B (SEE DETAILS 4-5/C9.3) AND END OF ROADWAY MARKER CMLDS 50.08A/B (SEE DETAILS 6-7/C9.3).
- 2'-0" VALLEY CURB AND GUTTER CMLDS 10.17B (SEE DETAIL 6/C9.0)
- TREE PROTECTION FENCE (CMLDS 40.02) TO BE PLACED AT THE DRIPLINE PLUS FIVE (5) FEET TO DENOTE TREE PROTECTION OF EXISTING TREES, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY. TO BE PLACED IN AREAS WHERE NO GRADING IS PROPOSED AND EXISTING TREES CAN BE SAVED.
- FOR UNITS #1-8 NO STRUCTURES SHALL BE ALLOWED IN 30' SETBACK EXCEPT PATIOS ON GRADE.
- INSTALL CONCRETE WHEEL STOPS IN ALL PARKING SPACES LOCATED ADJACENT TO 5' WIDE CONCRETE SIDEWALK (SEE DETAIL 12/C9.3).
- INSTALL 5' WIDE CONCRETE SIDEWALK WITH MIN. 4' PLANTING STRIP ALONG ONEIDA RD. (SEE DETAIL 8/C9.0).
- INSTALL MUTCD "STOP" SIGN (R1-1, 24"x24").

GRAPHIC SCALE



REF: MAD 83 / 2001

Mc² ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.9797



THE DESIGNS AND DRAWINGS SHOWN ARE THE PROPERTY OF MC² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC² ENGINEERING, INC. IS PROHIBITED.

ONEIDA SUBDIVISION

ONEIDA ROAD
 CHARLOTTE, NC

ONEIDA-RUSSO LLC
 1220 SOUTH KING DRIVE
 CHARLOTTE, NC 28207

SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	03/23/07	CITY COMMENTS
2	07/16/07	CITY COMMENTS
3	08/17/07	CITY COMMENTS

CAD FILE: 2006-014 BASE.DWG
 PROJECT NO.: 2006-014
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: NOVEMBER 16, 2006

C2.0

**PRELIMINARY PLANNED
 MULTI-FAMILY SUBDIVISION
 APPROVAL**
 Charlotte-Mecklenburg Planning Commission